

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 24, 2022

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit and Design Review Permit to allow construction of a new two-story 2,649 sq. ft. single-family residence with an attached two-car garage, on an undeveloped 5,000 sq. ft. legal corner parcel located at 379 Nevada Avenue (at Ellendale Street) in the unincorporated Moss Beach area. The project includes the removal of one (1) significant Monterey cypress tree (26-inches in diameter-at-breast height (DBH)) and minimal grading. The Coastal Development Permit is appealable to the California Coastal Commission.

County File Number: PLN 2021-00445 (Kamath and Babu)

**PROPOSAL**

The applicant is seeking a Coastal Development Permit and Design Review Permit for the construction of a new two-story, 2,649 sq. ft. single-family residence with an attached two-car garage on an undeveloped 5,000 sq. ft. legal parcel (recorded Certificate of Compliance, PLN 2014-00376). The parcel is located on the corner of Nevada Avenue and Ellendale Street in the unincorporated area of Moss Beach. The project includes minor grading and the removal of one (1) significant Monterey cypress tree (26-inches in, DBH) located along Nevada Avenue that is in very poor condition as assessed by an arborist. A new private driveway will be extended from Ellendale Street to serve the onsite development. Additionally, the project includes connection to public sewer and water service provided by the Montara Water and Sanitary District.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit and Design Review Permit, County File Number PLN 2021-00445, by adopting the required findings and conditions of approval listed in Attachment A.

**SUMMARY**

The subject parcel is an undeveloped parcel at the corner of Nevada Avenue and Ellendale Street in the unincorporated Moss Beach area of San Mateo County. Staff

has completed a review of the project and determined the project conforms to applicable General Plan and Local Coastal Program (LCP) policies and Zoning Regulations, including, but not limited to, the Locating and Planning New Development Component, Visual Resources Component, and Shoreline Access Component of the Local Coastal Program. The development is proposed in a developed residentially zoned area and will be served by all public services.

The Coastside Design Review Committee recommended approval of the project, with conditions, on June 9, 2022. The Midcoast Community Council confirmed they had no comments or concerns on the project. Additionally, the project was reviewed and conditionally approved by the Coastside Fire Protection District, San Mateo County Department of Public Works, County Drainage Review Section, and Montara Water and Sanitary District.

SSB:cmc – SSBGG0244\_WCU.DOCX

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 24, 2022

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Coastal Development Permit and Design Review Permit, pursuant to Section 6328.4 and 6565.3, respectively, of the San Mateo County Zoning Regulations, to allow construction of a new two-story 2,649 sq. ft. single-family residence with an attached two-car garage, on an undeveloped 5,000 sq. ft. legal corner parcel located at 379 Nevada Avenue (at Ellendale Street) in the unincorporated Moss Beach area. The project includes the removal of one (1) significant Monterey cypress tree (26-inches in diameter-at-breast height (DBH)) and minimal grading. The Coastal Development Permit is appealable to the California Coastal Commission.

County File Number: PLN 2021-00445 (Kamath and Babu)

**PROPOSAL**

The applicant is seeking a Coastal Development Permit and Design Review Permit for the construction of a new two-story, 2,649 sq. ft. single-family residence with an attached two-car garage on an undeveloped 5,000 sq. ft. legal parcel (recorded Certificate of Compliance, PLN 2014-00376). The parcel is located on the corner of Nevada Avenue and Ellendale Street in the unincorporated area of Moss Beach. The project includes minor grading and the removal of one (1) significant Monterey cypress tree (26-inches DBH) located along Nevada Avenue that is in very poor condition as assessed by an arborist. A new private driveway will be extended from Ellendale Street to serve the onsite development. Additionally, the project includes connection to public sewer and water service provided by the Montara Water and Sanitary District.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit and Design Review Permit, County File Number PLN 2021-00445, by adopting the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Summer Burlison, Project Planner, [SBurlison@smcgov.org](mailto:SBurlison@smcgov.org)

Applicant: Katie Kostiuk, Fat Pen Studios, Inc.

Owner: Jaya Kamath and Suresh Babu

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners and occupants within 300 feet of the project parcel, and a notice for the hearing was posted in newspapers (San Mateo Times and Half Moon Bay Review) of general public circulation on August 13, 2022, and August 17, 2022, respectively.

Location: 379 Nevada Avenue, Moss Beach (undeveloped parcel at the corner of Nevada Avenue and Ellendale Street)

APN: 037-135-170

Size: 5,000 sq. ft.

Existing Zoning: R-1/S-17/DR/CD (One-family Residential/ 5,000 sq. ft. lot minimum/Design Review/Coastal Development)

General Plan/Local Coastal Plan Designation: Medium Density Residential

Sphere-of-Influence: City of Half Moon Bay

Williamson Act: Not under contract

Existing Land Use: None, undeveloped

Water Supply and Sewage Disposal: Montara Water and Sanitary District (MWSD). The project includes water and sewer service connections to MWSD's systems.

Flood Zone: Flood Zone X, Area of Minimal Hazard; FEMA Firm Panel 06081C0119F, effective date: August 2, 2017.

Environmental Evaluation: The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3(a), for the construction of a new single-family residence in a residential zone. The development is located in a residential zoning district and will be served by all public services.

Setting: The 5,000 sq. ft. project parcel is located at the corner of Nevada Avenue and Ellendale Street within the unincorporated community of Moss Beach. The site is currently undeveloped and relatively flat with minimal vegetation and several mature Monterey cypress trees primarily along Nevada Avenue. The surrounding properties are developed with one and two-story single-family residences.

Chronology:

<u>Date</u>	<u>Action</u>
November 16, 2021	- Application submitted.
May 12, 2022	- Application deemed complete.
June 9, 2022	- Coastside Design Review Committee (CDRC) hearing; the CDRC provided a recommendation for approval of the project.
August 24, 2022	- Planning Commission hearing.

## **DISCUSSION**

### A. KEY ISSUES

#### 1. Conformance with the County General Plan

Staff has determined that the project is in compliance with the applicable General Plan Policies discussed below:

##### a. Visual Quality

Policy 4.15 (*Appearance of New Development*), Policy 4.16 (*Supplemental Design Guidelines for Communities*), and Policy 4.36 (*Urban Area Design Concept*) seek to regulate development to promote and enhance good design, site relationships and other aesthetic considerations and encourage the preparation of supplemental site and architectural design guidelines for communities that include, but are not limited to, criteria that reflect local conditions, characteristics and design objectives and are flexible enough to allow individual creativity. The Design Review standards implement this policy within Design Review Zoning Districts in the County, including the Midcoast area. The Coastside Design Review Committee (CDRC) reviewed the project and found that the project complies with these Visual Quality Policies of the General Plan. A discussion of compliance with Design Review standards is provided in Section A.3.b of this report.

b. Urban Land Use

Policy 8.15 (*Land Use Compatibility*) and Policy 8.39 (*Height, Bulk and Setbacks*) seeks to protect and enhance the character of existing single-family areas, including through the application of height, bulk and setbacks standards. The proposed two-story single-family home meets the zoning district height standard and setback standards and is compatible in design, scale and size with other residences located in the neighborhood. The appearance of mass and bulk of the single-family home is reduced by articulation of all exterior façades. The design and materials of the single-family home is complementary to other homes in the neighborhood, as supported by the Coastside Design Review Committee's review and recommendation (see Section A.3.b of this report).

c. Water Supply and Wastewater

Policy 10.1 (*Coordinate Planning*) and Policies 11.1 and 11.2 (*Adequate Wastewater Management and Coordinate Planning, respectively*) require the County to ensure adequate provisions for water and wastewater management are available to serve development. The MWSD has conditionally approved the project for water and sewer service.

d. Man-Made Hazards

Airport Safety Polices 16.41 to 16.43 seek to regulate land uses surrounding airports to assure airport safety. The property is located in the Half Moon Bay Airport Runway Safety Zone 2 (Inner Approach/Departure Zone). See staff's discussion of Policy 1.36 in Section 2.a. of this report for project conformance with applicable airport safety regulations.

2. Conformance with the Local Coastal Program (LCP)

Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies discussed below:

a. Locating and Planning New Development Component

Policy 1.18 (*Location of New Development*), Policy 1.19 (*Ensure Adequate Public Services and Infrastructure for New Development in Urban Areas*), and Policy 1.20 (*Definition of Infill*) direct development to existing urban areas and where infrastructure is available to serve the development. The subject parcel is located in the existing urban community of Moss Beach and is zoned for residential development.

The proposed single-family dwelling will be located in an existing developed residential neighborhood and fits the definition of “infill”. The proposed residence will be served by the Montara Water and Sanitary District, which has confirmed that services are available to serve the project. Therefore, the project will be in conformance with the surrounding land uses and new development policies of the Local Coastal Program.

Policy 1.23 (*Timing of New Housing Development in the Mid-coast*) limits the maximum number of dwelling units built in the urban mid-coast to 40 units each year. San Mateo County is not projected to exceed this maximum for the 2022 calendar year. As of May 27, 2022, the County has issued 13 building permits for new dwelling units in the Midcoast area that count towards the annual 40-unit cap per Policy 1.23 of the Local Coastal Program.

Policy 1.36 (*Half Moon Bay Airport Influence Area Requirements*) seeks to ensure new development and land uses comply with all relevant Federal Aviation Administration (FAA) standards and criteria to avoid flight hazards. The project parcel is located within Runway Safety Zone 2 (Inner Approach/Departure Zone) of the Half Moon Bay Airport. The Half Moon Bay Airport Land Use Compatibility Plan (ALUCP) prohibits residential use in Runway Safety Zone 2, except for very low residential and infill in developed areas, and requires airspace review for development exceeding 35 feet in height. The proposed single-family residence complies with the infill criteria of Section 4.2.2.3 of the ALUCP and no element of the project will exceed 35 feet in height as the maximum height allowed in the zoning district is 28 feet. Furthermore, the project site is located outside the Community Noise Equivalent Level (CNEL) airport noise exposure contours and therefore will not be exposed to significant levels of aircraft noise.

b. Visual Resources Component

Visual Resources Policy 8.12(a) (*Apply the Design Review (DR) Zoning District to urban areas of the Coastal Zone*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes Moss Beach. Therefore, the project is subject to Section 6565.20 of the Zoning Regulations (*Standards for Design for One-family and Two-family Residential Development in the Mid-coast*). As discussed in Section A.3.b of this report, the Coastside Design Review Committee (CDRC) considered this project at their regularly scheduled meeting of June 9, 2022. The CDRC determined that the project is in compliance with applicable Design Review standards, and recommended approval. See further discussion in Section A.3.b.

Visual Resources Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to standard construction activity.
- (2) Warm, muted colors and natural appearing materials are used to blend with the surrounding natural features of the site, and darker colors are used to reduce the apparent mass of the structure.
- (3) The proposed house design uses standing seam metal gabled roofs that will have a dark, non-reflective finish.
- (4) The proposed residence will be a two-story building fit into the surrounding predominantly two-story developed neighborhood. The enhanced façade articulation brings the proposed structure to scale with the rest of the homes in the neighborhood.

c. Shoreline Access Component

Policy 10.1 (*Permit Conditions for Shoreline Access*), Policy 10.9 (Public Safety) and Policy 10.12(a) (*Residential Areas*) requires some shoreline access provision as a condition of granting development permits for any public or private development between the sea and the nearest road and that in residential areas vertical access be provided at the ends of streets perpendicular to the shoreline, provided any such public access is consistent with public safety polices which discourage access that may be hazardous because safety improvements have not been or cannot be built due to physical limitations. The project site is located in a residential neighborhood and between the Pacific Ocean and the first through road from the sea, and is therefore subject to the Shoreline Access Component of the Local Coastal Program. While the project parcel is located within 150 feet of the end of Ellendale Street and 500 feet of the end of Beach Street at their terminus to the bluff edge, this unprotected section of bluff experiences erosion and failure as evidenced by historical imagery and existing conditions of failed and blocked off roadway ends. Therefore, public access at these street-end locations is not supported due to public safety concern. However, 500 feet (2 blocks) south of the project parcel is the Fitzgerald Marine Reserve facilities, managed by the County Parks Department, which provides parking and designated public trails to viewpoints and direct access to

the beach in conformance with shoreline access policies. Therefore, no further shoreline access provisions for the subject project are necessary.

3. Conformance with the Zoning Regulations

The project conforms with the following applicable R-1/S-17 (One-family Residential/5,000 sq. ft. lot minimum) Zoning Regulations:

a. Development Standards

The R-1 Zoning District restricts uses to single-family dwellings and uses associated or accessory to single-family dwellings. The project proposes to construct a single-family residence and is therefore consistent with the R-1 zoning district.

Additionally, the proposed development is in compliance with the minimum required standards of the S-17 Combining District as illustrated below:

<b>S-17 Combining District Development Standards</b>		
	<b>Required</b>	<b>Proposed</b>
Minimum Lot Size	5,000 sq. ft.	5,000 sq. ft.
Minimum Lot Width	50 ft.	50 ft.
Minimum Yard Setbacks	Front: 20 ft. Rear: 20 ft. *Sides (Combined Total): 15 ft. Right Side: 5 ft. **Left (Street) Side: 10 ft	Front: 20 ft. Rear: 20 ft. Sides (Combined Total): 15 ft. Right Side: 5 ft. Left Side: 10 ft.
Maximum Lot Coverage	35%	31.5%
Maximum Floor Area	53%	52.9%
Maximum Height	28 ft.	28 ft.
Covered Parking	2 spaces	2 spaces
*Combined total side yard setbacks of 15 ft. with minimum 5 ft. on either side. **Street side setback for corner lots is half the distance of the front yard setback.		

b. Design Review District Standards

The Coastside Design Review Committee (CDRC) considered the project at their regularly scheduled CDRC meeting on June 9, 2022. At the meeting, the CDRC adopted the findings to recommend project approval (Attachment E), pursuant to the Design Review Standards for One-family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- (1) Section 6565.20 (D) ELEMENTS OF DESIGN; The proposed two-story 2,649-sq.-ft. home aligns with the existing neighboring home sizes and heights and fits into the design of the neighborhood.
- (2) Section 6565.20 (D) ELEMENTS OF DESIGN; Architectural styles and features have been followed to keep in tune with the adjacent homes.
- (3) Section 6565.20 (D) ELEMENTS OF DESIGN; Articulations and choice of multiple siding materials have accomplished a non-overbearing design with a consistent muted color pallet.
- (4) Section 6565.20 (D) ELEMENTS OF DESIGN; The particular neighborhood with its proximity to the local marine reserve has and continues to be a coastal attraction. The proposed farm style home design blends into that historic/contemporary feel notwithstanding.

B. ENVIRONMENTAL REVIEW

The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3(a) relating to the construction of a single-family residence in an urbanized, residential zone.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

In correspondence received on January 3, 2022, the Midcoast Community Council confirmed they had no comments or concerns.

D. REVIEWING AGENCIES

San Mateo County (SMC) Department of Public Works  
SMC Parks Department, County Arborist  
SMC Building Inspection Section  
SMC Drainage Section  
Coastside Fire Protection District  
Montara Water and Sanitary District  
Midcoast Community Council  
California Coastal Commission

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Project Plans
- D. Trimming Letter and Arborist Report, prepared by Maguire Tree Care, Inc., dated July 13, 2022 and September 21, 2021, respectively
- E. Coastside Design Review Committee Recommendation Letter, dated July 12, 2022

SSB:cmc – SSBGG0245\_WCU.DOCX

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2021-00445

Hearing Date: August 24, 2022

Prepared By: Summer Burlison,  
Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That the project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3(a), relating to the construction of a single-family residence in an urbanized, residential zone. The project will be served by all public services.

Regarding the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements and standards of the San Mateo County Local Coastal Program as described in Section A.2 of the staff report related to Locating and Planning New Development, Visual Resources and Shoreline Access.
3. That the project is located between the nearest public road and the sea and is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) as street-end public access in the project area is not feasible due to public safety hazard; however, the Fitzgerald Marine Reserve, located 500 feet south of the project site, provides public parking and designated public trails to viewpoints and direct access to the beach in conformance with public access and public recreation policies of the Coastal Act and Local Coastal Program. Therefore, no further shoreline access provisions for the subject project are necessary.

4. That the project conforms to specific findings required by policies of the San Mateo County LCP with regard to Locating and Planning New Development, Visual Resources and Shoreline Access as the proposed project design is consistent with the Coastsides Design Review standards for single-family residential development, will not conflict with the development policies of the Half Moon Bay Airport Land Use Compatibility Plan for avoiding aircraft hazards, and is located in close proximity to existing, publicly managed shoreline access that conforms to public access policies.
5. That the number of building permits for construction of single-family residences other than for affordable housing issued in the calendar year is not projected to exceed the 40-unit limitations of Policy 1.23 of the Local Coastal Program. As of May 27, 2022, a total of 13 building permits have been issued for new dwelling units in the urban Midcoast for the 2022 calendar year.

Regarding the Design Review Permit, Find:

6. That the project, as proposed and conditioned, conforms to the standards and guidelines for design review in accordance with Section 6565.20, Standards for Design for One-Family and Two-Family Residential Development in the Midcoast (El Granada, Miramar, Moss Beach, Montara), specifically elaborated as follows:
  - a. Section 6565.20 (D) ELEMENTS OF DESIGN; The proposed two-story 2,649-sq.-ft. home aligns with the existing neighboring home sizes and heights and fits into the design of the neighborhood.
  - b. Section 6565.20 (D) ELEMENTS OF DESIGN; Architectural styles and features have been followed to keep in tune with the adjacent homes.
  - c. Section 6565.20 (D) ELEMENTS OF DESIGN; Articulations and choice of multiple siding materials have accomplished a non-overbearing design with a consistent muted color pallet.
  - d. Section 6565.20 (D) ELEMENTS OF DESIGN; The particular neighborhood with its proximity to the local marine reserve has and continues to be a coastal attraction. The proposed farm style home design blends into that historic/contemporary feel.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. The project shall be constructed in compliance with the plans reviewed by the Coastsides Design Review Committee and approved by the Planning Commission on August 24, 2022. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior

to implementation. Minor adjustments to the project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.

2. The final approval of the subject permits shall be valid for five (5) years from the date of final approval, in which time a valid a building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within one (1) year of the associated building permit's issuance. This approval may be extended by a 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall illustrate the following on the plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
  - a. Screening material shall be added to change the exposure for visual privacy to the neighboring residential kitchen window (located west at 355 Nevada Avenue).
  - b. The design of rail shall be changed to a solid or louvered railing to minimize the looming exposure from the upper kitchen deck to the southern corner of the house across Ellendale Street.
  - c. Exterior lighting shall be limited to one (1) fixture for each access. In particular:
    - (1) North Elevation: the side door shall only have one (1) lighting fixture.
    - (2) West Elevation: each door shall only have one (1) lighting fixture.
    - (3) East Elevation: remove one (1) lighting fixture from the second story, and only one (1) lighting fixture shall be used for the garage doors. Three-way switches may be used to allow any occupants to control each lighting fixture from more than one (1) location. The height of the exterior sconce lights shall be reduced to 7 feet or less. Dark sky, gooseneck, and commercial lighting fixtures with no more than 3000 color temperature shall be used. Additionally, spec sheets for the lighting shall be provided.

4. The applicant shall consider the following changes, as recommended by the Coastside Design Review Committee:
  - a. Change the octagon window to a port window to be more coastal.
  - b. Change rock facades to steel troweled concrete and stucco.
  - c. Reduce the number of mullions per window by using one cornice mullions.
  - d. Use wide plank at the garage door and align it with window mullions.
  - e. Use wider fascia boards at the roof line.
  
5. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into water bodies by adhering to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” below.
  - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
  - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
  - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
  - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - h. Performing clearing and earth-moving activities only during dry weather.

- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilizing designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
6. The applicant shall provide “finished floor elevation verification” to certify that the structure is constructed at the height shown on the approved plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point near the construction site.
- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
  - g. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.
7. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
8. The applicant shall include a copy of the Design Review and Coastal Development Permit approval letter with conditions of approval on the top pages of the building plans.
9. The applicant shall submit the approved exterior color and materials specifications as part of the building permit submittal. Color and materials verification by the Current Planning Section shall occur prior to final building inspection.
10. The applicant shall provide manufacturer specifications for all exterior lighting as part of the building permit submittal. Verification by the Current Planning Section that exterior light fixtures have been installed per approved plans shall occur prior to final building inspection.
11. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
12. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
13. To reduce the impact of construction activities on neighboring properties, comply with the following:

- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way. There shall be no storage of construction vehicles in the public right-of-way.
14. As part of the building permit submittal, the applicant shall include a Tree Protection Plan. The Tree Protection Plan shall incorporate recommendations from the project arborist, including for tree protection and trimming, and that at a minimum conform with the tree protection standards set forth in Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance.
  15. A Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a building permit to ensure tree protection measures are installed adequately and in accordance with the approved arborist recommendations prior to the start of ground disturbing activities.
  16. Installation of the approved landscape plan is required prior to final inspection; verification shall be made by the Current Planning Section prior to final building inspection.
  17. The applicant shall plant on-site a total of one (1) replacement tree, minimum 15-gallon size stock, and of native and/or drought-tolerant and non-invasive species, for the tree removed. The replacement tree, including species, size and location, shall be shown on the Landscape Plan submitted to the County Planning and Building Department for review and approval as part of the building permit plan sets. Approved plantings shall be implemented and verified by Planning staff prior to final building inspection.
  18. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed and is considered a Construction Stormwater Regulated Site. Weekly construction inspections are required throughout the duration of land disturbance during the wet season (Oct. 1 through April 30) for sites within the ASBS Watershed, as required by the State Water Resources Control Board General Exceptions to the California Ocean Plan with Special Protections adopted on March 20, 2012.

19. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).
20. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to the San Mateo County Ordinance No. 4758.

#### Drainage Section

21. The following is required at the time of building permit submittal:
  - a. Final Drainage Report stamped and signed by a registered Civil Engineer.
  - b. Final Grading and Drainage Plan stamped and signed by a registered Civil Engineer consistent with the requirements in the County's current Drainage Manual.
  - c. Final C.3 and C.6 Development Review Checklist.

#### Department of Public Works

22. The project shall comply with the San Mateo County Drainage Policy and the San Mateo Countywide National Pollution Discharge Elimination System (NPDES) permit. Prior to the issuance of the building permit, the applicant shall submit a plan with construction details conforming with County standards, and a drainage analysis including narrative and calculations showing pre-development and post-development runoff onto and off of the parcel(s) demonstrating compliance with the Policy for review and approval by the Department of Public Works.
23. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

24. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
25. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

#### Coastside Fire Protection District

26. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire Protection District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. The date of installation must be added to the exterior of the smoke alarm and will be checked at final.
27. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
28. As per Coastside Fire Protection District Standard CI-013, building identification shall be conspicuously posted and visible from the street. The project address shall be 379 Nevada Avenue. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.

29. As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
30. Vegetation Management (LRA) – The Coastside Fire Protection District Ordinance 2019-03, and the 2019 California Fire Code 304.1.2, requires a fuel break of defensible space around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
31. Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B, the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
32. 2019 CFC Section 503.1.1: The fire department access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the exterior walls of the first floor.
33. Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the Coastside Fire Protection District for review.

34. Installation of an underground sprinkler pipe shall be flushed and visually inspected by the Coastside Fire Protection District prior to hook-up to the riser. Any soldered fittings must be pressure tested with a trench open. Please call the Coastside Fire Protection District to schedule an inspection. Fees shall be paid prior to plan review.
35. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
36. Solar Photovoltaic systems shall meet the requirements of the 2019 CFC Section 605.11.

Montara Water and Sanitary District (MWSD)

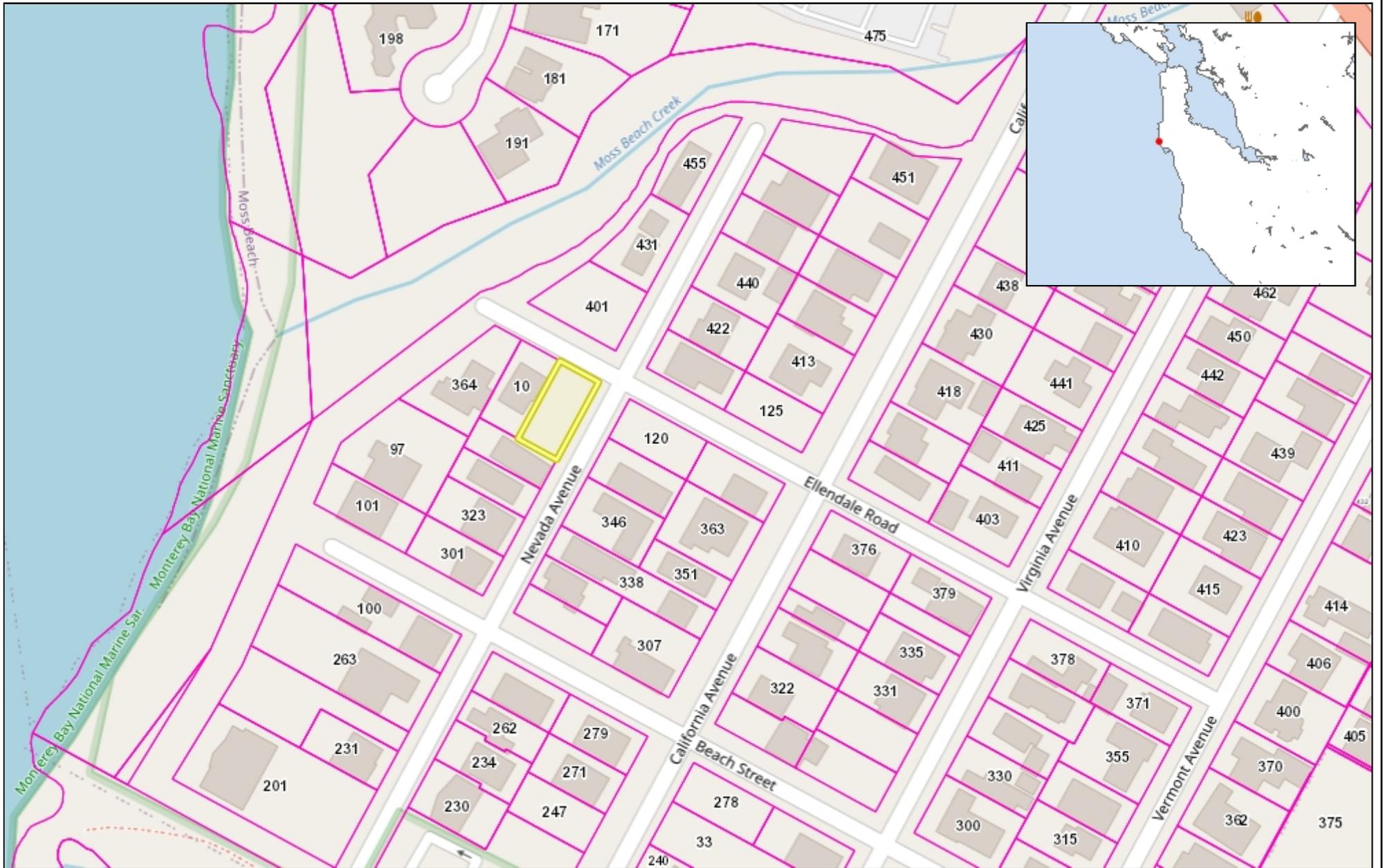
37. The applicant is required to submit an application for new sewer and water connections to MWSD.
38. The applicant is required to obtain a sewer permit prior to the issuance of the building permit. Sewer connection fees must be paid prior to issuance of a connection permit.
39. The applicant is required to obtain a Domestic Water Connection Permit prior to the issuance of the building permit. A connection fee for domestic water must be paid prior to issuance of a connection permit. Well abandonment in accordance with San Mateo County Environmental Health Services standards may be required.
40. Connection to Montara Water and Sanitary District's fire protection system is required. A Certified Fire Protection Contractor must certify adequate fire flow calculations. A connection fee for the fire protection system is required. The connection charge must be paid prior to issuance of the Private Fire Protection permit.
41. The applicant, not their contractor, must first apply directly to MWSD for permits.

SSB:cmc – SSBGG0245\_WCU.DOCX



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT C**

# 379 NEVADA AVENUE RESIDENCE



## GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE, AS AMENDED AND ADOPTED BY SAN MATEO COUNTY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS ARE AT VARIANCE THEREWITH.
- CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS, SIZES, ETC. REFER TO DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON DISCOVERY OF POSSIBLE CONFLICTS.
- PROVIDE FIRE BLOCKING AT CEILINGS, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED 10" MAXIMUM.
- THE MINIMUM TREAD DIMENSION SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM VARIATION OF 3/8 INCH.
- REFER TO TITLE 24 REPORT FOR INSULATION REQUIREMENTS, TYP.
- ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST EDITION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING.
- INTERIOR WOOD DOORS SHALL BE 1 3/4" THICK AND SHALL MATCH (E) IN TYPE & FINISH. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION OF WOOD DOORS.
- FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY PEMKO OR EQUIVALENT.
- NEW WINDOWS AND EXTERIOR DOORS SHALL MEET TITLE 24 REQUIREMENTS FOR U-FACTOR & SHGC, AND SHALL PROVIDE (1) PANEL OF TEMPERED GLASS IN EACH UNIT AS REQUIRED BY WUI. DIMENSIONS ARE NOMINAL - VERIFY WITH MFR FOR SPECIFIC R.O. AND MODEL NUMBER.
- ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION. REVIEW FINISH HARDWARE WITH OWNER PRIOR TO ORDERING.
- GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK," LATEST EDITION AS PUBLISHED BY UNITED STATES GYPSUM & WITH THE UNIFORM BUILDING CODE, LATEST ADOPTED EDITION. GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING.
- PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER AREAS TO A MINIMUM HEIGHT OF 70 INCHES, AND WALL AND CEILING PANELS IN SHOWER AREAS.
- ALL MILLWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE "MANUAL OF MILLWORK" OF THE WOODWORK INSTITUTE OF CALIFORNIA (WIC). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WIC CUSTOM GRADE STANDARDS.
- PAINT AND STAIN COLORS, MOUNTINGS & FLOORING AS WELL AS ELECTRICAL LIGHTING & PLUMBING FIXTURES TRIM SHALL BE SELECTED BY OWNER. REFER TO POLLUTANT CONTROL NOTES FOR COLOR REQUIREMENTS.
- PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PAINTS "SPECIFICATIONS FOR ARCHITECT, ENGINEERS AND PAINTING CONTRACTORS," LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL INTERIOR COLORS SHALL BE AS SELECTED BY THE OWNER, AND EXTERIOR COLORS ARE TO MATCH THE APPROVED SPECIFICATIONS OF THE CDRC. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) COAT PRIMER AND (2) COATS FINISHES DIRECTED BY THE OWNER.
- USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES.
- KITCHEN COUNTERTOPS, BACKSPLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE OWNER. FINISH SHALL BE POLISHED U.O.N. SUBMIT SAMPLES TO THE OWNER FOR APPROVAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A6.1 & A6.2.
- PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE); AT EACH STORY AND BASEMENT; WITHIN EACH BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTORS SHALL BE POWERED BY BUILDING WIRING WITH BATTERY BACK-UP.
- PROVIDE CARBON MONOXIDE DETECTORS AS SHOWN ON ELECTRICAL PLAN, E.1.
- INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
- CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO INSTALLATION.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A6.1 & A6.2.
- A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO WITH ANY QUESTIONS.**
- WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL EXTERIOR WALL CLADDINGS. PROVIDE 4 IN. HORIZONTAL LAPS, 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATERTIGHT. REPAIR DAMAGES, TEARS, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCEALMENT.
- SAF = SELF-ADHERED FLASHING. COVER SAF MATERIALS INSTALLED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.
- SAF1 = 40-MIL WCOR V-40 (SBS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING.
- SAF2 = 25-MIL ALUMINUM FLASHING (SBS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST.
- SAF3 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL EXPOSED TO SUN, UNDER RED ROSIN PAPER ISOLATION SHEET.
- WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT ONTO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS.
- PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENING UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT FINIS. LAPPING JAMB SAF OVER END DAMS OF SILL PANS.
- PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL JOINTS, OVER WEEP SCREWS, AND UNDER SHEET METAL FLASHINGS.
- PER CRC SECTION 913.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OF VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4.504.3.
- RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS WITH CEMENT SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1.
- A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3.

## PERSPECTIVE



## PROJECT DATA

APN: 037-135-170  
 ZONING: R1/S-17/DR/CD  
 APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA FIRE CODE  
 ALL OTHER STATE AND LOCAL ORDINANCES, REGULATIONS & REACH CODES ADOPTED BY SAN MATEO COUNTY.

CONSTRUCTION TYPE: VB  
 OCCUPANCY: R-3 (MAIN RESIDENCE) / U-1 (GARAGE)  
 LOT AREA: 5,000 SF

MAX PARCEL COVERAGE (35%): 1,750 SF  
 PROPOSED BUILDING COVERAGE: 1,578.2 SF

MAX FAR (53%): 2,650 SF  
 PROPOSED FAR: 2,648.9 SF

FRONT SETBACK: 20'-0"  
 REAR SETBACK: 20'-0"  
 SIDE SETBACK: 10'-0"  
 STREET SIDE SETBACK: 12'-0"  
 MAX. HEIGHT: 28'-0"  
 DAYLIGHT PLANE OR FACADE ARTICULATIONS: THIS PROJECT CONFORMS TO THE FACADE ARTICULATION OPTION.

PROJECT SCOPE: NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE. MINIMAL GRADING IS PROPOSED, NATURAL LANDSCAPING TO REMAIN, AND NO TREES ARE PROPOSED FOR REMOVAL.

FIRE SPRINKLERS: AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE REQUIREMENTS OF NFPA 13-D. PLANS AND CALCULATIONS SHALL BE A DEFERRED, SEPARATE PERMIT SUBMITTAL.

## SYMBOLS & LEGEND

	NEW CONSTRUCTION		DUPLEX WALL OUTLET, 15" A.F.F. (U.O.N.)		CEILING MOUNTED FIXTURE - DECORATIVE
	DEMOLITION		OUTLET EQUIPPED WITH GROUND FAULT INTERRUPTER		DECORATIVE LOW VOLTAGE PENDANT - TBD
	EXISTING TO REMAIN		OUTLET EQUIPPED WITH GROUND FAULT INTERRUPTER & WEATHER PROOF FOR OUTDOOR LOCATIONS		RECESSED WALL WASHER FIXTURE
	DOOR TAG		SINGLE WALL SWITCH, 48" A.F.F. (U.O.N.)		RECESSED FLUORESCENT FIXTURE
	WINDOW TAG		WALL SWITCH W/DIMMER, 48" A.F.F. (U.O.N.)		RECESSED LED CAN FIXTURE
	MEDICINE CABINET		CAT 5		RECESSED LED CAN FIXTURE, WET LOCATION
	50 CFM MIN. EXHAUST FAN		COAX CABLE		UNDERCABINET LED LIGHT
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		FLOOR RECEPTACLE		WALL MOUNTED LIGHT FIXTURE
					EXTERIOR WALL MOUNTED LIGHT FIXTURE

## CONSTRUCTION HOURS

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

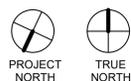
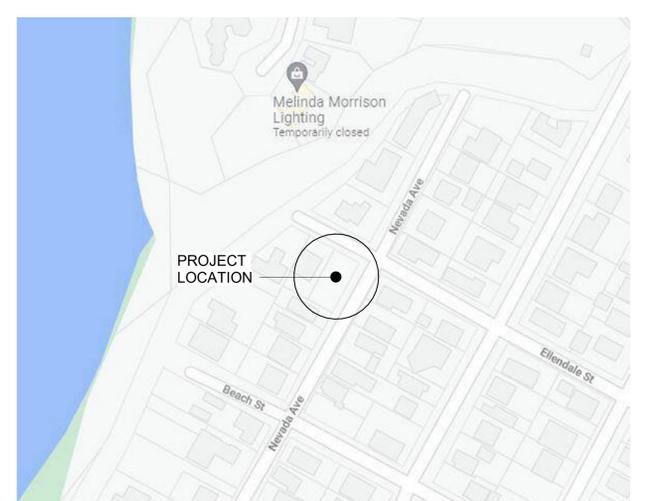
## ANNOTATIONS

@	AT	HORIZ	HORIZONTAL
C	CENTERLINE	HT	HEIGHT
#	POUND OR NUMBER	HVAC	HEATING, VENTILATING
A.B.	ANCHOR BOLT	INSUL	AIR CONDITIONING
A.D.	AREA DRAIN	INSUL	INSULATION
ADJ	ADJUSTABLE	MAX	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MECH	MECHANICAL
AFCI	ARC FAULT CIRCUIT INTERRUPT	MEMB	MEMBRANE
ALUM	ALUMINUM	MET/MTL	METAL
ANOD	ANODIZED	MFR	MANUFACTURER
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	M.O.	MASONRY OPENING
BD	BOARD	MULL	MULLION
BLDG	BUILDING	(N)	NEW
CEM	CEMENT	N.T.S.	NOT TO SCALE
CLR	CLEAR	O/	OVER
CONC	CONCRETE	O.C.	ON CENTER
CONSTR	CONSTRUCTION	PLYWD	PLYWOOD
CTR	CENTER	PT	PAINT
DBL	DOUBLE	REINF	REINFORCED
DEMO	DEMOLISH	REF	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DN	DOWN	RM	ROOM
D.S.	DOWNSPOUT	R.O.	ROUGH OPENING
EXT	EXTERIOR	SIM	SIMILAR
(E)EXIST	EXISTING	SPEC	SPECIFICATION
ELEC	ELECTRICAL	STD	STANDARD
ELEV	ELEVATOR OR ELEVATION	STL	STEEL
EQ	EQUAL	STRUCT	STRUCTURAL
EQ	EXTERIOR	S.S.	SANITARY SEWER
F.A.R.	FLOOR AREA RATIO	S.S.D.	SEE STRUCTURAL DRAWINGS
F.B.O.	FURNISHED BY OWNER/OTHER	SYM	SYMMETRICAL
FIN	FINISH	T	TREAD
FLUOR	FLOOR	TEMP	TEMPERED
F.O.C.	FACE OF CONCRETE	T.O.S.	TOP OF SLAB
F.O.F.	FACE OF FINISH	T.W.	TOP OF WALL
F.O.S.	FACE OF STUD	TYP	TYPICAL
FT	FOOT OR FEET	U.O.N.	UNLESS OTHERWISE NOTED
GA	Gauge	V.I.F.	VERIFY IN FIELD
GALV	GALVANIZED	W/	WITH/WASHER
GFI	GROUND FAULT INTERRUPTER	WOOD	WOOD
GSM	GALVANIZED SHEET METAL	W/O	WITHOUT
GYP	GYPSUM	WP	WATERPROOF
H.C.	HOLLOW CORE	W.R.	WATER RESISTANT
HDWD	HARDWOOD	WRB	WEATHER-RESISTANT BARRIER
		W.S.	WEAR STRIP
		W.W.F.	WEALED WIRE FABRIC

## SHEET INDEX

ARCHITECTURE	A0.0	PROJECT DATA, GENERAL NOTES, SYMBOLS & LEGEND, VICINITY MAP
CIVIL		
TOPO		TOPOGRAPHIC SURVEY
BMP		CONSTRUCTION BEST MANAGEMENT PRACTICES
C-1		DRAINAGE PLAN
C-2		EROSION CONTROL PLAN
ARCHITECTURE		
A1.0		PROPOSED SITE PLAN, TREE PROTECTION NOTES, LANDSCAPE SCHEDULE
A1.2		AREA PLANS, AREA LEGEND, AREA SCHEDULE
A2.1		FIRST FLOOR PLAN, SECOND FLOOR PLAN
A2.3		ROOF PLAN
A3.0		EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS
A4.0		BUILDING SECTIONS

## VICINITY MAP



## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 522 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 482 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



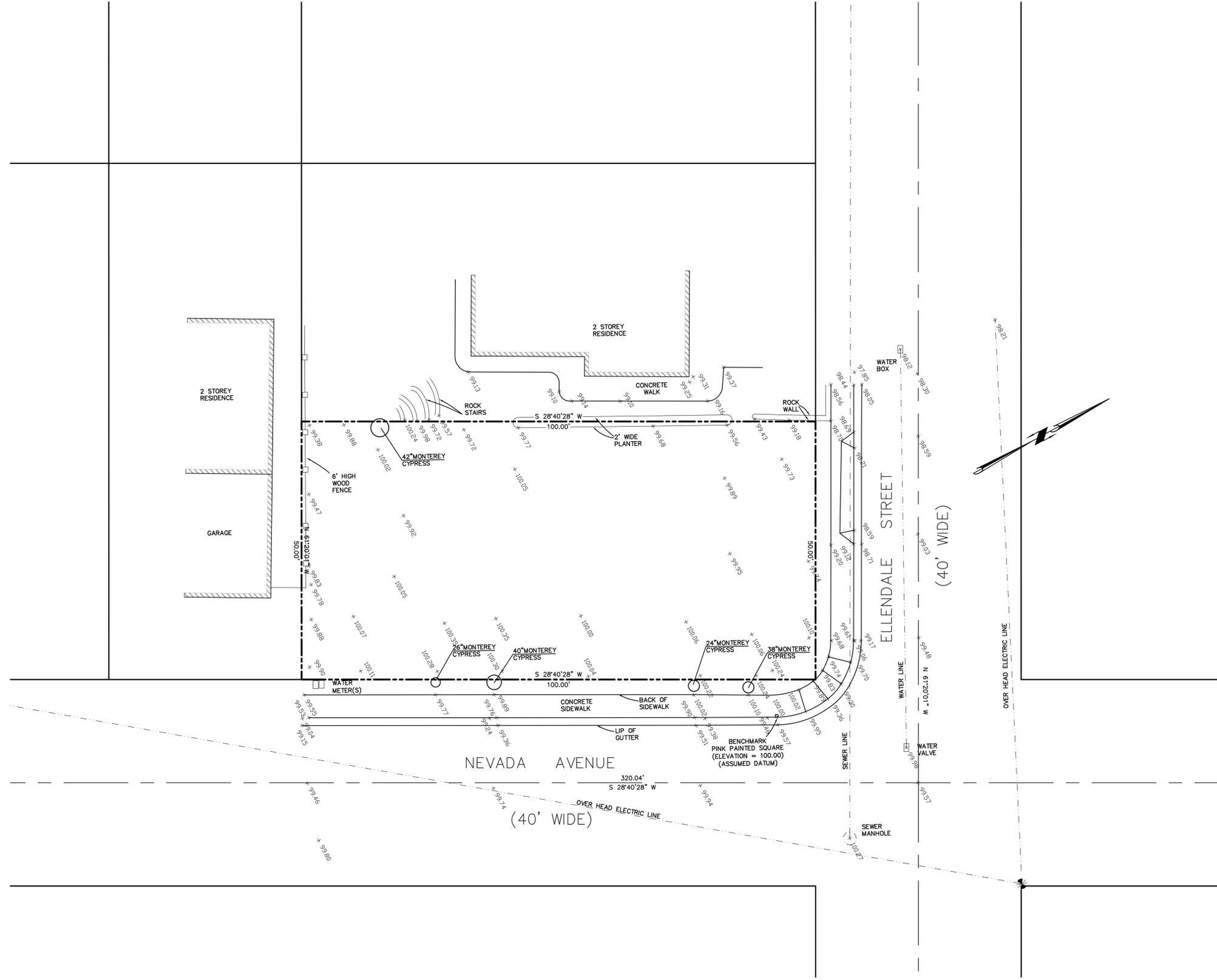
**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

REVISIONS		
NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: As indicated  
 ISSUE STATUS: CDRC APPLICATION

PROJECT DATA,  
 GENERAL NOTES,  
 SYMBOLS & LEGEND,  
 VICINITY MAP

**A0.0**



**BENCHMARK STATEMENT:**  
 THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

**SURVEYOR'S STATEMENT:**  
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JULY 2014 AND UPDATED MARCH 2021. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN. EASEMENTS MAY EXIST IN THE TITLE REPORT...

*Savior P. Micallef*  
 SAVIDR P. MICALLEF  
 LAND SURVEYOR, L.S. 8289  
 (805) 709-2423

03-15-21  
 DATE

SAVIDR P. MICALLEF LAND SURVEYING  
 421 WILDWOOD DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF  
 APN 037-135-170  
 (UNINCORPORATED SAN MATEO COUNTY, CALIFORNIA)

Revisions	
No.	Description

Date: 03-15-21  
 Scale: 1"=10'  
 Design: SPM  
 Drawn: SPM  
 Approved: SPM  
 Job No.:



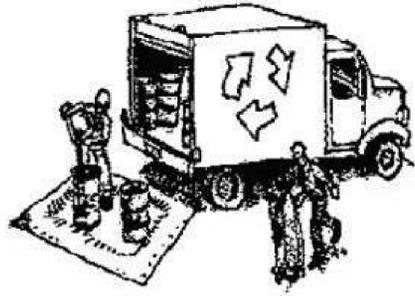
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



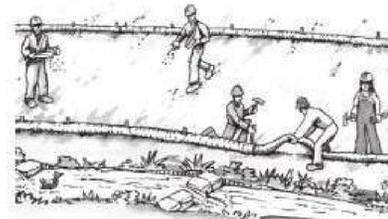
### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

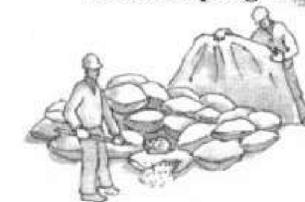
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



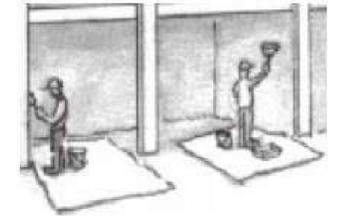
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

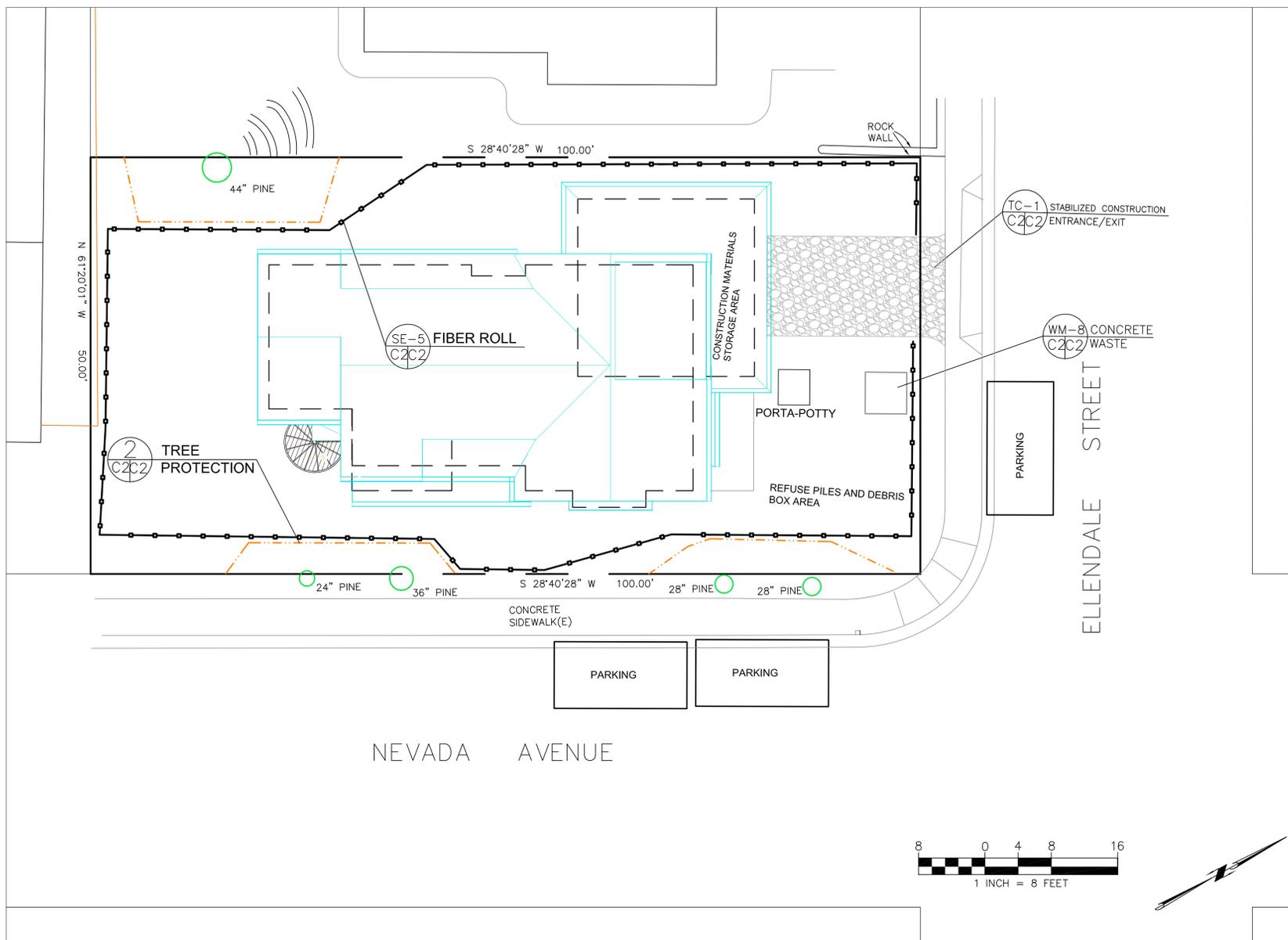
## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

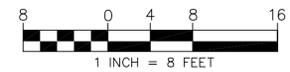
**Storm drain polluters may be liable for fines of up to \$10,000 per day!**





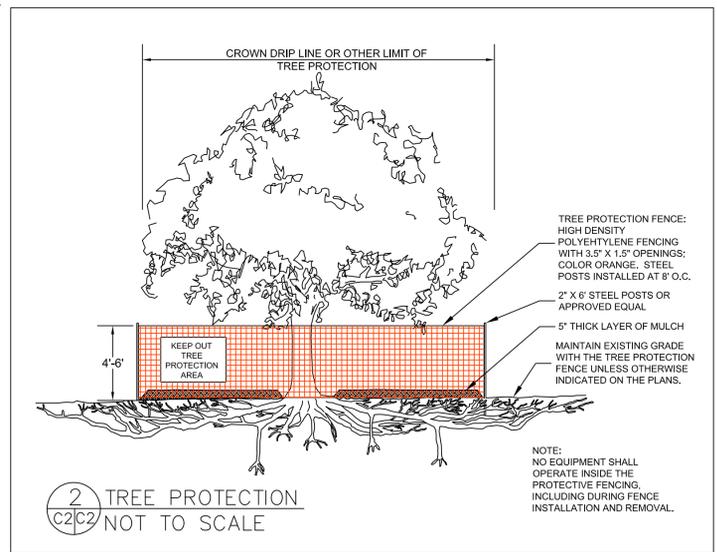
NEVADA AVENUE

ELLENDALE STREET

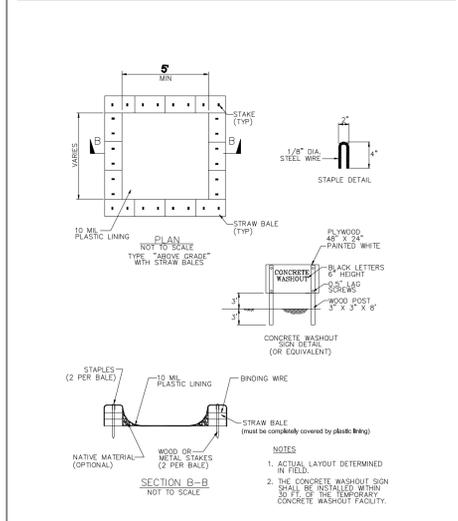


**TREE PROTECTION NOTES**

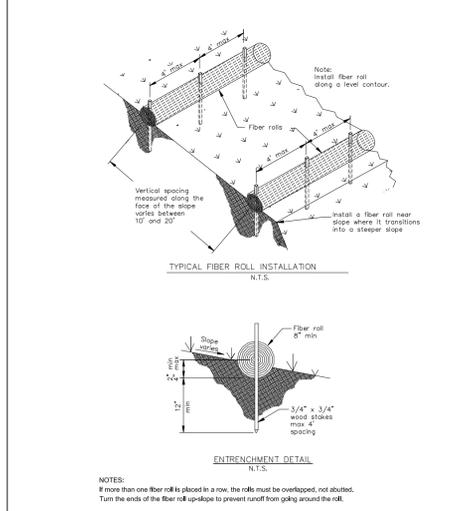
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



**CONCRETE WASTE MANAGEMENT WM-8**



**FIBER ROLLS SE-5**



**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

**EROSION CONTROL POINT OF CONTACT**

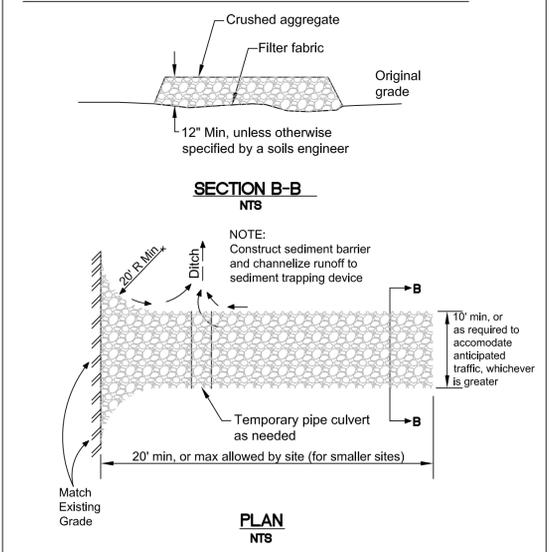
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK  
 TITLE/QUALIFICATION: ARCHITECT  
 PHONE: 650-918-7117  
 E-MAIL: KATIE@FATPEN STUDIOS.COM



**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3580  
 FAX 728-3593

**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**



DATE: 11-3-21  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 4-5-22  
 REV. DATE:  
 REV. DATE:

**EROSION AND SEDIMENT CONTROL PLAN**  
 KAMATH PROPERTY  
 379 NEVADA AVENUE  
 MOSS BEACH  
 APN 037-135-170

**SHEET C-2**

# TREE PROTECTION GUIDELINES

FOR FULL TREE PROTECTION INFORMATION, REFER TO ARBORIST REPORT PREPARED BY MAGUIRE TREE CARE, INC. ALL INFORMATION CONTAINED BELOW IS CAPTURED FROM THIS REPORT AND IS NOT TO BE CONSTRUED AS THE FULL REPORT.

ANY CONSTRUCTION ACTIVITY NEAR AND AROUND THE BASES OF THESE TREES HAS THE POTENTIAL TO DISRUPT THE HEALTH AND STRUCTURAL STABILITY OF THEM, SO IT'S IMPORTANT TO IMPLEMENT THE FOLLOWING GUIDELINES IN ORDER TO SUCCESSFULLY COMPLETE THE PROJECT WITH LITTLE TO NO IMPACT TO THE EXISTING TREES.

**PRUNING:**  
PRIOR TO ANY PROJECT WORK BEING DONE, NEEDED PRUNING SHOULD BE DONE BY AN ISA CERTIFIED ARBORIST USING ANSI A300 PRUNING STANDARDS TO PERFORM BRANCH AND LIMB REMOVAL, END WEIGHT REDUCTION PRUNING AND ANY LIFTING OF LOWER LIMBS TO GIVE THE REQUIRED AIRSPACE FROM THE PROJECT.

**FENCING AND TREE PROTECTION ZONE (TPZ):**  
TEMPORARY FENCING SHOULD BE PLACED IN 3 SPOTS, ALL IN A SEMICIRCULAR PATTERN, ONE FOR TREES ONE AND TWO, ANOTHER FOR TREE THREE, AND THE LAST FOR TREE 4. THE USE OF ORANGE PLASTIC FENCING CAN BE UTILIZED, WITH TEMPORARY POSTS TO HOLD IT IN PLACE. WITHIN THIS AREA NO SUBSTANCES, MATERIALS, TOOLS, SUPPLIES, LIQUIDS, WASTES, ETC. ARE TO BE DUMPED OR STORED, EVEN TEMPORARILY. THIS AREA IS TO BE NAMED THE TPZ ZONE. UNDER NO CIRCUMSTANCES SHOULD ANYTHING BE RINSED OR CLEANED OUT WITHIN THIS AREA.

**SIGNAGE:**  
TREE PROTECTION SIGNAGE MUST BE PLACED ALONG THE TEMPORARY FENCE ONCE EVERY 25'. THE SIGNAGE SHOULD BE WATERPROOF AND STATING THE AREA IS THE TREE PROTECTION ZONE AND THAT NO ENTRY IS ALLOWED.

## TREE PROTECTION ZONE FENCE

**NO ENTRY INSIDE THIS FENCE. DO NOT MOVE OR REMOVE WITHOUT AUTHORIZATION**

No tools, equipment or supplies shall be stored inside this fence

No dumping or rinsing out of any tools or machinery inside this fence

Contact project Arborist for any questions

**SOIL COMPACTION:**  
IN AREAS WHERE THERE WILL BE HIGH TRAFFIC (WITHIN THE DRIP LINE OF THE TREES), A 3" LAYER OF COURSE WOOD CHIP MULCH SHOULD BE LAID OVER THE SOIL TO PREVENT DAMAGE AND COMPACTION IN THE AREA. IF ITS IN A REALLY HIGH TRAFFIC AREA, PLYWOOD CAN ALSO BE LAID OVER THE WOOD CHIPS TO FURTHER PROTECT FROM HEAVY FOOT TRAFFIC. THE MULCH COMBINED WITH THE PLYWOOD WILL OFFER THE MOST PROTECTION FROM COMPACTIONING THE SOIL.

**WATERING:**  
DEPENDING ON WHEN THE WORK TAKES PLACE AND WHAT KIND OF WORK WILL BE DONE WITHIN THE TPZ, IT MAY BE BENEFICIAL TO WATER THE TREES DEEPLY PRIOR TO WORK TAKING PLACE. FOR EXAMPLE, IF ROOTS ARE GOING TO BE INTERRUPTED, EVEN LIGHT ROOT PRUNING, I WOULD RECOMMEND DEEPLY WATERING THE TREES AT LEAST 2 WEEKS BEFORE ANY IMPACTION WOULD TAKE PLACE. THE BEST METHOD FOR DELIVERING WATER WOULD BE USING SOAKER HOSES. APPROXIMATELY 150' OF SOAKER HOSE WOULD BE LAID UNDER THE DRIP LINE OF EACH TREE AND TURNED ON AND ALLOWED TO RUN FOR 8-10 HOURS.

**ROOT PRUNING:**  
IN THE EVENT THAT ANY ROOTS ARE ENCOUNTERED, CUTS THAT EXCEED ANYTHING GREATER THAN 2" IN DIAMETER SHOULD BE BROUGHT TO THE ATTENTION TO THE PROJECT ARBORIST TO INSURE THAT THE ROOTS ARE PROPERLY CUT. THE ROOTS SHOULD BE CUT VERY CLEANLY, WITH THE USE OF SHARP HAND SAWS OR SAWZALL BLADES. THE ROOTS SHOULD UNDER NO CIRCUMSTANCES BE RIPPED UP FROM THE SOIL USING HEAVY EQUIPMENT OR LARGER HAND TOOLS. IF ANY CUT ENDS OF ROOTS ARE EXPOSED, THEY SHOULD BE COVERED UP TO PREVENT DRYING OUT. METHODS USED FOR THIS WOULD BE TO DRAPE MULTIPLE LAYERS OF BURLAP OVER THE CUT ENDS AND THEN WETTING DOWN THE MATERIAL TO KEEP THE ROOTS MOIST. BACKFILLING SHOULD BE DONE AS SOON AS POSSIBLE. ALL BACKFILLING SHOULD BE DONE WITH PARENT SOIL AND NOT COMPACTED WHEN PUT BACK INTO PLACE.

**TRENCHING:**  
AREAS THAT WILL NEED BE TRENCHED FOR FOUNDATION OR UTILITIES UNDER THE DRIP LINES OF THE TREES SHOULD BE PERFORMED WITH HAND TOOLS AND NOT MECHANICAL TOOLS. USING HAND TOOLS WILL ALLOW FOR ROOTS TO BE DISCOVERED WITHOUT FURTHER DAMAGE. ONCE ROOTS ARE LOCATED, THEY CAN THEN BE CUT CLEANLY.

**JOINT TRENCH NOTED AT THE CORNER NEAR TREE #1 CAN BE SUCCESSFULLY DONE BY HAND DIGGING, OR USE OF AN AIRSPADE TO REMOVE THE SOIL FOR THE TRENCH. THIS METHOD WOULD ALLOW FOR ROOT DISCOVERY, AND THEN THOSE ROOTS CAN BE KEPT INTACT WHILE TRENCH IS OPEN. ALL ROOTS WITHIN THE TPZ WILL BE REQUIRED TO BE WRAPPED WITH MULTIPLE LAYERS OF BURLAP, WHICH SHOULD BE WETTED DOWN A FEW TIMES DURING THE DAY TO PREVENT DRYING OUT. THE TRENCH SHOULD BE BACKILLED AS SOON AS POSSIBLE. IF ANY ROOTS OVER 2" IN DIAMETER NEED TO BE CUT, THE PROJECT ARBORIST SHOULD BE ONSITE TO INSPECT.**

**TRUNK BUFFER:**  
TRUNK BUFFERS ACT AS SECONDARY "REDUNDANT" TREE PROTECTION FOR THE ABOVE-GROUND LOWER TRUNK AREAS. IN THE CASE THAT THE TEMPORARY FENCING IS TEMPORARILY REMOVED FOR ANY REASON, THE TRUNK BUFFER IS DESIGNED TO PREVENT OR MITIGATE MOST PHYSICAL IMPACTS TO TRUNK BARK BY MACHINERY TRAVEL IN CLOSE PROXIMITY TO TREES. THIS CAN ALSO BE APPLIED TO LOW HANGING LIMBS THAT COULD POTENTIALLY BE HIT BY HEAVY EQUIPMENT. METHODS FOR WRAPPING THE TRUNK CONSIST OF USING 2X4 MATERIAL AND WRAPPED TO THE TREE ON ALL SIDES WITH ORANGE PLASTIC FENCING.

# SITE PLAN NOTES

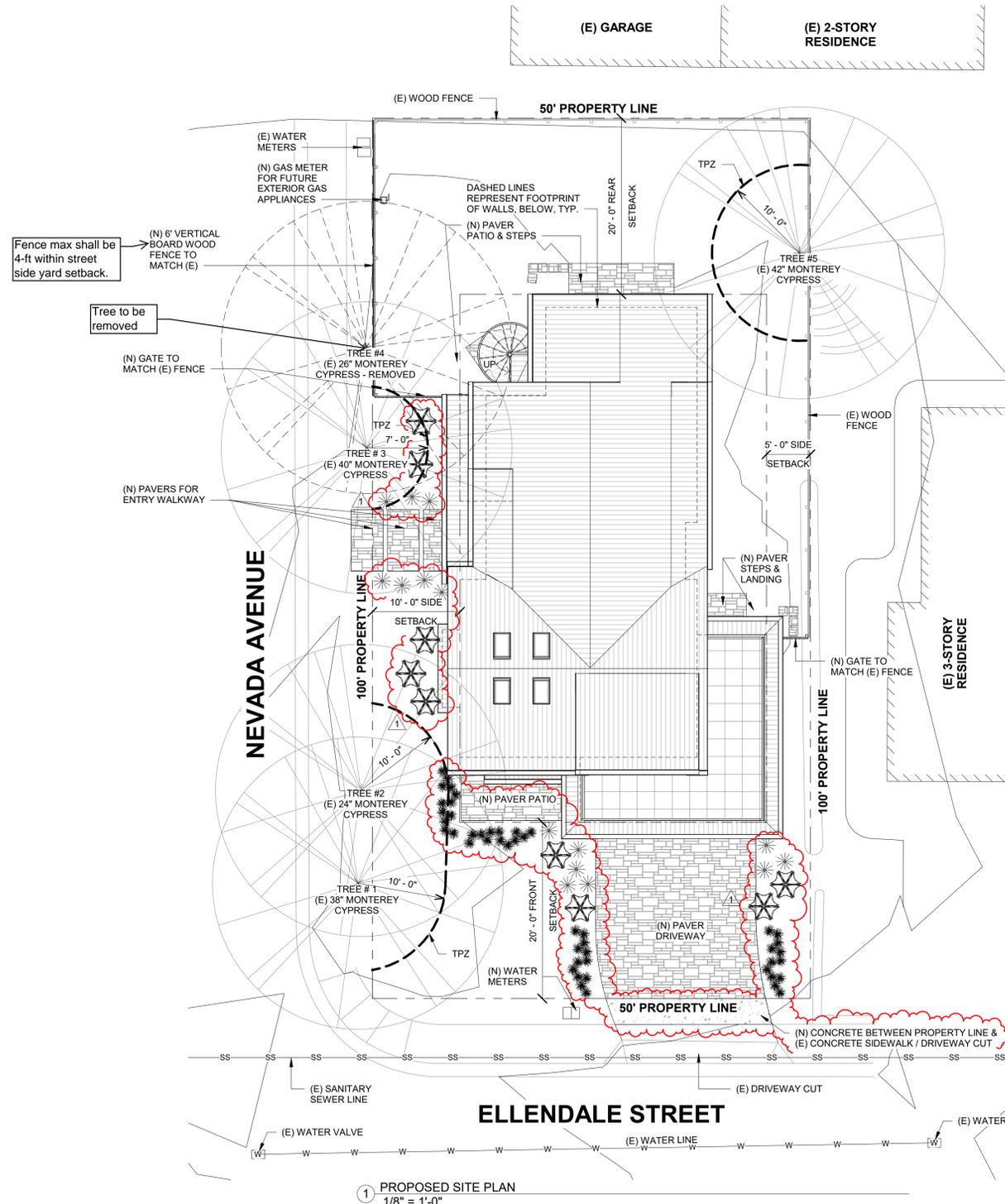
- REFER TO ROOF PLAN FOR ROOF SLOPES & DOWNSPOUT LOCATIONS, TYP.
- REFER TO CIVIL SHEETS FOR SURVEY AND TOPOGRAPHIC INFORMATION, TYP.
- REFER TO CIVIL SHEETS FOR GRADING, DRAINAGE AND FINISHED GRADE ELEVATION INFORMATION, TYP.
- REFER TO CIVIL FOR HARDSCAPE DESIGN AND MATERIALS INCLUDING DRIVEWAY, SIDEWALKS, CONCRETE PATIONS AND SITE STEPS, TYP.
- REFER TO CIVIL FOR UTILITY INFORMATION, TYP.
- REFER TO ARBORIST REPORT FOR TREE PROTECTION DETAILS.

# PLANT LEGEND

- ANIGOZANTHOS "BUSH RANGER" 12" - 24" WIDE 12" - 24" TALL
- "ROYAL VELVET" ENGLISH LAVENDER 24" - 36" TALL, 24" SPREAD
- "LEMON CORAL" SEDUM 3" - 10" TALL, 10" - 14" SPREAD

# LANDSCAPE NOTES

- A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS, WHERE MULCH IS CONTRA INDICATED.
- MINIMUM 75% OF PLANTINGS SHALL HAVE A WUCOLS PLANT FACTOR OF 0.3
- AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST SUPPLY THE OWNER WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE & IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY THE SOILS TEST, COMPOST AT A RATE OF MIN. 4 CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- ALL PLANTS TO BE HAND WATERED.



1 PROPOSED SITE PLAN  
1/8" = 1'-0"



# PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
620 AVENUE PORTOLA #522  
EL GRANADA, CA 94018  
650-918-7117  
info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
482 CUESTA DRIVE  
LOS ALTOS, CA 94024  
408-368-7527  
jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
332 PRINCETON AVE  
HALF MOON BAY, CA 94019  
(650) 728-3590  
sigmaprm@gmail.com

# REVISIONS

NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
ISSUE DATE: 11/10/2021  
SCALE: 1/8" = 1'-0"  
ISSUE STATUS:

CDRC APPLICATION

PROPOSED SITE PLAN,  
TREE PROTECTION  
NOTES, LANDSCAPE  
SCHEDULE

**A1.0**

## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 462 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

## REVISIONS

NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/8" = 1'-0"  
 ISSUE STATUS:

CDRC APPLICATION

AREA PLANS, AREA LEGEND, AREA SCHEDULE

# A1.2

AREA SCHEDULE - FAR			
NAME	AREA	DIMENSIONS	COMMENTS

### FIRST FLOOR

A1	167.7 SF	16' - 9 1/4" x 10' - 0"	
A2	292.8 SF	20' - 6 7/8" x 14' - 2 3/4"	
A3	123.3 SF	20' - 11" x 5' - 10 3/4"	
A4	52.6 SF	7' - 10 3/8" x 6' - 8 1/4"	
A5	163.5 SF	26' - 5 5/8" x 6' - 2 1/8"	
A6	445.4 SF	21' - 1 1/4" x 21' - 1 1/4"	
A7	186.4 SF	13' - 5 7/8" x 13' - 9 7/8"	
A8	16.8 SF	1' - 11 1/4" x 8' - 7 3/4"	
1448.5 SF			

### SECOND FLOOR

A9	167.7 SF	16' - 9 1/4" x 10' - 0"	
A11	335.5 SF	23' - 6 7/8" x 14' - 2 3/4"	
A12	72.6 SF	10' - 10 3/8" x 6' - 8 1/4"	
A13	78.4 SF	11' - 8 5/8" x 6' - 8 1/4"	
A14	529.5 SF	26' - 5 5/8" x 20' - 0"	
A15	16.8 SF	1' - 11 1/4" x 8' - 7 3/4"	
1200.4 SF			
TOTAL FAR: 2648.9 SF			

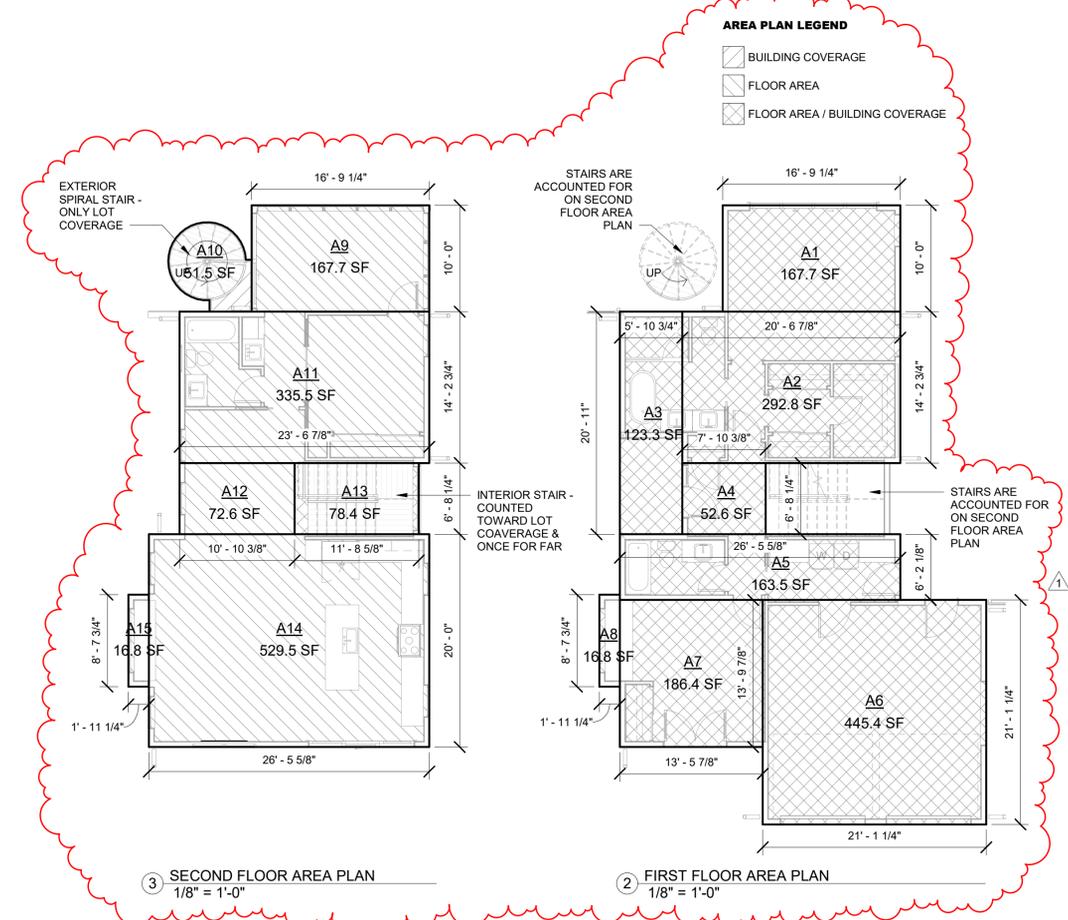
AREA SCHEDULE - PARCEL COVERAGE			
NAME	AREA	DIMENSIONS	COMMENTS

### FIRST FLOOR

A1	167.7 SF	16' - 9 1/4" x 10' - 0"	
A2	292.8 SF	20' - 6 7/8" x 14' - 2 3/4"	
A3	123.3 SF	20' - 11" x 5' - 10 3/4"	
A4	52.6 SF	7' - 10 3/8" x 6' - 8 1/4"	
A5	163.5 SF	26' - 5 5/8" x 6' - 2 1/8"	
A6	445.4 SF	21' - 1 1/4" x 21' - 1 1/4"	
A7	186.4 SF	13' - 5 7/8" x 13' - 9 7/8"	
A8	16.8 SF	1' - 11 1/4" x 8' - 7 3/4"	
1448.5 SF			

### SECOND FLOOR

A13	78.4 SF	11' - 8 5/8" x 6' - 8 1/4"	
	78.4 SF		
TOTAL FAR: 1526.9 SF			



△

△



## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 482 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

## REVISIONS

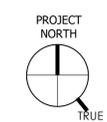
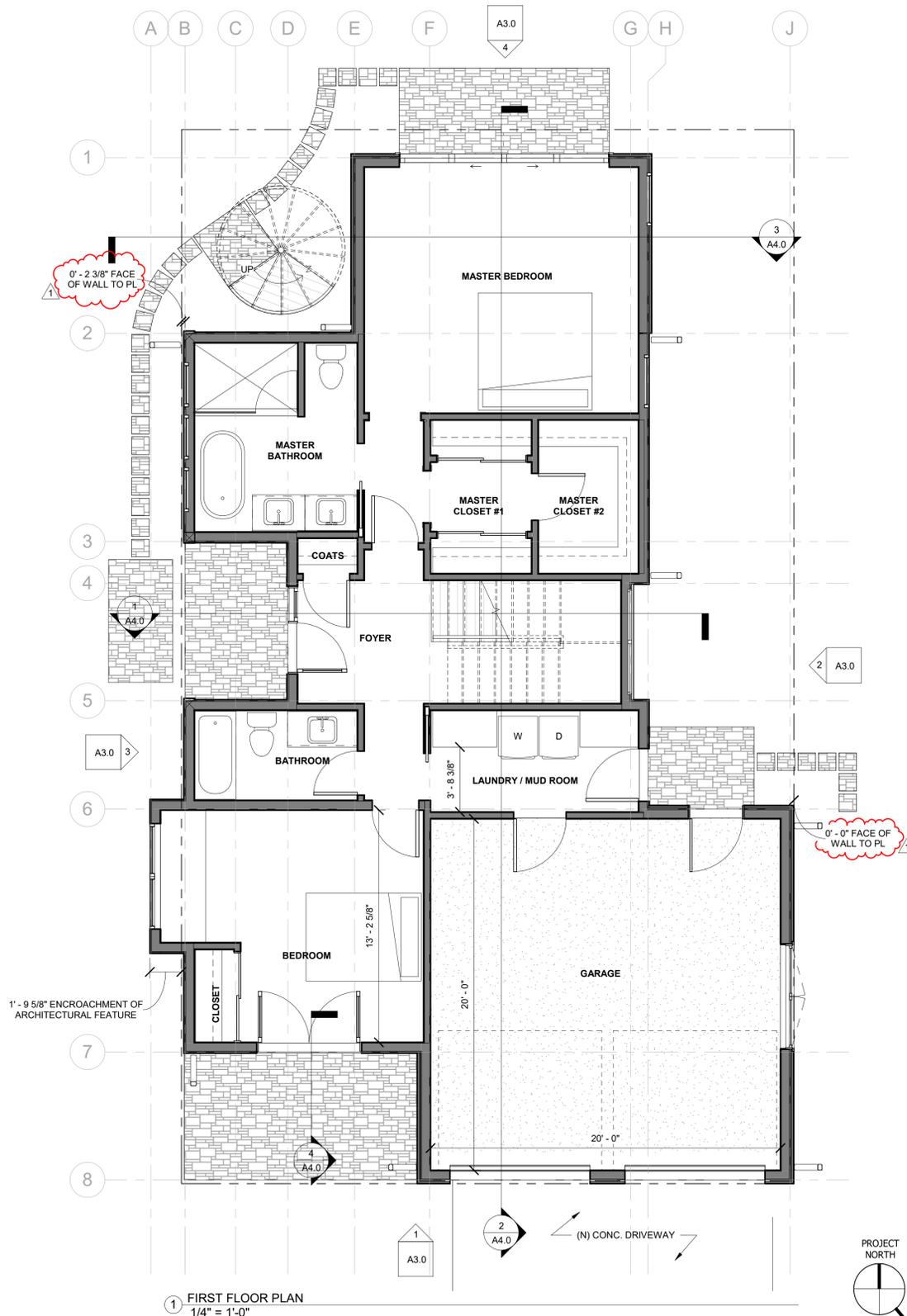
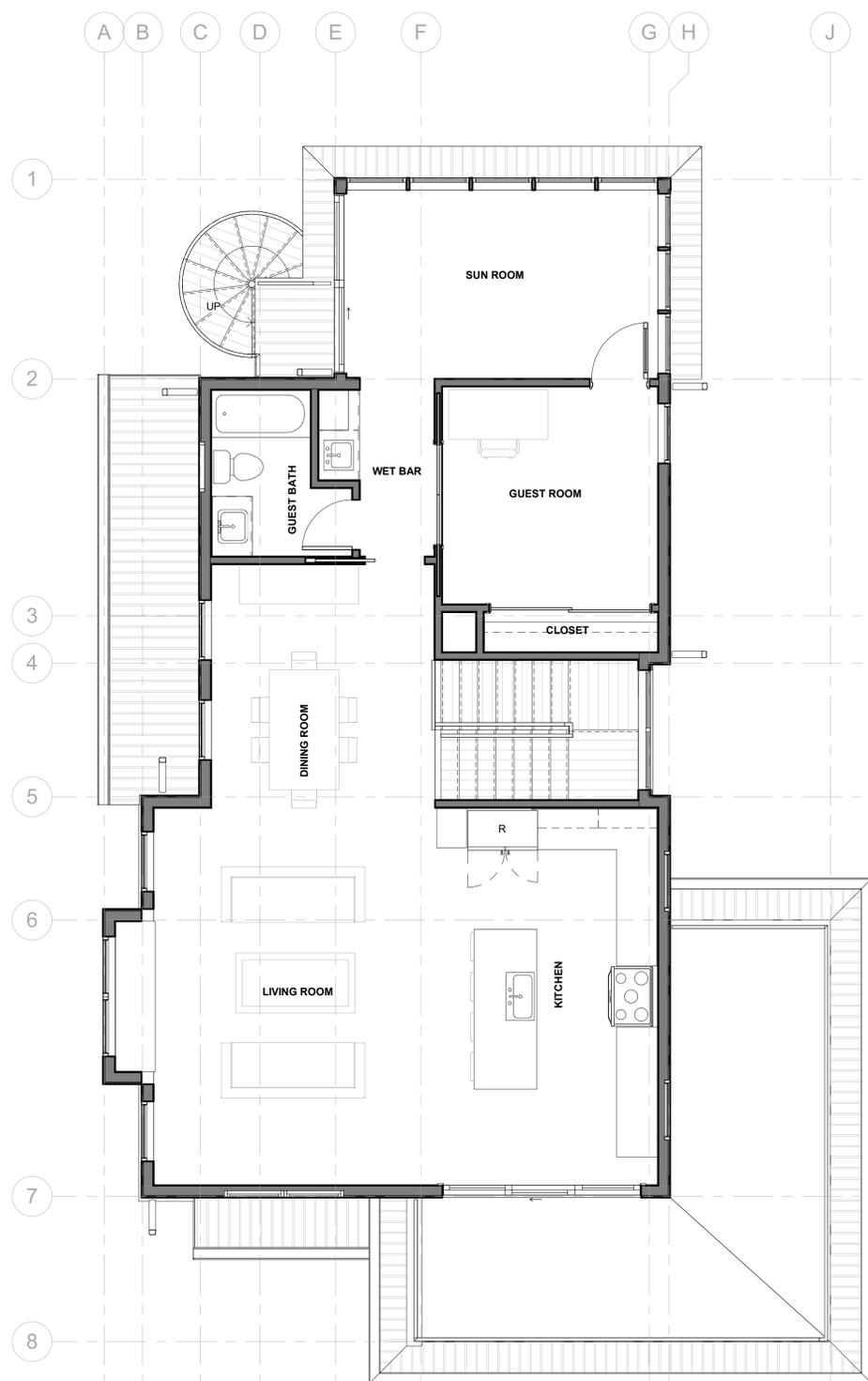
NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

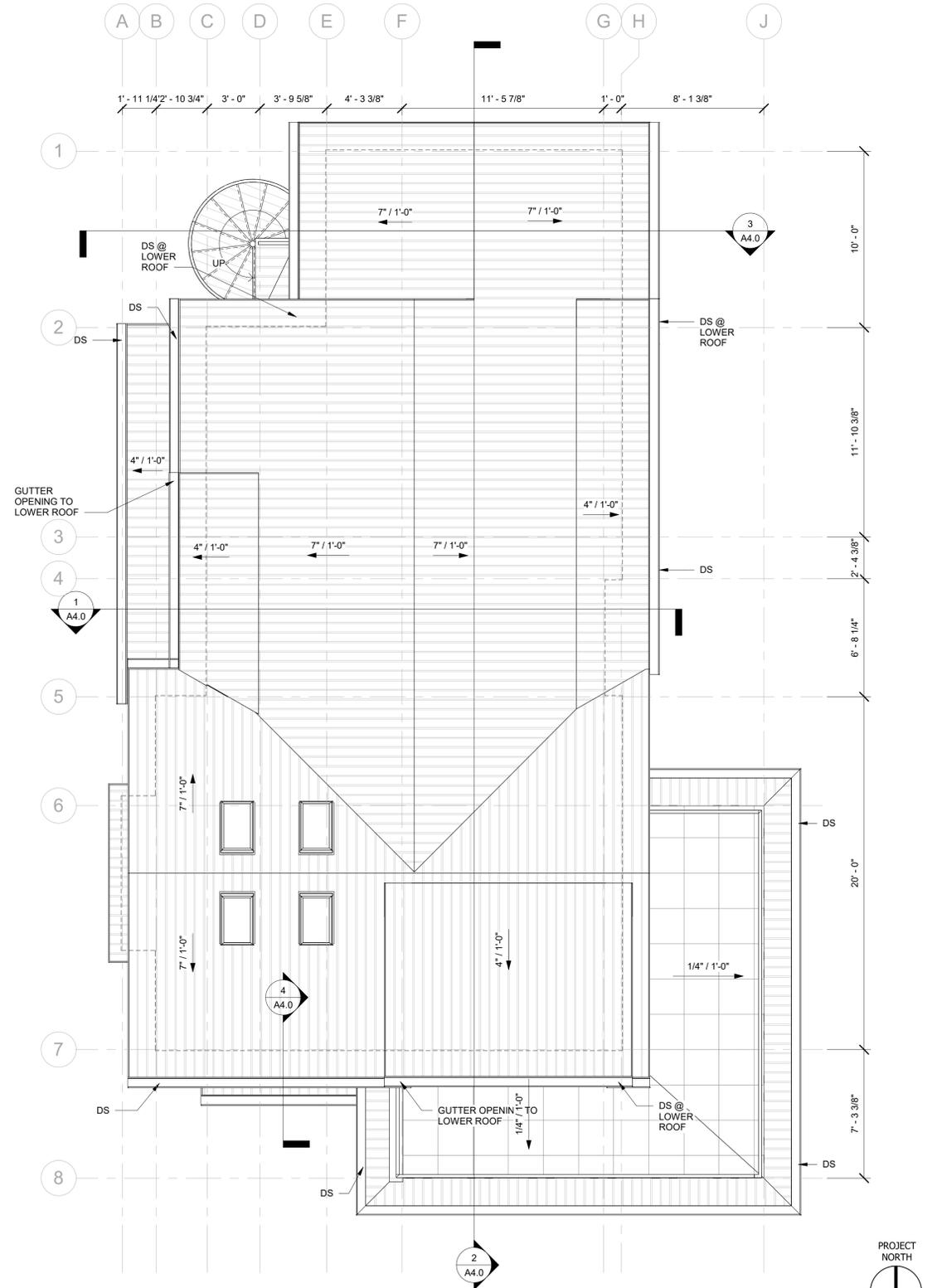
PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/4" = 1'-0"  
 ISSUE STATUS:

CDRC APPLICATION

FIRST FLOOR PLAN,  
 SECOND FLOOR PLAN

# A2.1





1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

### ROOF & GUTTER NOTES

- REFER TO CIVIL FOR DRAINAGE TIE-IN.
- REFER TO EXTERIOR ELEVATIONS FOR MATERIAL SPECIFICATION.
- REFER TO DETAILS FOR ROOF ASSEMBLY AND EAVE DETAILS.
- REFER TO STRUCTURAL FOR SHEATHING AND FRAMING SIZING AND SPACING.
- REFER TO T24 FOR INSULATION REQUIREMENTS.
- GUTTERS AND DOWNSPOUTS TO BE HEAVY GAUGE BONDERIZED, GALVANIZED METAL WITH SOLDERED JOINTS. REFER TO EXTERIOR ELEVATIONS FOR COLOR SPECIFICATIONS.
- PER CRC SECTION R905.2.8.5, PROVIDE DRIP EDGE AT GUTTERS AND RAKE EDGES, TYP.
- PROVIDE DOUBLE UNDERLAYMENT APPLICATION PER CRC SECTION R905.2.2 APPLIED IN COMPLIANCE WITH CRC SECTION R905.2.7 FOR ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12, TYP.
- PER CRC SECTION R905.2.8.5, PROVIDE DRIP EDGE AT GUTTERS AND RAKE EDGES, TYP.
- PROVIDE DOUBLE UNDERLAYMENT APPLICATION PER CRC SECTION R905.2.2 APPLIED IN COMPLIANCE WITH CRC SECTION R905.2.7 FOR ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12, TYP.
- ALL ROOF INSULATION SHALL COMPLY WITH R806.5(5.1.1) FOR AIR-IMPERMEABLE INSULATION NOTED AS SPRAY FOAM INSULATION.
  - OPEN CELL INSULATION SPECIFIED IS BAYSEAL OC SPRAY-APPLIED POLYURETHANE INSULATION PER ICC REPORT NO. ESR-1655, OR EQUIVALENT, TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - CLOSED CELL INSULATION SPECIFIED IS BAYSEAL CC SPRAY-APPLIED POLYURETHANE INSULATION PER ICC REPORT NO. ESR-2072, OR EQUIVALENT, TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- IF OWNER/CONTRACTOR SHOULD MODIFY THE INSULATION SPECIFICATION THEN THE FOLLOWING APPLIED AND OWNER/CONTRACTOR SHALL SUBMIT REVISED ROOF SHEET WITH VENTILATION CALCULATIONS:
  - VENTING SHALL COMPLY WITH CBC SECTION 1203.2.
  - UPPER AND LOWER ROOFS OVER CONDITIONED SPACE MUST COMPLY WITH VENTING REQUIREMENTS.
  - PROVIDE EQUAL NUMBER OF SQ. IN. OF VENTILATION AT SOFFIT/EAVE AND AT RIDGE. IF EQUAL NUMBER OF SQ. IN. IS NOT POSSIBLE, A RATIO OF 1 SQ. IN. OF VENTILATION PER 300 SF OF ENCLOSED ATTIC MUST BE MET WITH EAVE/SOFFIT VENTS.
  - PROVIDE ATTIC VENTILATION CALCULATIONS FOR REQUIRED SQ. IN. OF VENTILATION, IF REQUIRED.
  - CONTRACTOR TO PROVIDE SPECIFICATION AND QUANTITY OF VENTS THAT COMPLY WITH THE VENTILATION CALCULATIONS.
  - PROVIDE MIN. 1 1/2" AIR GAP ABOVE INSULATION FOR AIR VENTILATION PER CBC.



#### PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 482 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

#### REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/4" = 1'-0"  
 ISSUE STATUS:

CDRC APPLICATION

ROOF PLAN

A2.3

## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 482 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

### REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/4" = 1'-0"  
 ISSUE STATUS:

**CDRC APPLICATION**

**EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS**

**A3.0**



**EXTERIOR SCONCES:** 10" GOODYEAR LED BARN LIGHT W/TRADITIONAL ARM. MATTE BLACK (DARK SKY COMPLIANT) OR SIMILAR. PENDANT LIGHT AT ENTRY TO MATCH SCONCE.



**STANDING SEAM METAL ROOF, WINDOWS & DOORS, RAILING POSTS & INFILL:** MORIN SW/L ROOF SERIES, COLOR: BRISTOL BLACK (SRI:25) OR SIMILAR. WINDOWS, DOORS, SPIRAL STAIRS, & RAILINGS PAINTED TO MATCH.



**STONE VENEER:** ELDORADO STONE ROUGH CUT, COLOR: LOIRE VALLEY OR SIMILAR



**WOOD BEAM/POSTS AT ENTRY:** WOOD SPECIES TBD & MEDIUM STAIN. TO COORDINATE WITH GARAGE DOORS & WOOD FENCE.



**HORIZONTAL LAP SIDING:** HARDI PLANK LAP SIDING, COLOR: EVENING BLUE OR SIMILAR



**BOARD & BATTEN VERTICAL SIDING:** HARDI PANEL VERTICAL SMOOTH SIDING, COLOR: COBBLE STONE OR SIMILAR



**PERVIOUS PAVER PATIOS & DRIVEWAY:** CASTLEITE CARRAGE STONE PAVERS, COLOR: SHASTA BLEND OR SIMILAR



2 NORTH ELEVATION  
 1/4" = 1'-0"

4 WEST ELEVATION  
 1/4" = 1'-0"



3 SOUTH (NEVADA) ELEVATION  
 1/4" = 1'-0"

1 EAST (ELLEENDALE) ELEVATION  
 1/4" = 1'-0"

## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 482 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

## REVISIONS

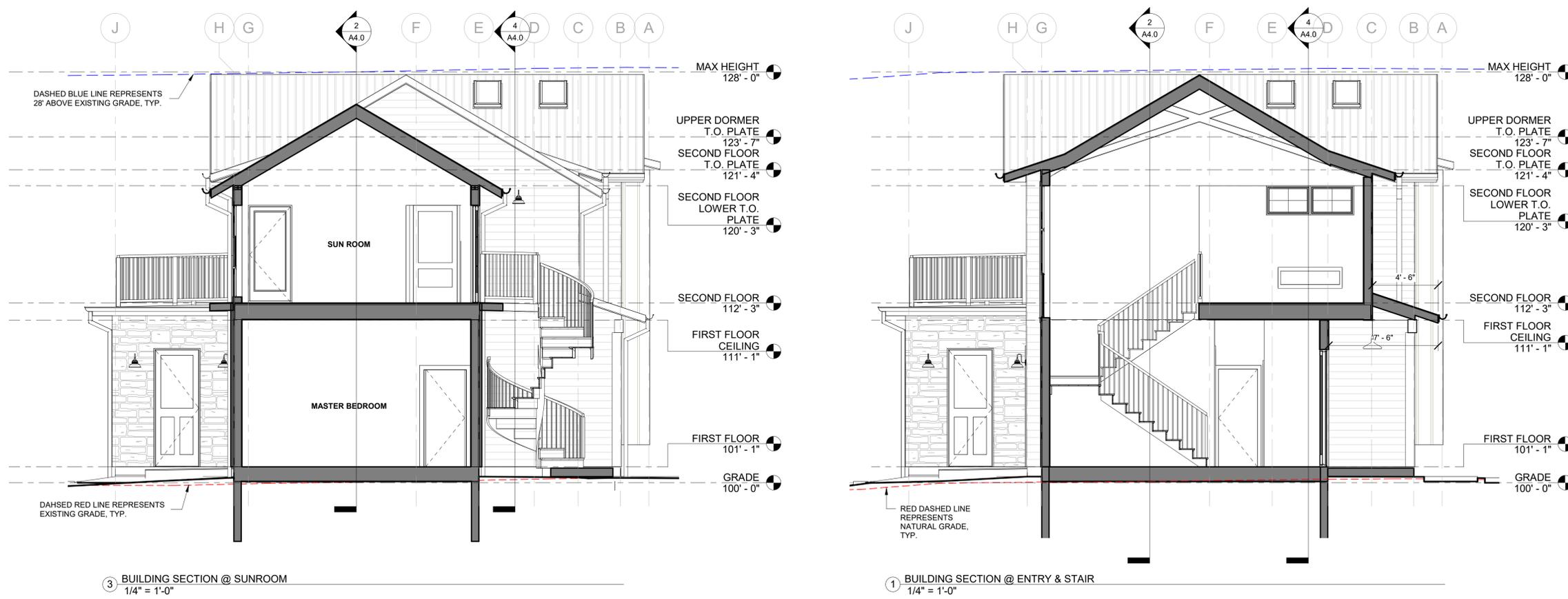
NO.	DESCRIPTION	DATE

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/4" = 1'-0"  
 ISSUE STATUS:

CDRC APPLICATION

BUILDING SECTIONS

# A4.0





**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**



Maguire  
TREE CARE, INC.

Wednesday, July 13, 2022

RE: 379 Nevada Ave, Moss Beach  
APN 037-135-170

To whom it may concern:

I was asked to provide a brief letter on pruning recommendations for the 5 Cypress trees that stand at the above property. A report was written for the project already.

I visited the trees today, and it appears the trees have been pruned AFTER I initially wrote my report. The pruning that was done on the trees was of very poor quality.

I do not see any limbs that may interfere with any building, but would like to observe this once construction takes place to get a better visual understanding of what limbs may need any more attention.

Overall, all the trees need some corrective pruning. Tree 4 needs complete removal. The pruning that took place basically thinned the trees improperly and removed whole lower limbs. Heavy end weight remained on all upper canopy limbs, many limbs are being supported by lower limbs, some limbs have failed, etc. Tree 3 has an entire stem that reaches out over street/lines that needs complete removal. A portion of this limb is also resting on what's left of Tree 4.

The back tree, tree 5, was not pruned as badly as the front trees, at least that's how it appears from the ground. Overall, end weight reduction work and the removal of problem limbs (bad crossing branches, cracked/broken and larger dead).

I recommend that any pruning in the future on these trees is done by a company with an ISA Certified Arborist on staff and that the pruning is done in accordance with ANSI A300 pruning standards. Also, the company should be very familiar with this species of tree and the coastal weather environment.

If I can be of further assistance, please do not hesitate to call.

Respectfully,

Paul Maguire  
Maguire Tree Care, Inc.  
ISA Certified Arborist #5204A



**Maguire**  
TREE CARE, INC.

**EVALUATION AND TREE PROTECTION REPORT ON MONTEREY  
CYPRESS (*Cupressus macrocarpa*)**

**Report prepared for:**

Jaya Kamath  
482 Custa Dr.  
Los Altos, CA 94024

**Report prepared by:**

Paul Maguire  
Maguire Tree Care, Inc.  
ISA Certified Arborist #5204A  
Tuesday, September 21, 2021

## ASSIGNMENT

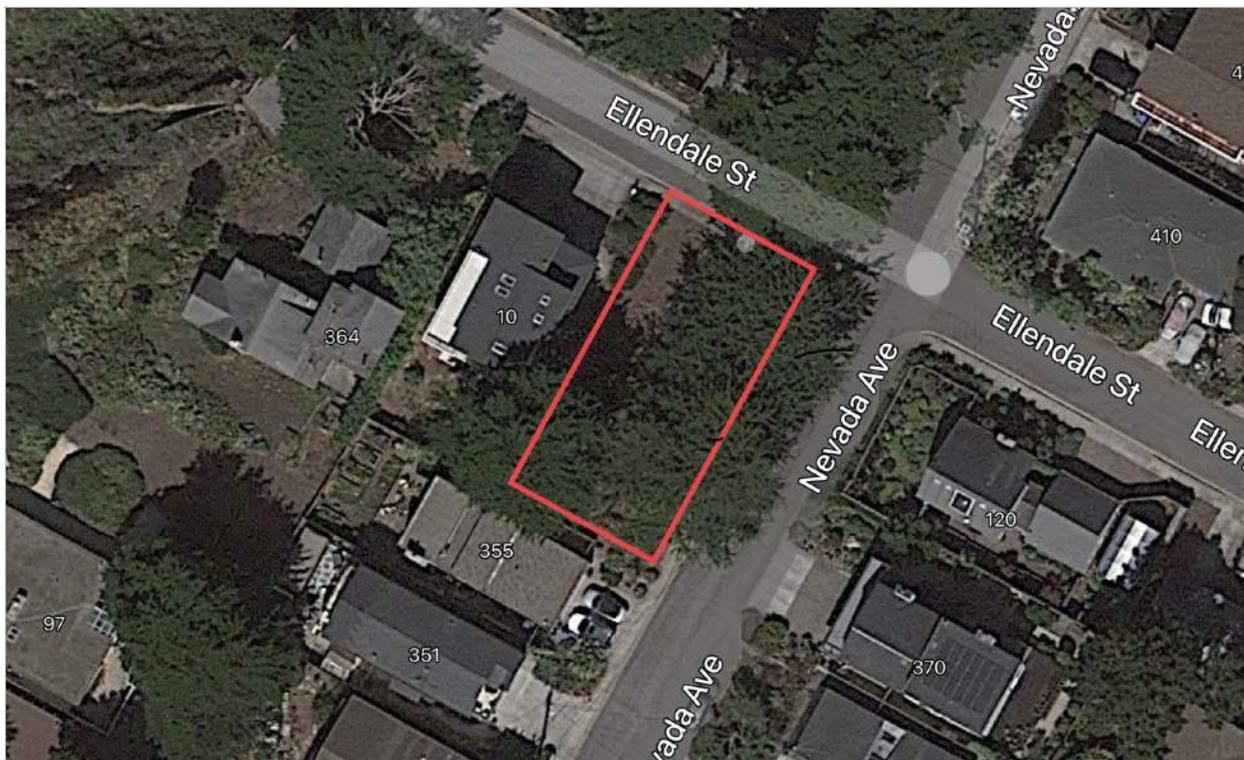
I was retained by Jaya Kamath to prepare a written report evaluating 5 mature Cypress trees, and to make a tree protection report for a new home construction.

The property is on a vacant lot in Moss Beach, located on the north west corner of Ellendale and Nevada Ave. The APN of the lot is 037-135-170

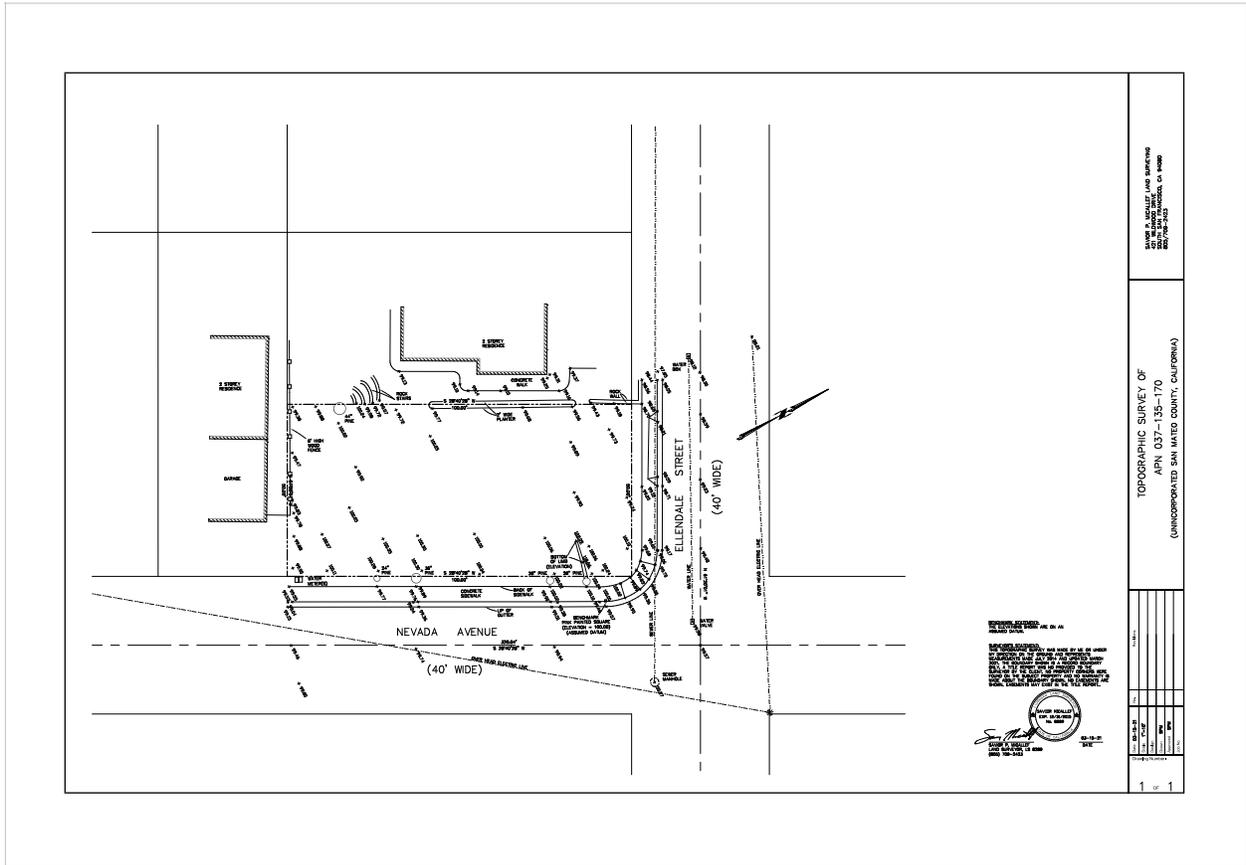
## OBSERVATIONS

Site Description:

This is a vacant lot with a flat grade. There are 5 mature trees that sit on the property. 4 of them are along the sidewalk along Nevada, while the 5th tree is along the north fence line near the back of the property. This appears to be a shared tree. Below is a google maps view of the property:



The image on this page was the topographic survey that was provided to me. Note that the survey lists the trees as pines, but they are in fact Cypress.



Tree Descriptions:

Below is the view of all trees on property



Tree #	Species	DBH/Height	Overall Condition:
1	<i>Cupressus macrocarpa</i>	38" x 35'	Fair
2	<i>Cupressus macrocarpa</i>	24" x 35'	Fair
3	<i>Cupressus macrocarpa</i>	40" x 40'	Fair
4	<i>Cupressus macrocarpa</i>	26" x 30'	Very poor
5	<i>Cupressus macrocarpa</i>	42" x 55'	Good

Tree 1:

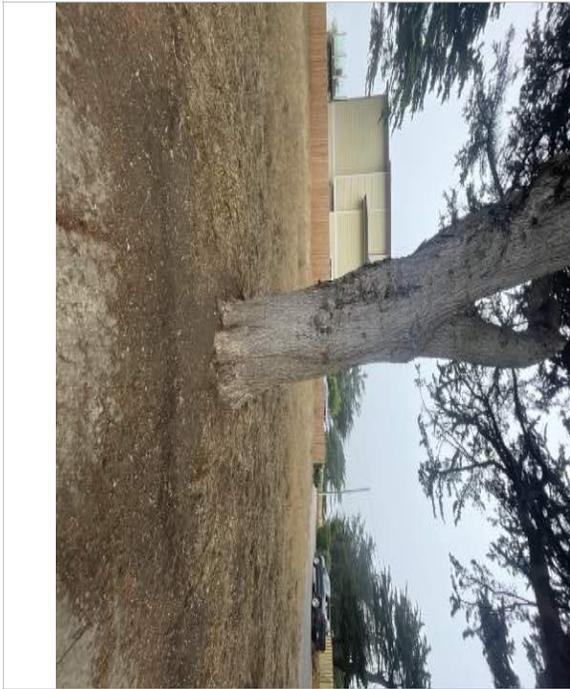


Trunk shot



Canopy shot

Tree 2:

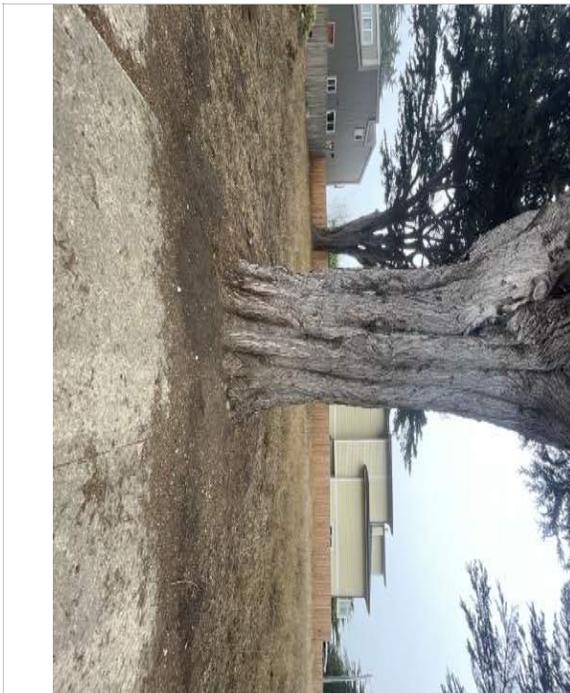


Trunk shot



Canopy shot

Tree 3:



Trunk shot



Canopy shot

Tree 4:



Trunk shot



Canopy shot

Notes on tree 4: This tree should be removed. There are only a couple live limbs left on this tree, and tree 3 is completely leaning on this tree. I would suggest removal of this tree, and end weight pruning the limbs from tree 3 that are leaning on it to see if they can spring up to support themselves. If they are unable to support themselves, the two limbs from tree 3 should be removed back to the trunk.

Tree 5:



Trunk shot



Canopy shot

Tree 5 is a shared tree, the trunk is actually placed on both sides of the picket fence. Below is another angle of all the trees, as viewed from the front of the lot



## **DISCUSSION**

It does appear that all of these trees have been pruned fairly recently. With the exception of tree 4, they should all be retained and protected. They all sit at the very outer edges of the lot, so they seem to be out of the way from most of the construction that would take place. The row of trees along Nevada are only a foot or two off the edge of the sidewalk. The location of all the trees should provide a good buffer from heavy construction activity. Still, preservation measures will need to be taken.

## **PROJECT DESCRIPTION**

I was not provided details of the project that will be taking place on this property. No drawings were submitted to me, other than the topographic survey.

The tree protection plan will begin on the following pages

## TREE PROTECTION GUIDELINES

Any construction activity near and around the bases of these trees has the potential to disrupt the health and structural stability of them, so its important to implement the following guidelines in order to successfully complete the project with little to no impact to the existing trees.

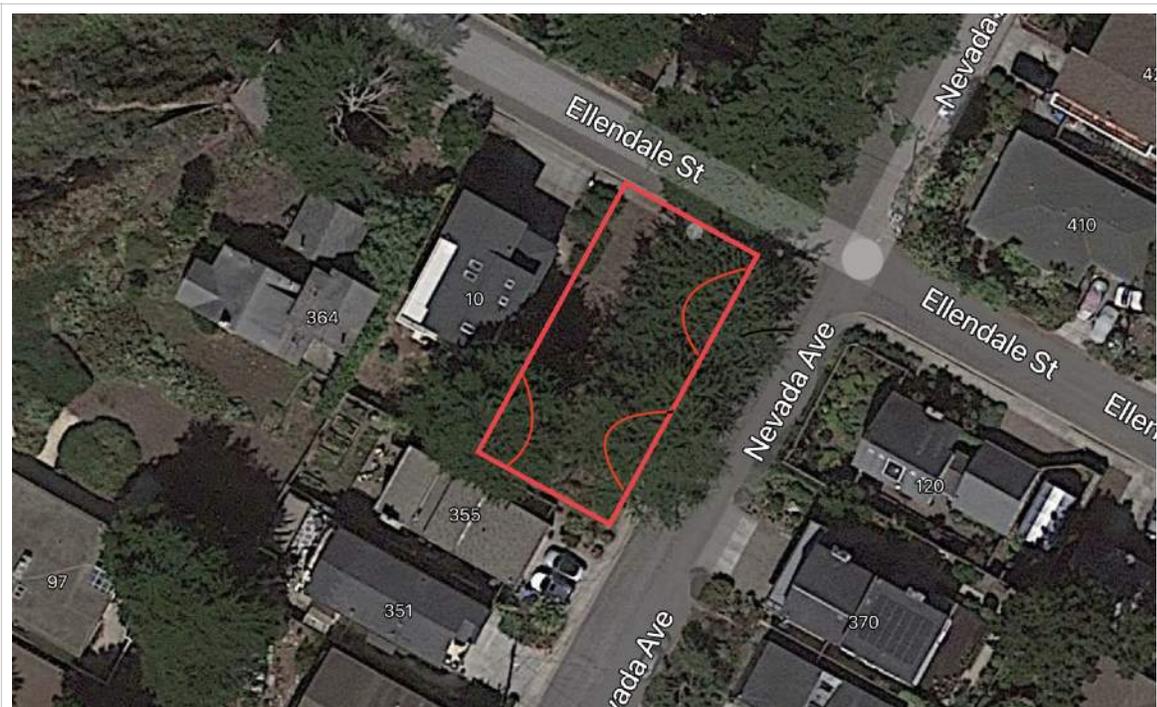
### Pruning:

Prior to any project work being done, needed pruning should be done by an ISA Certified Arborist using ANSI A300 pruning standards to perform branch and limb removal, end weight reduction pruning and any lifting of lower limbs to give the required airspace from the project.

### Fencing and Tree protection zone (TPZ)

Temporary fencing should be placed in 3 spots, all in a semicircular pattern. One for trees one and two, another for tree three, and the last for tree 4. The use of orange plastic fencing can be utilized, with temporary posts to hold it in place. Within this area no substances, materials, tools, supplies, liquids, wastes, etc. are to be dumped or stored, even temporarily. This area is to be named the TPZ zone. Under no circumstances should anything be rinsed or cleaned out within this area.

The diagram below gives an example of fence locations.



Signage:

Tree protection signage must be placed along the temporary fence once every 25'. The signage should be waterproof and stating the area is the Tree Protection Zone and that no entry is allowed.

**TREE PROTECTION ZONE FENCE**

**NO ENTRY INSIDE THIS FENCE. DO NOT MOVE OR REMOVE WITHOUT AUTHORIZATION**

**No tools, equipment or supplies shall be stored inside this fence**

**No dumping or rinsing out of any tools or machinery inside this fence**

**Contact project Arborist for any questions**

Soil Compaction:

In areas where there will be high traffic (within the drip line of the trees), a 3" layer of course wood chip mulch should be laid over the soil to prevent damage and compaction in the area. If its in a really high traffic area, plywood can also be laid over the wood chips to further protect from heavy foot traffic. The mulch combined with the plywood will offer the most protection from compacting the soil.

Watering:

Depending on when the work takes place and what kind of work will be done within the TPZ, it may be beneficial to water the trees deeply prior to work taking place. For example, if roots are going to be interrupted, even light root pruning, I would recommend deeply watering the trees at least 2 weeks before any impaction would take place. The best method for delivering water would be using soaker hoses. Approximately 150' of soaker hose would be laid under the drip line of each tree and turned on and allowed to run for 8-10 hours.

### Root pruning:

In the event that any roots are encountered, cuts that exceed anything greater than 2” in diameter should be brought to the attention to the project arborist to insure that the roots are properly cut. The roots should be cut very cleanly, with the use of sharp hand saws or sawzall blades. The roots should under no circumstances be ripped up from the soil using heavy equipment or larger hand tools.

If any cut ends of roots are exposed, they should be covered up to prevent drying out. Methods used for this would be to drape multiple layers of burlap over the cut ends and then wetting down the material to keep the roots moist. Backfilling should be done as soon as possible. All backfilling should be done with parent soil and not compacted when put back into place.



### Trenching:

Areas that will need be trenched for foundation or utilities under the drip lines of the trees should be performed with hand tools and not mechanical tools. Using hand tools will allow for roots to be discovered without further damage. Once roots are located, they can then be cut cleanly.

### Trunk Buffer:

Trunk buffers act as secondary “redundant” tree protection for the above-ground lower trunk areas, in the case that the temporary fencing is temporarily removed for any reason. The trunk buffer is designed to prevent or mitigate most physical impacts to trunk bark by machinery travel in close proximity to trees. This can

also be applied to low hanging limbs that could potentially be hit by heavy equipment.

Methods for wrapping the trunk consist of using 2x4 material and wrapped to the tree on all sides with orange plastic fencing.



If I can be of further assistance, please do not hesitate to call.

Respectfully submitted,

Paul Maguire  
Maguire Tree Care, Inc.

## ADDENDUM

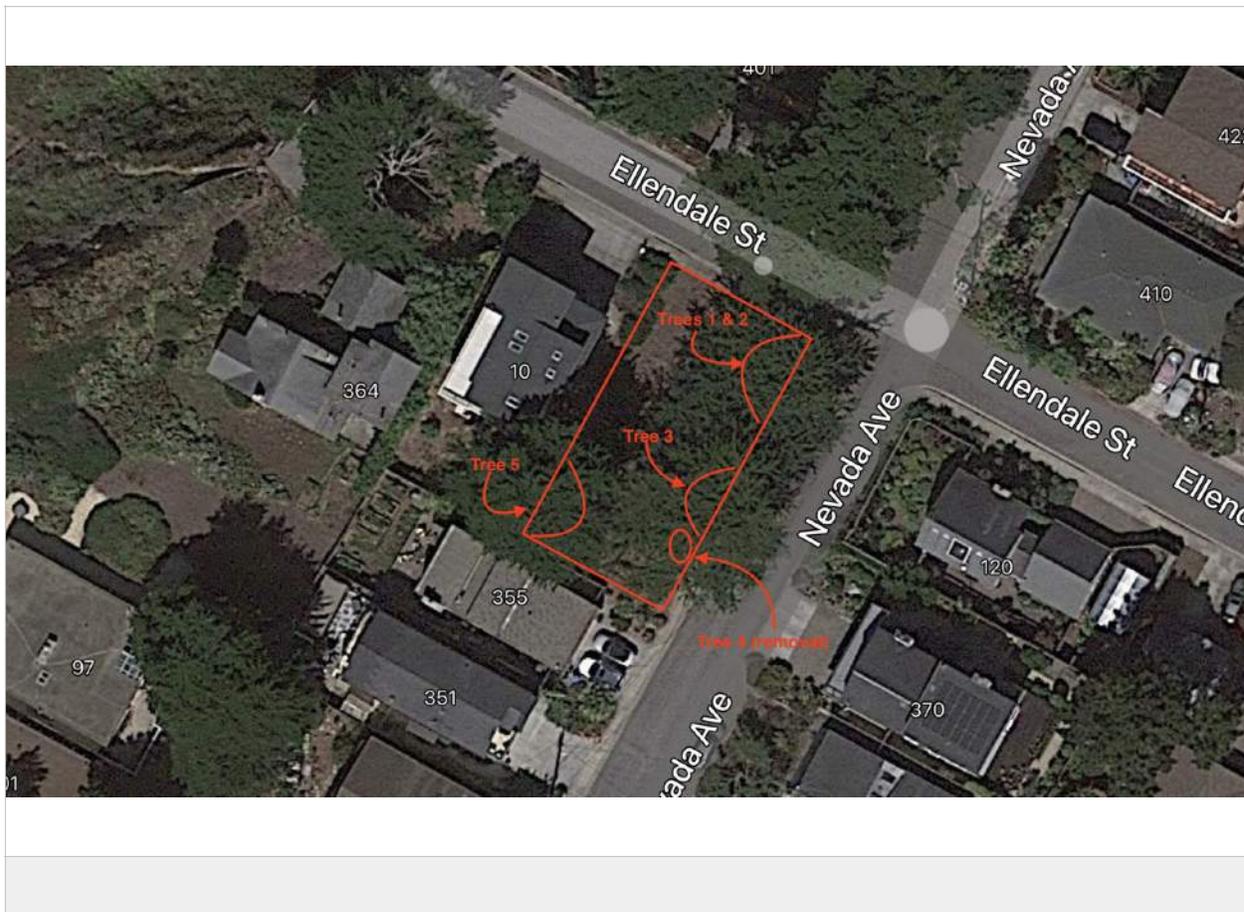
Tuesday, November 9, 2021

A few edits and some clarification on the TPZ diameters. It appears that tree 4 is going to be removed, as it should. No TPZ will be needed for that tree.

Trees 1 and 2 should both have a radius outward from the trunk at a 10' distance.

Tree 3 will be a bit closer to the south side of the home, so this zone should have a 7' radius.

Lastly, tree 5 will have a 10' radius.

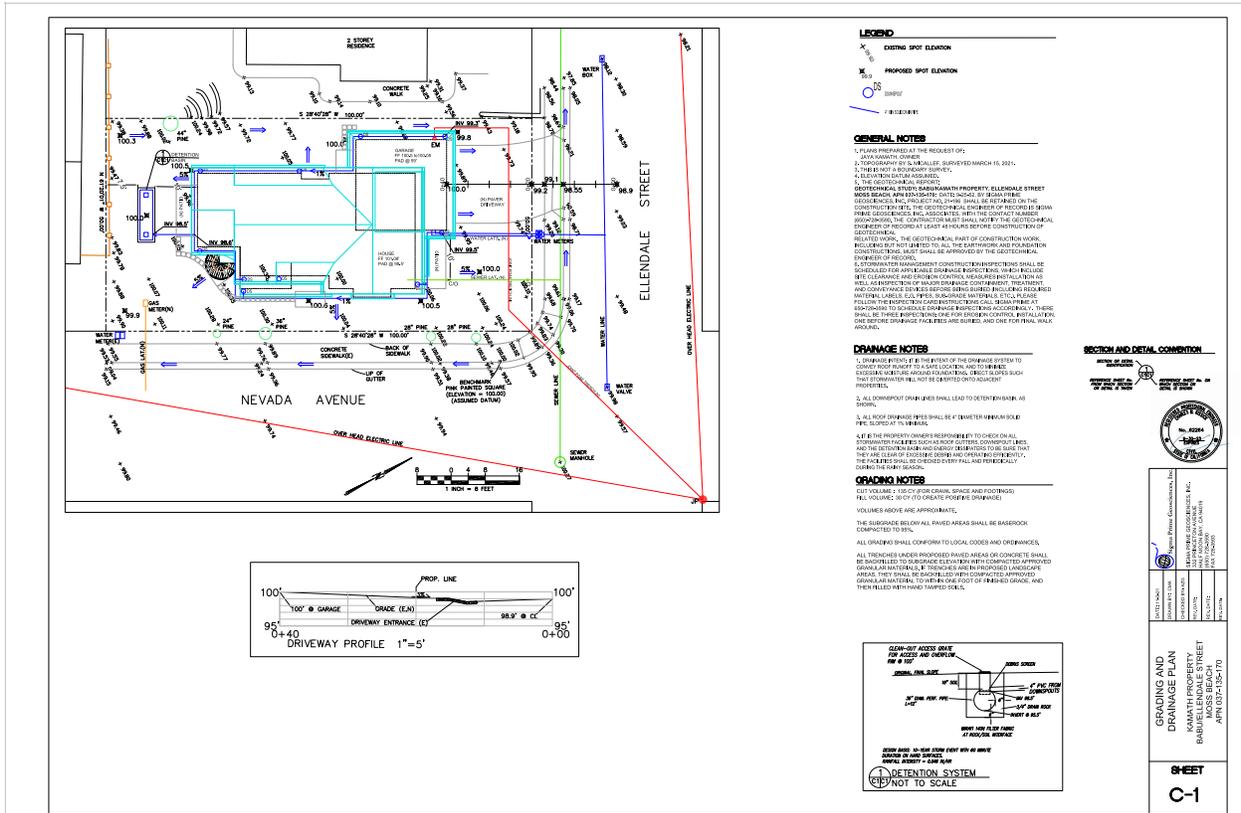


# ADDENDUM 2

Friday, April 8, 2022

I was asked to provide a brief letter to address the proposed joint trench that will be within the TPZ of Tree 1.

Below is the civil sheet that was provided to me showing the proposed joint trench in relation to Tree 1. Tree is incorrectly labeled as a Pine.



This can be successfully done by hand digging, or use of an AirSpade to remove the soil for the trench. This method would allow for root discovery, and then those roots can be kept intact. While trench is open, all roots within the TPZ will be required to be wrapped with multiple layers of burlap, which should be wetted down a few times during the day to prevent drying out. The trench should be backfilled as soon as possible. If any roots over 2" in diameter need to be cut, the project arborist should be onsite to inspect.



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT E**

July 12, 2022

Jaya Kamath and Suresh Babu  
P.O. Box 522  
Los Altos, CA 94024

Dear Jaya Kamath and Suresh Babu:

SUBJECT: Coastside Design Review Permit  
379 Nevada Avenue, Moss Beach  
APN: 037-135-170, County File No. PLN2021-00445

At its meeting on June 9, 2022, the San Mateo County Coastside Design Review Committee (CDRC) reviewed your application to allow the construction of new 2-story, 2,649 sq. ft. single-family residence with an attached 2-car garage on an undeveloped 5,000 sq. ft. legal parcel (recorded Certificate of Compliance, PLN2014-00376). The project includes minor grading and the removal of one significant (Cypress) tree.

Based on the plans, application forms, and accompanying materials submitted, the Coastside Design Review Committee has **recommended approval** of the project subject to the recommended findings and conditions of approval below. The project requires a hearing-level Coastal Development Permit (appealable to the California Coastal Commission); therefore, the CDRC's action is limited to a recommendation regarding the project's compliance with design review standards. Public notification for a future scheduled Planning Commission public hearing for the project will be issued 10-days in advance of a hearing where the Planning Commission will consider the CDRC's recommendation and the associated Coastal Development Permit.

### **RECOMMENDED FINDINGS**

The Coastal Design Review Committee found that:

#### **For the Design Review**

1. The project has been reviewed under and found to be in compliance with the Coastside Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, subject to the following conditions and recommendations specifically elaborated as follows:



- a. Section 6565.20 (D) ELEMENTS OF DESIGN; The proposed two-story 2,649-sq.-ft. home aligns with the existing neighboring home sizes and heights and fits into the design of the neighborhood.
- b. Section 6565.20 (D) ELEMENTS OF DESIGN; Architectural styles and features have been followed to keep in tune with the adjacent homes.
- c. Section 6565.20 (D) ELEMENTS OF DESIGN; Articulations and choice of multiple siding materials have accomplished a non-overbearing design with a consistent muted color pallet.
- d. Section 6565.20 (D) ELEMENTS OF DESIGN; The particular neighborhood with its proximity to the local marine reserve has and continues to be a coastal attraction. The proposed farm style home design blends into that historic/contemporary feel notwithstanding.

### **COASTSIDE DESIGN REVIEW COMMITTEE(CDRC) RECOMMENDATIONS**

1. Change the octagon window to a port window to be more coastal.
2. Change rock facades to steel troweled concrete and stucco.
3. Reduce the number of mullions per window by using one cornice mullions.
4. Use wide plank at the garage door and align it with window mullions.
5. Use wider fascia boards at the roof line.

### **RECOMMENDED CONDITIONS OF APPROVAL**

#### Coastside Design Review Committee:

1. Screening material shall be added to change the exposure for visual privacy to the neighboring residential kitchen window (located west at 355 Nevada Avenue).
2. The design of rail shall be changed to a solid or louvered railing to minimize the looming exposure from the upper kitchen deck to the southern corner of the house across Ellendale Road.
3. Exterior lighting shall be limited to one (1) fixture for each access. In particular:
  - a. North Elevation: the side door shall only have one (1) lighting fixture.
  - b. West Elevation: each door shall only have one (1) lighting fixture.
  - c. East Elevation: remove one (1) light from the second story, and only one (1) lighting fixture shall be used for the garage doors.

3-way switches may be used to allow any occupants to control each lighting fixture from more than one (1) location. The height of the exterior sconce lights shall be reduced to 7 feet or less. Dark sky, gooseneck, and commercial lighting fixtures with no more than 3000 color temperature shall be used. Additionally, spec sheets for the lighting shall be provided.

Current Planning:

4. The Project shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines" including, but not limited to, the following (as applicable):
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.

- I. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
  - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
5. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
6. The applicant shall submit the approved exterior color and materials specifications as part of the building permit submittal. Color and materials verification by the Current Planning Section shall occur prior to final building inspection.
7. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record and approved by the Department of Public Works and the Current Planning Section. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer and must be reviewed and approved by the Department of Public Works and the Current Planning Section.
8. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to the San Mateo County Ordinance No. 4758.

#### Coastside Fire Protection District/CALFIRE

9. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire Protection District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.

10. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
11. As per Coastside Fire Protection District Standard CI-013, building identification shall be conspicuously posted and visible from the street. Address to be 379 Nevada Ave. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.
12. As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
13. Vegetation Management (LRA) – The Coastside Fire Protection District Ordinance 2019-03, the 2019 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
14. Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
15. 2019 CFC Section 503.1.1 The fire department access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the exterior walls of the first floor.

16. Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review.
17. Installation of underground sprinkler pipe shall be flushed and visually inspected by the Coastside Fire Protection District prior to hook-up to riser. Any soldered fittings must be pressure tested with a trench open. Please call the Coastside Fire Protection District to schedule an inspection. Fees shall be paid prior to plan review.
18. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
19. Solar Photovoltaic systems shall meet the requirements of the 2019 CFC Section 605.11

#### Department of Public Works

20. All work in County Right-of-Way will require an Encroachment Permit and is subject to inspections.
21. The project shall comply with the San Mateo County Drainage Policy and the San Mateo Countywide National Pollution Discharge Elimination System (NPDES) permit. Prior to the issuance of the Building permit or Planning permit (for Provision C3 Regulated Projects), the applicant shall submit a plan with construction details conforming with County standards, and a drainage analysis including narrative and calculations showing pre-development and post-development runoff onto and off of the parcel(s) demonstrating compliance with the Policy for review and approval by the Department of Public Works.
22. Prior to the issuance of the BLD permit or PLN permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the

roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

23. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
24. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

#### Drainage Section

25. The following will be required at the time of building permit submittal:
  - a. Final Drainage Report stamped and signed by a registered Civil Engineer.
  - b. Final Grading and Drainage Plan stamped and signed by a registered Civil Engineer consistent with the requirements in the County's current Drainage Manual.
  - c. Final C.3 and C.6 Development Review Checklist

#### Montara Water and Sanitary District (MWSD)

26. Applicant required to submit MWSD application for new connections.
27. Applicant required to obtain Sewer Permits prior to issuance of building permit. Sewer connection fees must be paid prior to issuance of connection permit.
28. Applicant required to obtain Domestic Water Connection Permit prior to issuance of building permit. Connection fee for domestic water must be paid prior to issuance of connection permit. Well abandonment in accordance with SMC Health Department standards may be required.
29. Connection to the District's fire protection system is required. Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.
30. Applicants must first apply directly to District for permits and not their contractor.

The CDRC **recommended approval** of this project on June 9, 2022, as announced at the CDRC meeting. The Planning Commission, as the decision maker for this project, shall consider the project at a future hearing. For more information, please contact the project planner, Delaney Selvidge, at 650/363-1867 or [DSelvidge@smcgov.org](mailto:DSelvidge@smcgov.org).

Sincerely,

*Glen Jia*

---

Glen Jia, Coastside Design Review Officer

GJI:DLS:mda – DLSSG0228\_WMN.DOCX

cc: Katie Kostiuk, Project Architect  
Mark Stegmaier, Montara Community Representative (representing Moss Beach)  
Rebecca Katkin, Member Landscape Architect