

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN _____

Other Permit #: _____

PRE2020-00008

1. Basic Information

Applicant:

Name: Edward C Love

Address: 720 Mill St

Half Moon Bay, CA Zip: 94038

Phone,W: 6507287615 H: 650-728-1723

Email: edwardclovearch@gmail.com

Owner (if different from Applicant):

Name: Russ Imbat & Marie Tumusok

Address: 5015 Cowell Blvd.

Davis, CA Zip: 95618

Phone,W: 6507731021 H:

Email: russmarie2014@gmail.com

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone,W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 047-061-060

Address: 0 Carmel Ave El Granada, CA

Zip: 94019

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 6250 sq. ft.

Site Description:

- Vacant Parcel
 Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 3288 sq. ft.
 Addition to Residence: _____ sq. ft.
 Other: _____

Describe Project:

Construction of new single family residence with attached garage

Additional Permits Required:

- Certificate of Compliance Type A or Type B
 Coastal Development Permit
 Fence Height Exception (not permitted on coast)
 Grading Permit or Exemption
 Home Improvement Exception
 Non-Conforming Use Permit
 Off-Street Parking Exception
 Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	Hardie Plank Lap Siding	Set Sail Blue	<input type="checkbox"/>
b. Trim	Hardie Trim	Summer White	<input type="checkbox"/>
c. Windows	Wooden Double Hung	White	<input type="checkbox"/>
d. Doors	Craftsman Wooden Door	Summer White	<input type="checkbox"/>
e. Roof	Asphalt Shingle	Dark Grey	<input type="checkbox"/>
f. Chimneys	none	none	<input type="checkbox"/>
g. Decks & railings	Trex Decking	Wood Grain	<input type="checkbox"/>
h. Stairs	Wood	Wood Stain	<input type="checkbox"/>
i. Retaining walls	none	none	<input type="checkbox"/>
j. Fences	Wood	Wood	<input type="checkbox"/>
k. Accessory buildings	None	none	<input type="checkbox"/>
l. Garage/Carport	Aluminum	Summer White	<input type="checkbox"/>



5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:  Applicant: 

Date: 8/29/2021 Date: Aug. 26, 2021



SITE DATA:

APN: 047-061-060
 ZONING: R-1/5-17/DR/CD
 OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: V-B

PLN: 2022-00128
 BLD:

APPLICABLE CODES:
 SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 ANY APPLICABLE CITY CODES, ORDINANCES, OR AMENDMENTS
 TO THE CALIFORNIA BUILDING CODE

OWNER: IMBAT - TUMUSOK
 122 CARMEL AVE
 EL GRANADA, CA 94019

ARCHITECT: EDWARD C LOVE, ARCHITECT
 720 MILL ST
 HALF MOON BAY, CA 94019

CIVIL & GEOTECH: SIGMA PRIME GEOSCIENCES
 332 PRINCETON AVE
 HALF MOON BAY, CA 94019
 sigmaprime@gmail.com
 650.728.3590

SURVEY: BGT LAND SURVEYING
 871 WOODSIDE WAY
 SAN MATEO, CA 94401
 bgtinfo@bgtlandsurveying.com
 650.212.1030

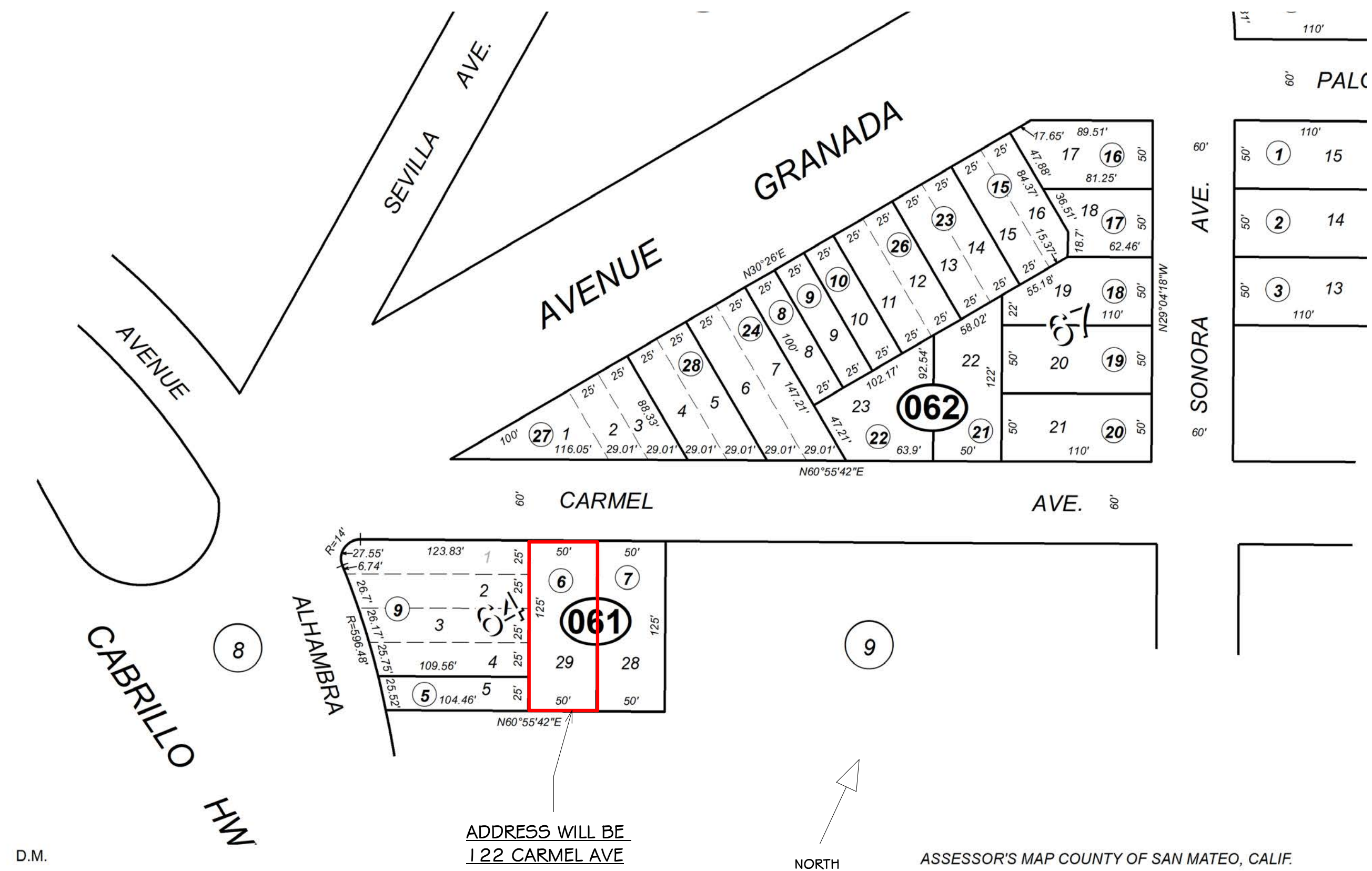
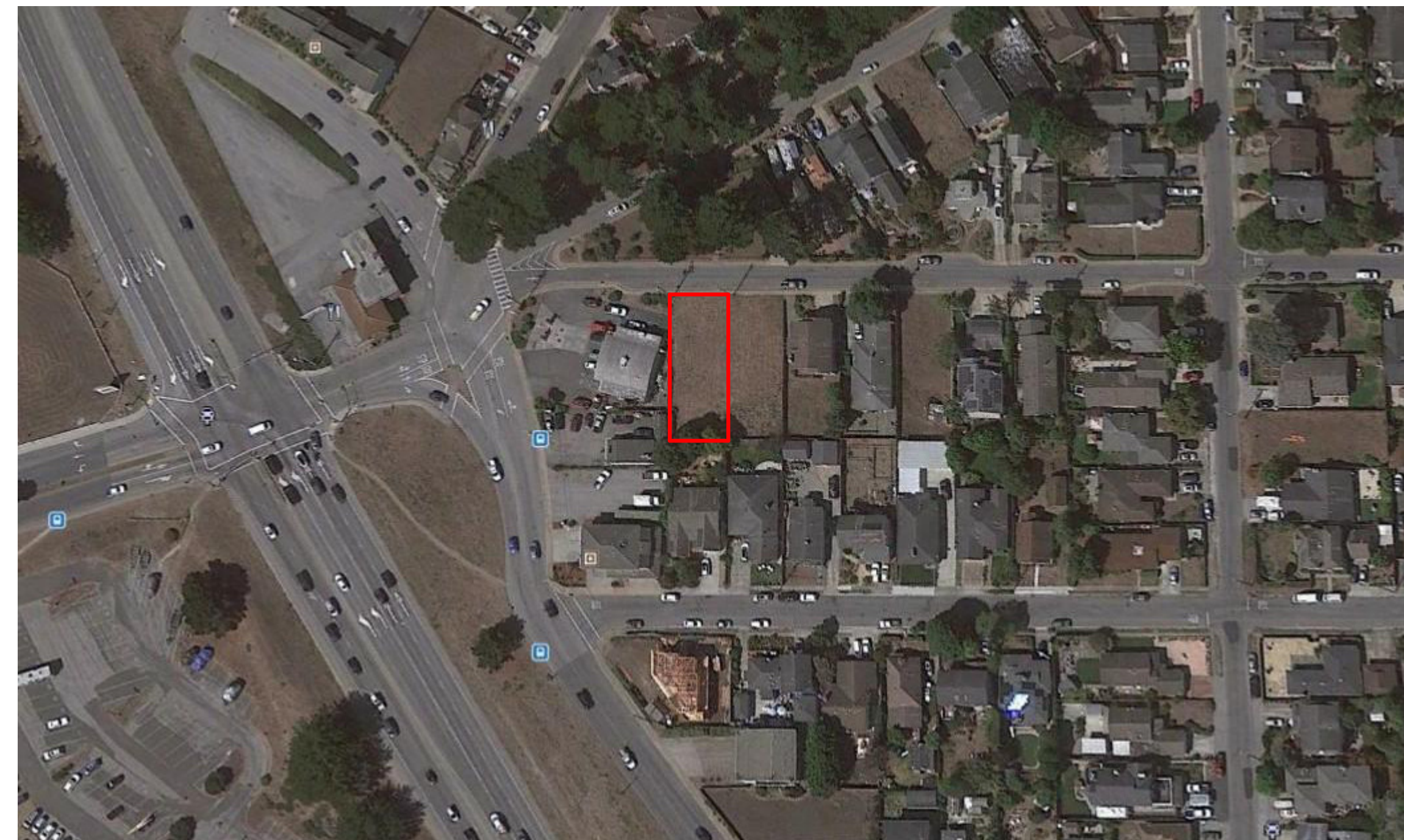
	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	6250							
LOT COVERAGE	0	0.0	2096	33.5	2096	33.5	2187.5	35.0
FLOOR AREA			(N) House Garage	2861 451	(N) House Garage	2861 451		
Total	0	0.0	Total	3312	53.0	Total	3312	53.0
			Total	3312.5	53.0	Total	3312.5	53.0

SCOPE OF WORK:
 CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE
 WITH ATTACHED GARAGE

NOTE:
 1. ALL EXTERIOR LIGHTING TO BE RECESSED

Sheet List - CD

Sheet Number	Sheet Name	Rev
A001	Cover Sheet	
SU -1	Survey	
A003	Site Plan	
C1	Grading and Drainage Plan	
C2	Erosion Control	
C3	Best Management Practices	
A101	First & Second Floor Plan	
A103	Loft Floor Plan & Roof Plan	
A105	Floor Areas Window & Door Schedules	
A106	Lot Coverage	
A107	Spec Sheets	
A201	East & West Elevations	
A202	North & South Elevations	
A301	Sections	
A302	Section Loft	
A502	Material Sheet	
LP101	Landscape Plan	



REVISIONS



Edward C. Love
 Architect
 720 MILL STREET
 HALF MOON BAY, CA 94019
 (650) 728-7615
 edwardclovearch@gmail.com

New Residence
 Imbat - Tumusok
 122 Carmel Ave El Granada, CA

Cover Sheet

Planning Submittal

DATE: 8-3-2023
 SCALE:
 DRAWN: AKB
 JOB: IMBAT
 SHEET:
 A001
 OF SHEETS

S:\Client Projects 2021\Imbat\Revit\Tumusok - Imbat.rvt

GENERAL NOTES

- BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, THE BIDDER SHALL VISIT THE SITE AND LEARN THE EXISTING CONDITIONS. HE SHALL EXAMINE THE PLANS AND SPECIFICATIONS AND BASE HIS BID ON THEM. DURING CONSTRUCTION, NO CHANGES FROM PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND OWNER. STRUCTURAL CHANGES MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR (G.C.) SHALL OBTAIN AND PAY FOR ALL PERMITS (EXCEPT THOSE PAID FOR BY THE OWNER) AND LICENSES AND SHALL GIVE ALL NOTICES. THE G.C. IS REQUIRED TO COMPLY WITH ALL CURRENT CODES, ORDINANCES, & REGULATIONS RELATED TO THIS PROJECT. ANY CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS AND ORDINANCES SHALL BE IMMEDIATELY REFERRED TO THE ARCHITECT IN WRITING. THE G.C. FOR THIS WORK SHALL BE CURRENTLY LICENSED BY THE STATE OF CALIFORNIA. THE EMPLOYEES AND SUBCONTRACTORS USED BY THE G.C. TO CONSTRUCT AND FINISH THE WORK SHOWN ON THE PLANS MUST ALL BE SKILLED WORKMEN UNDER THE DIRECTIONS OF A COMPETENT FOREMAN. THE G.C. SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY AND ADJACENT PROPERTY FROM INJURY, DAMAGE, OR LOSS ARISING FROM THIS CONTRACT. SALES TAX SHALL BE PAID BY THE G.C. AND INCLUDED IN THE BID.
- THE G.C. SHALL, AT ALL TIMES, KEEP THE PREMISES AND STREETS FREE OF WASTE AND RUBBISH CAUSED BY THE WORK, AND AT COMPLETION, SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS AND EQUIPMENT AND LEAVE THE WORK 'BROOM CLEAN'. THE G.C. SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES. G.C. TO PROVIDE AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO OCCUPANT OR OWNER PER SECTION 4.410.1.
- THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY AND ADEQUATE RECORDS SHALL BE KEPT BY THE G.C. TO SUBSTANTIATE ANY ADDITIONAL CHARGES. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT DOCUMENTS.
- THE OWNER SHALL NOT BE LIABLE OR RESPONSIBLE FOR ANY ACCIDENT, LOSS, INJURY, OR DAMAGES HAPPENING OR ACCRUING DURING THE TERM OF THE PERFORMANCE OF THE WORK AND IN CONNECTION THEREWITH, TO PERSONS AND/OR PROPERTY. THE G.C. SHALL HAVE IN FULL FORCE AND EFFECT DURING THE LIFE OF THIS CONTRACT, FULL COVERAGE LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, WHICH SHALL COMPLY WITH CALIFORNIA LAWS AND WILL NOT BE CANCELED OR CHANGED DURING THE TERM OF THIS CONTRACT WITHOUT NOTICE BEING GIVEN TO THE OWNER, AND SHALL REQUIRE ALL INTERMEDIATE AND SUBCONTRACTORS TO TAKE OUT AND MAINTAIN SIMILAR POLICIES OF INSURANCE. ALL SUCH POLICIES SHALL BE WITH INSURANCE COMPANIES ACCEPTABLE TO THE OWNER. UNLESS EXPRESSLY STATED OTHERWISE, THE OWNER WILL TAKE OUT AND CARRY A COMPREHENSIVE INSURANCE POLICY INCLUDING FIRE, EXTENDED COVERAGE, VANDALISM AND MALICIOUS MISCHIEF PROTECTING BOTH HIS INTEREST AND THAT OF THE G.C.
- IN ADDITION TO GUARANTEES CALLED FOR ELSEWHERE IN THESE SPECIFICATIONS, THE G.C. SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER NOTICE OF COMPLETION IS FILED, AGAINST DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP, THAT IS DISCOVERED AND REPORTED WITHIN THAT PERIOD.
- IN GENERAL THE DRAWINGS WILL INDICATE DIMENSIONS, POSITION, TYPE OF CONSTRUCTION, SPECIFICATIONS, QUALITIES AND METHODS. ANY WORK INDICATED ON THE DRAWINGS, AND NOT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, SHALL BE FURNISHED AS THOUGH FULLY SET FORTH IN BOTH. WORK NOT PARTICULARLY DETAILED, MARKED, OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, MARKED OR SPECIFIED. THE LARGER THE SCALE OF THE DRAWING, THE MORE PRECEDENT, I.E.: 3 INCHES PER FOOT SCALE GOVERNS 1/4 INCH PER FOOT SCALE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY G.C. THE G.C. SHALL VERIFY, AND BE RESPONSIBLE FOR ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE SUBCONTRACTOR SHALL CONTACT THE G.C., WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE G.C. SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- ALL PRODUCTS LISTED IN THESE DRAWINGS BY NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- SEE STRUCTURAL SHEETS FOR STRUCTURAL MATERIALS, DIMENSIONS AND DETAILS.
- SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATION FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.
- A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BAS OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2 AND R506.2.3.
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THE RELEVANT CODES MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE.

- CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED PER CALGREEN 4.408.2 (OR IN ACCORDANCE WITH LOCAL ORDINANCE). MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE DIVERTED FOR RECYCLING OR SALVAGE PER CALGREEN 4.408.1
- OPERATIONS & MAINTENANCE MANUALS SHALL BE PROVIDED TO BUILDING OWNER ADDRESSING ITEMS 1 - 10 IN CALGREEN 4.410.1
- DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPED PER CALGREEN 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN 4.506.1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN AND MUST BE CONTROLLED BY A HUMIDITY SENSOR.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (CALGREEN 4.406.1)
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (CALGREEN 4.504.1)
- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CALGREEN 4.504.1)
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.2.2)
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND TOXIC COMPOUNDS (CALGREEN 4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.3)
- MINIMUM OF 80" FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN 4.504.4
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (CALGREEN 4.504.5)
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CALGREEN 4.505.2)
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (CALGREEN 4.505.3)

HERS INSPECTION ITEMS

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.

- Building-level Verifications:
- High quality insulation installation (QII)
 - IAQ mechanical ventilation

- Cooling System Verifications:
- None --

- HVAC Distribution System Verifications:
- Duct Sealing

- Domestic Hot Water System Verifications:
- None --

Smoke Detectors

As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.

Smoke alarm/detector are to be hard wired, interconnected, or with battery back up. Smoke alarms to be installed per manufacturers instruction and NFPA 72.

Windows

Escape or rescue windows shall have a minimum net clear openable area of 5.7 square ft (sqft), 5.0 sqft allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall not be more than 44 inches above the finished floor (CFC 1030).

Address Markers

New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 6 inches in height with a minimum of 1/2 inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, an additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective numbers/letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).

Roofing

As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current addition of the California Building Code.

Vegetation Management (LRA)

The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2:

A fuel break of defensible space shall be required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

Fire Access Roads

The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The city of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2019-03, and the California Fire Code shall set road standards. As per the 2019 CFC, Dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2019 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed of the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

Fire Hydrant

As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

Automatic Fire Sprinkler System (Fire Sprinkler plans will require a separate permit)

As per San Mateo County Building Standards and Coastside Fire District Ordinance 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or the City of HMB. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.

Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.

An exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe, and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Solar Photovoltaic Systems

These systems shall meet the requirements of the 2019 CFC Section 605.11.

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Imbat - Tumusok
122 Carmel Ave El Granada, CA

General Notes

FOR REVIEW ONLY

DATE: 8-3-2023

SCALE:

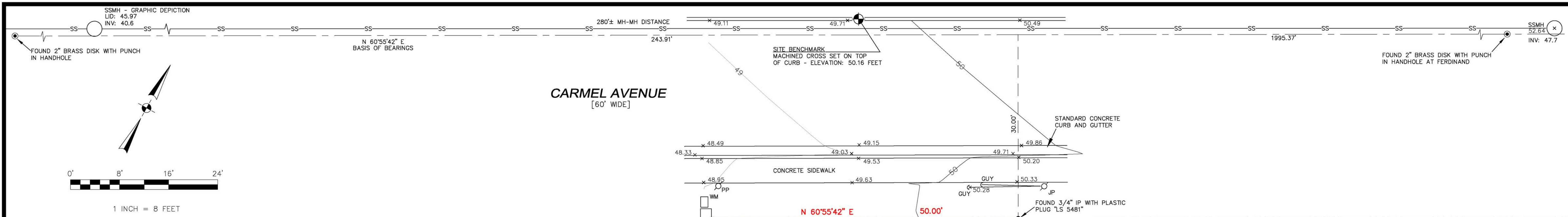
DRAWN: AKB

JOB: IMBAT

SHEET:

A002

OF SHEETS



BASIS OF BEARINGS

THE BEARING, NORTH 60°55'42" EAST, OF THE MONUMENTED CENTERLINE OF CARMEL AVENUE, AS SAID STREET IS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED "PLAT OF SUBDIVISION NO. 8 OF GRANADA" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 65, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "N 1240" WITH A PUBLISHED ELEVATION OF 19.96 FEET. SITE BENCHMARK IS THE MACHINED CROSS SET ON TOP OF CURB WITH AN ELEVATION OF 50.16 FEET.

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4903-6056519, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

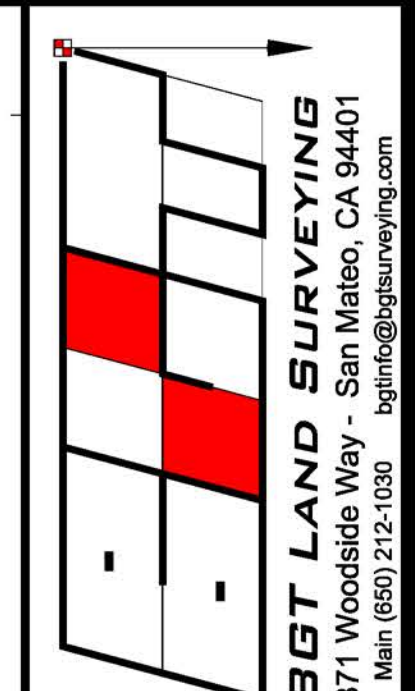
UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: DECEMBER 23, 2020
JOB NUMBER: 21-002

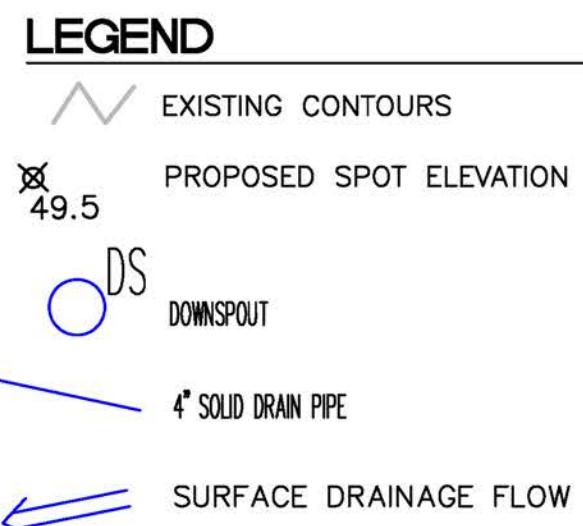
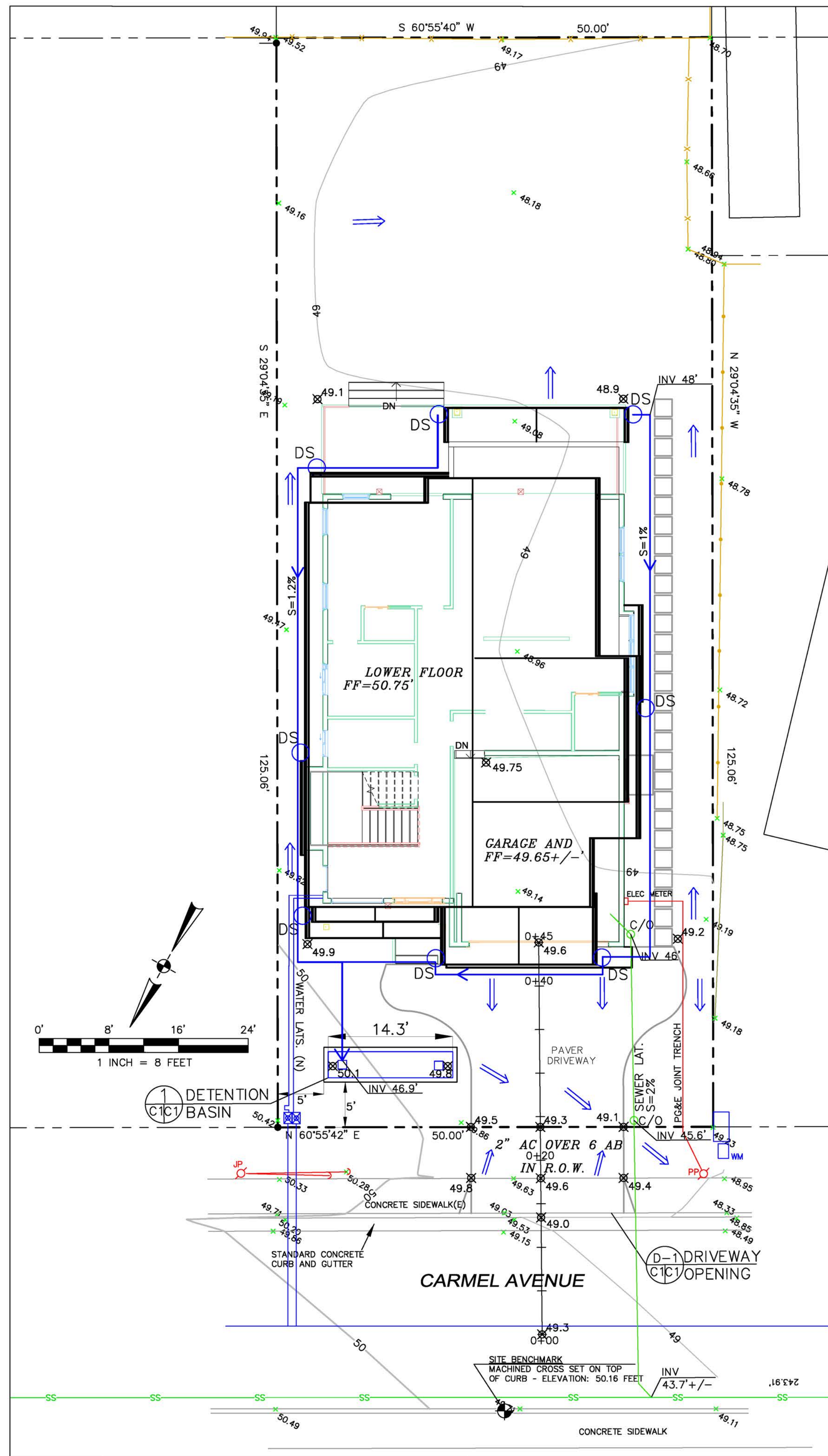
LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE



BOUNDARY AND TOPOGRAPHIC SURVEY
 LOT 29, BLOCK 64, "PLAT OF SUBDIVISION NO. 8 OF GRANADA" (BOOK 6 MAPS 65)
VACANT LOT, CARMEL AVENUE
 EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number: 047-061-060
Prepared For: MARIE IMBAT 5015 COWELL BLVD. DAVIS, CA 95618
Date: JANUARY 2021
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: LHL
Revisions:
SU-1
Job No. 21-002



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: RUSS IMBAT, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 12-23-20.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: IMBAT PROPERTY, CARMEL AVENUE, EL GRANADA, APN 047-161-060**; DATE: 12-16-21, BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 21-221 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME (650-728-3590) TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 30 CY (FOR FOUNDATION)
 FILL VOLUME: 0 CY

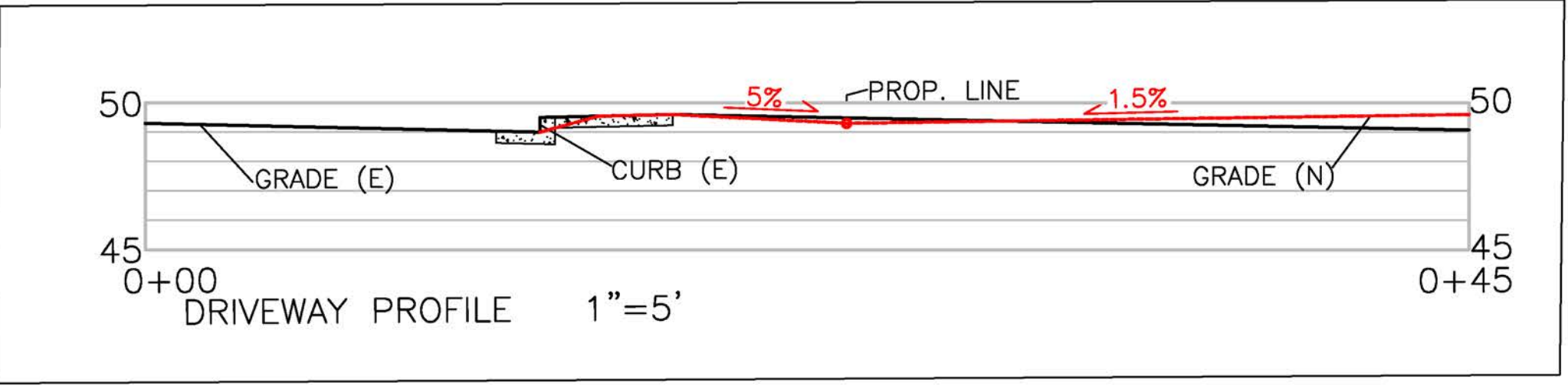
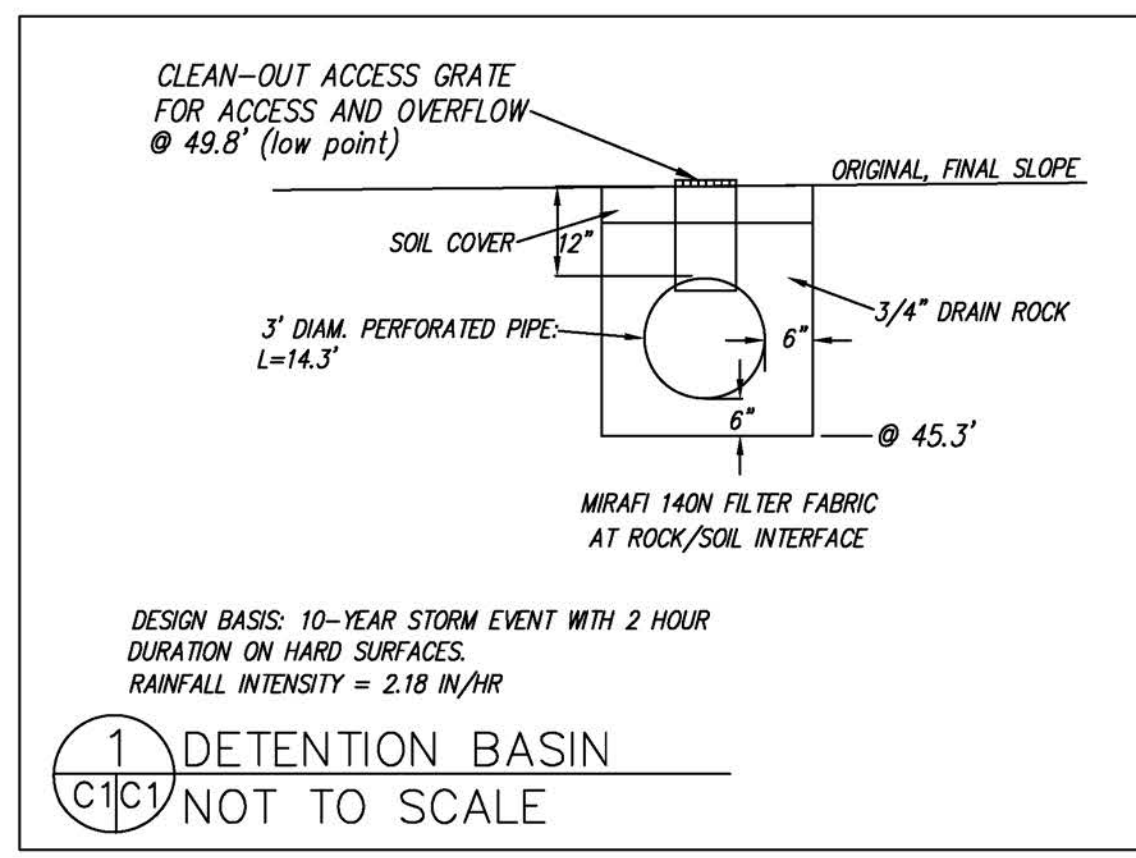
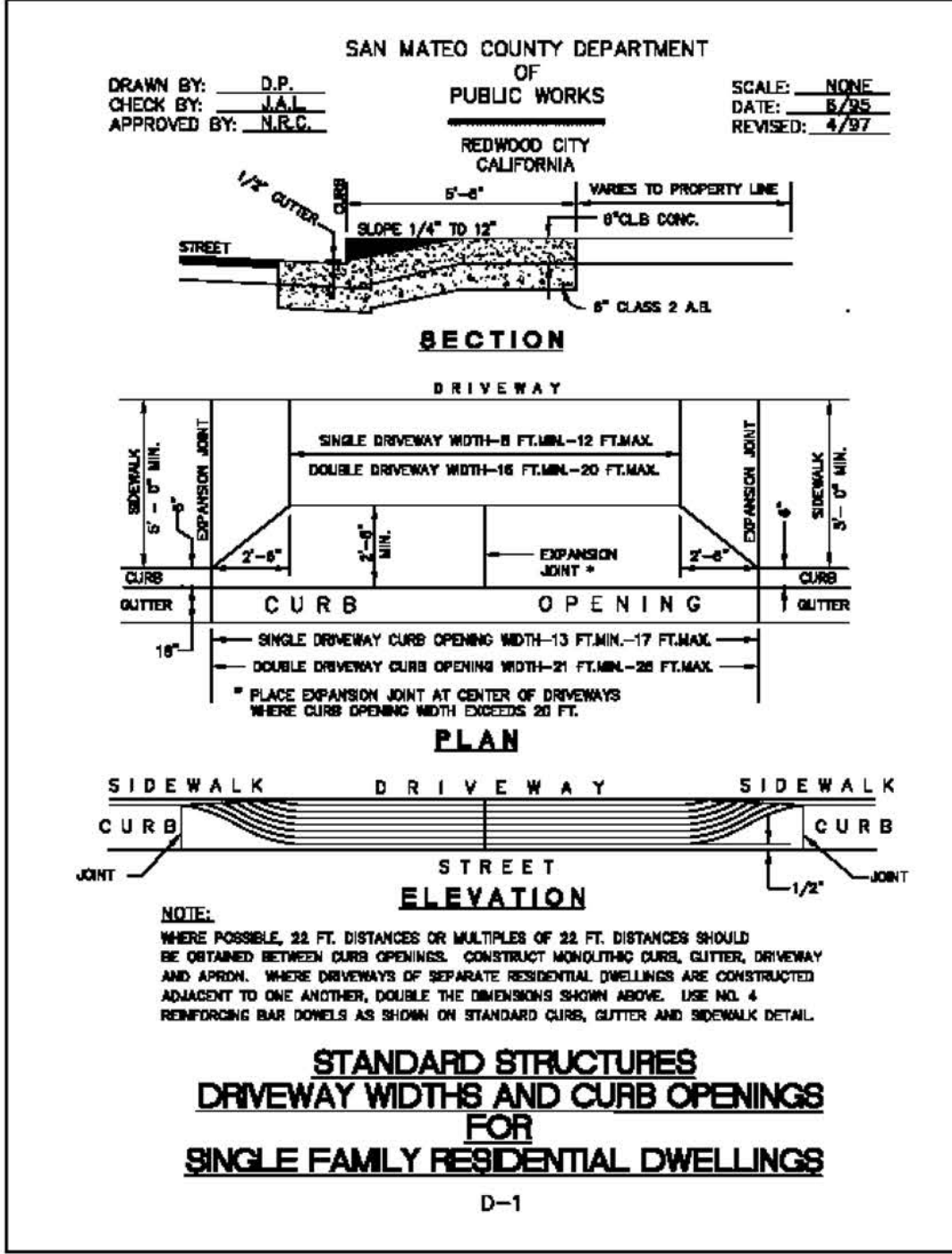
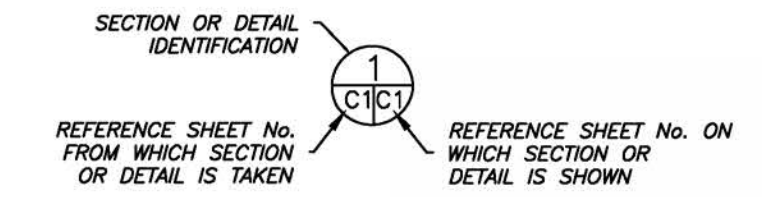
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



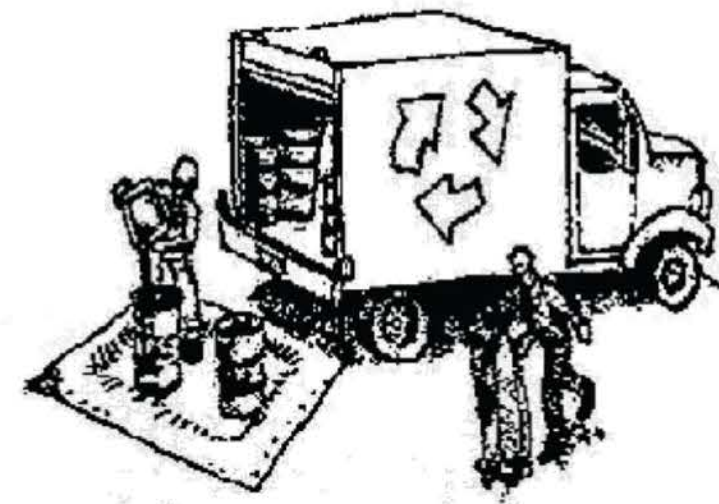
DATE: 12-16-21	DRAWN BY: CMK	CHECKED BY: AZG
Sigma Prime Geosciences, Inc.		
SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593		
REV. DATE:	REV. DATE:	REV. DATE:

GRADING AND DRAINAGE PLAN
 IMBAT PROPERTY
 CARMEL AVENUE
 EL GRANADA
 APN 047-061-060

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



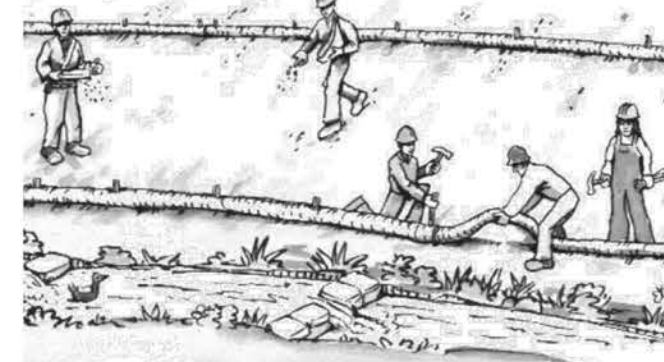
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



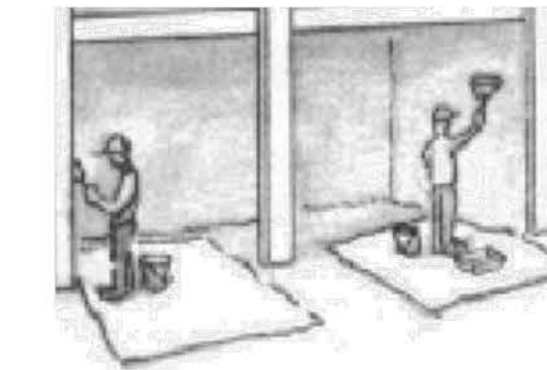
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

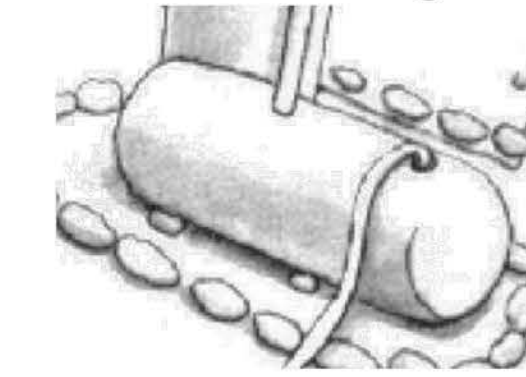
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



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New Residence
 Imbat - Tumusok
 122 Carmel Ave El Granada, CA

Best Management
 Practices

FOR
 REVIEW
 ONLY

DATE: 8-3-2023

SCALE:

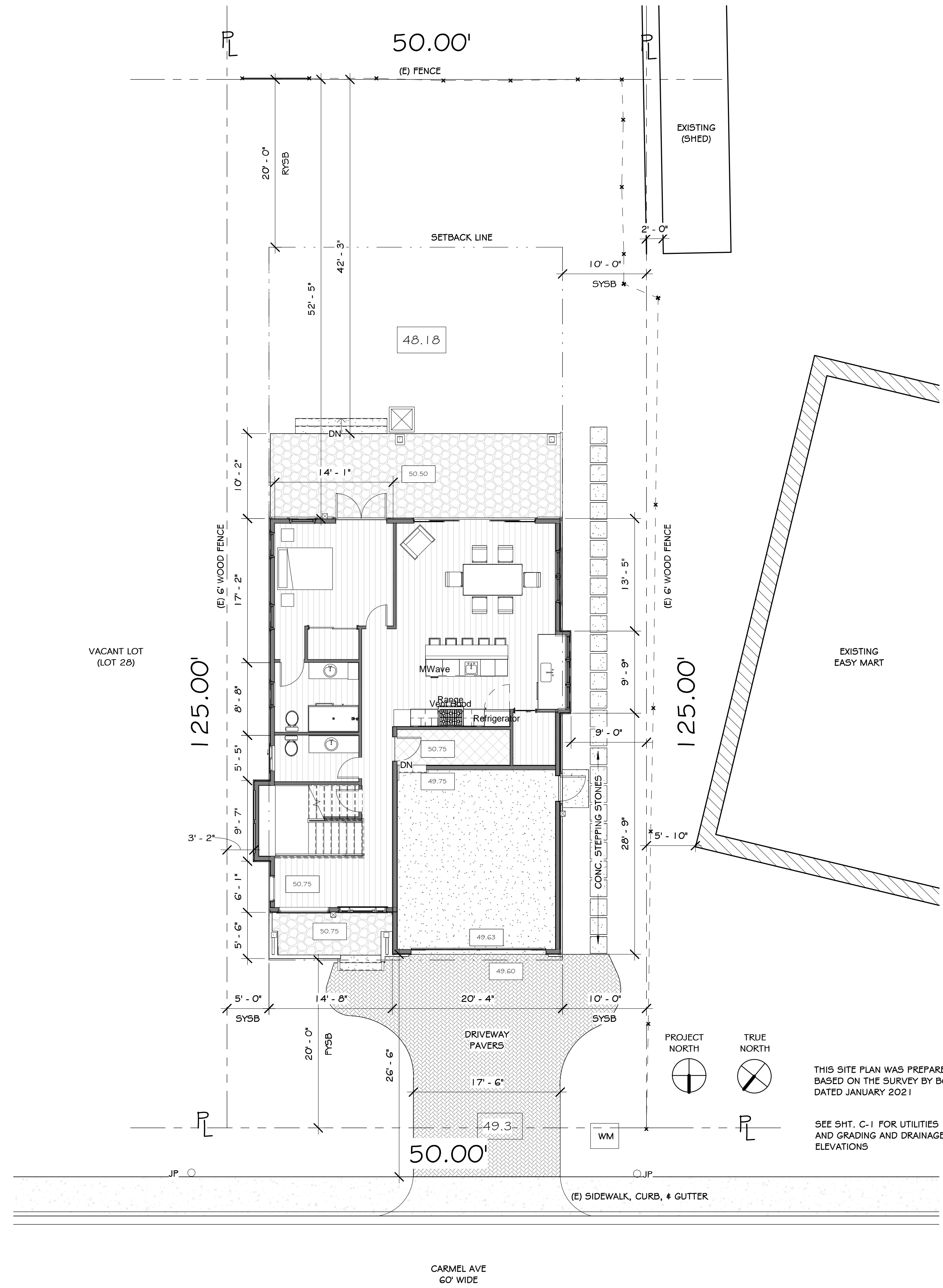
DRAWN: AKB

JOB: IMBAT

SHEET:

C3

OF SHEETS



1 Site
1/8" = 1'-0"

REVISIONS

8/16/2022



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Site Plan

Planning
Submittal

DATE: 8-3-2023

SCALE: 1/8" = 1'-0"

DRAWN: AKB

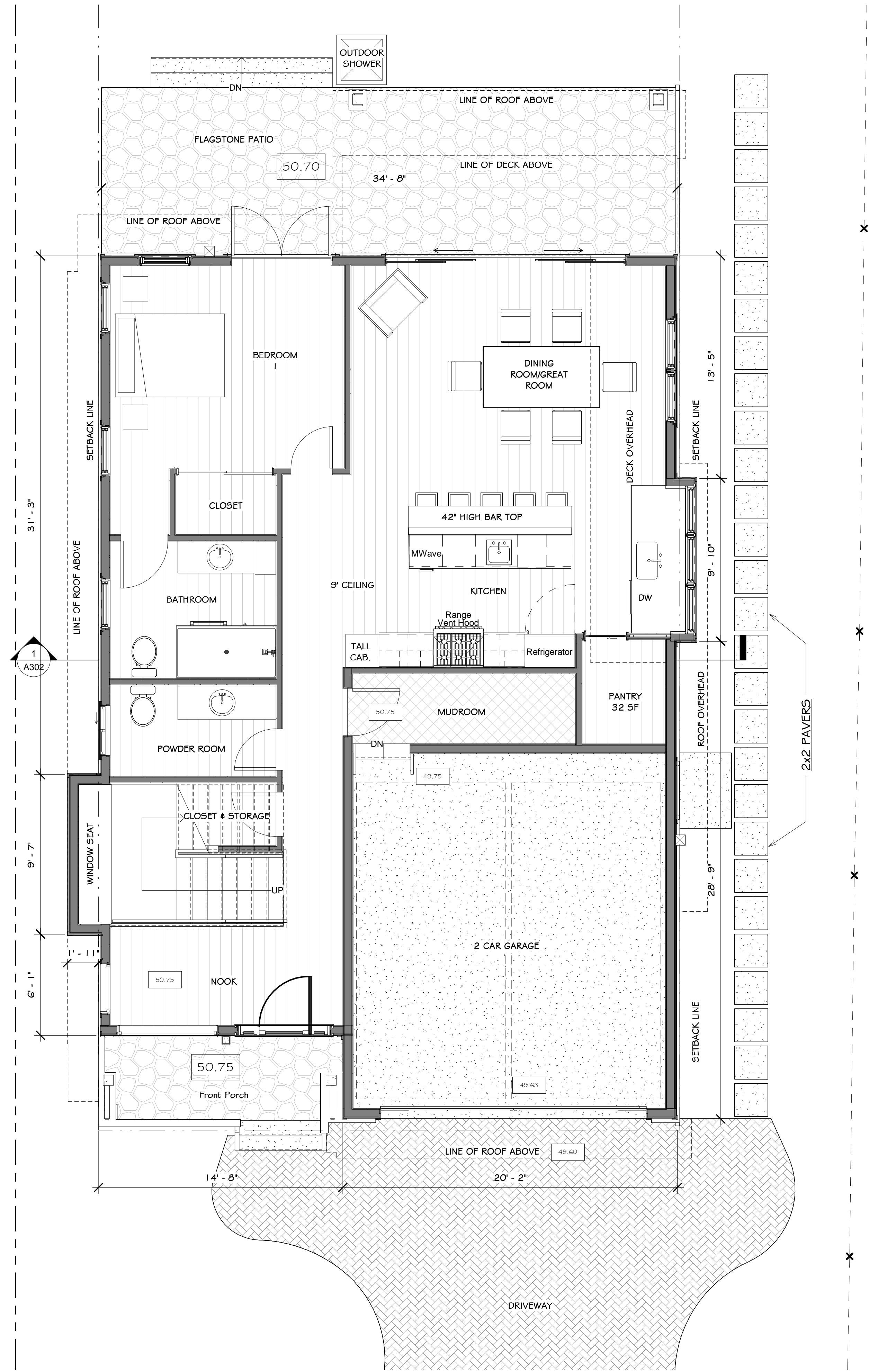
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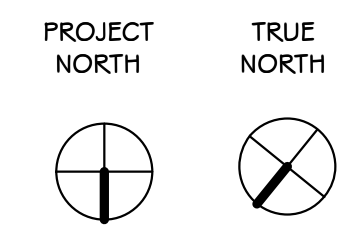
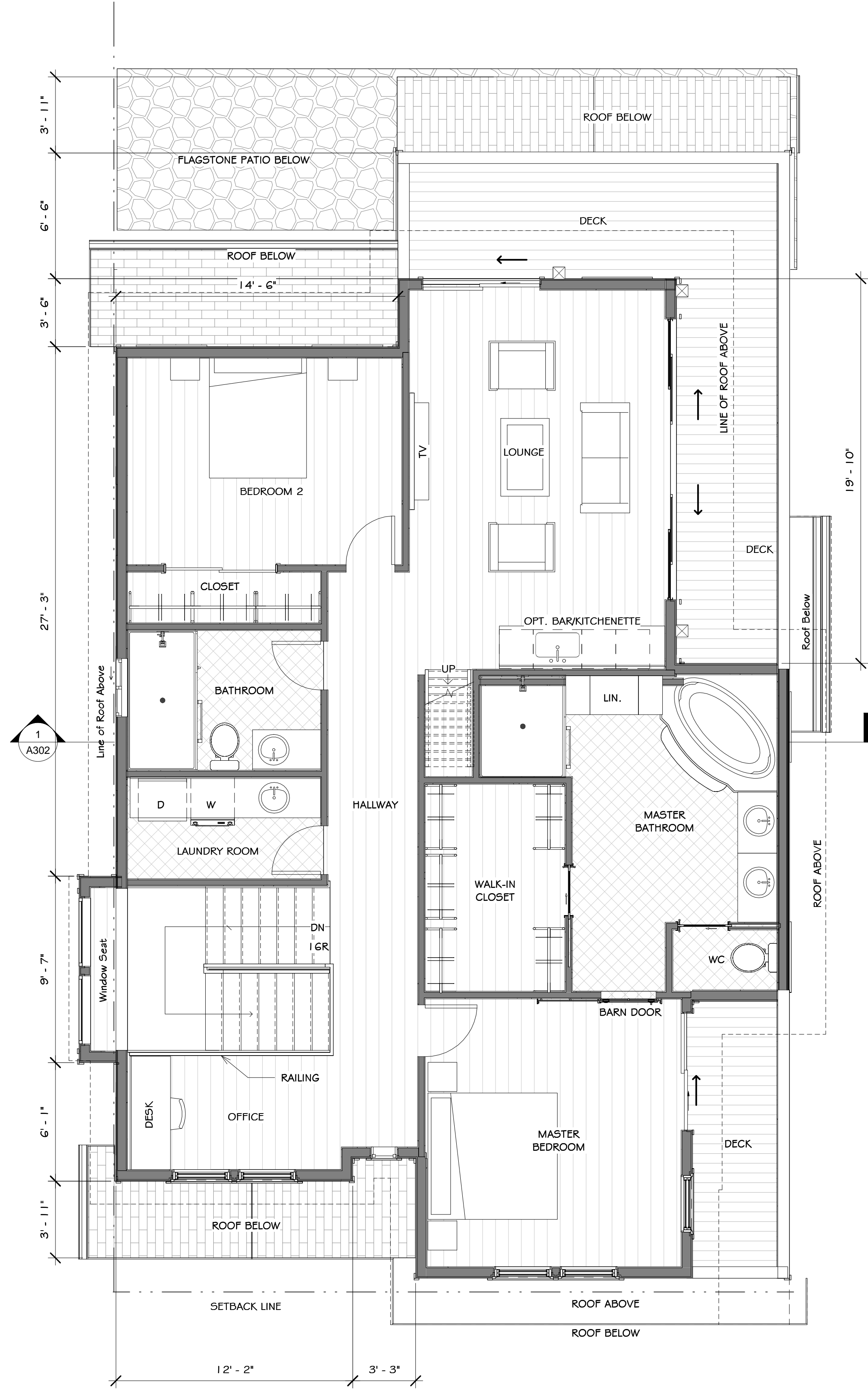
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2 Level 2
1/4" = 1'-0"



REVISIONS



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New Residence
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First & Second Floor
Plan

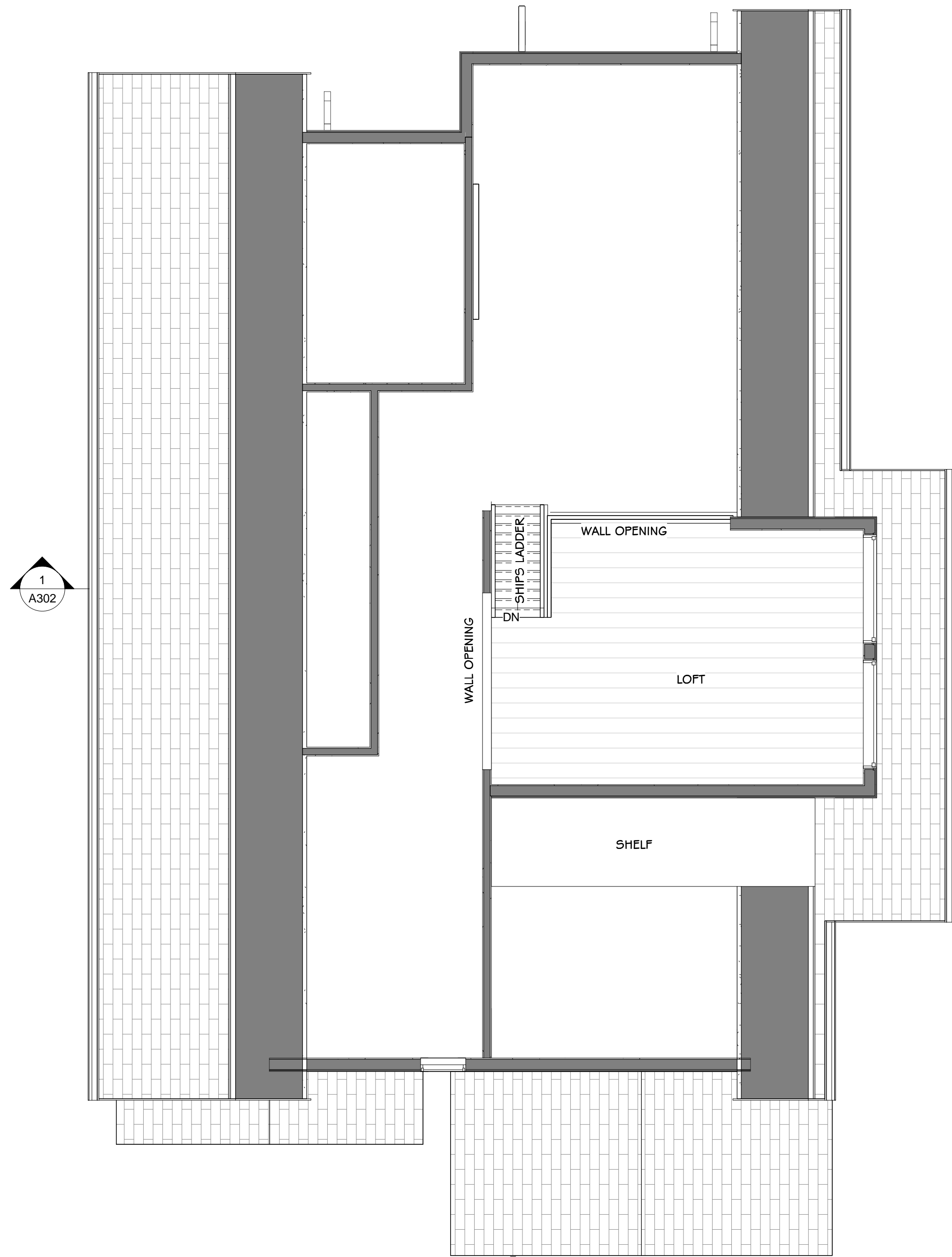
Planning
Submittal

DATE: 8-3-2023
SCALE: 1/4" = 1'-0"
DRAWN: AKB
JOB: IMBAT
SHEET:

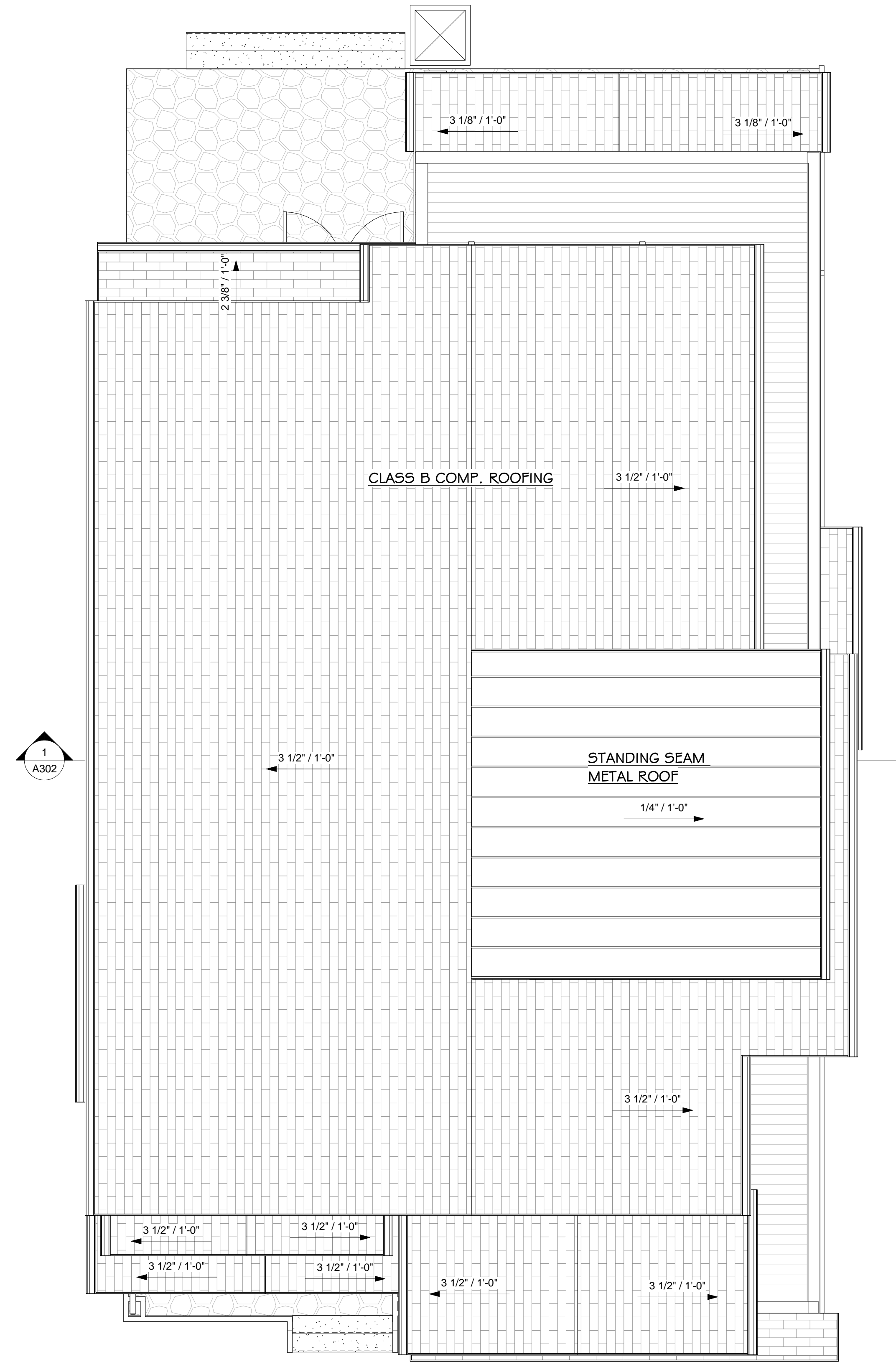
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1 LOFT
1/4" = 1'-0"



2 Roof
1/4" = 1'-0"

REVISIONS



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New Residence
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Loft Floor Plan & Roof
Plan

Planning
Submittal

DATE: 8-3-2023

SCALE: 1/4" = 1'-0"

DRAWN: AKB

JOB: IMBAT

SHEET:

A103

OF SHEETS



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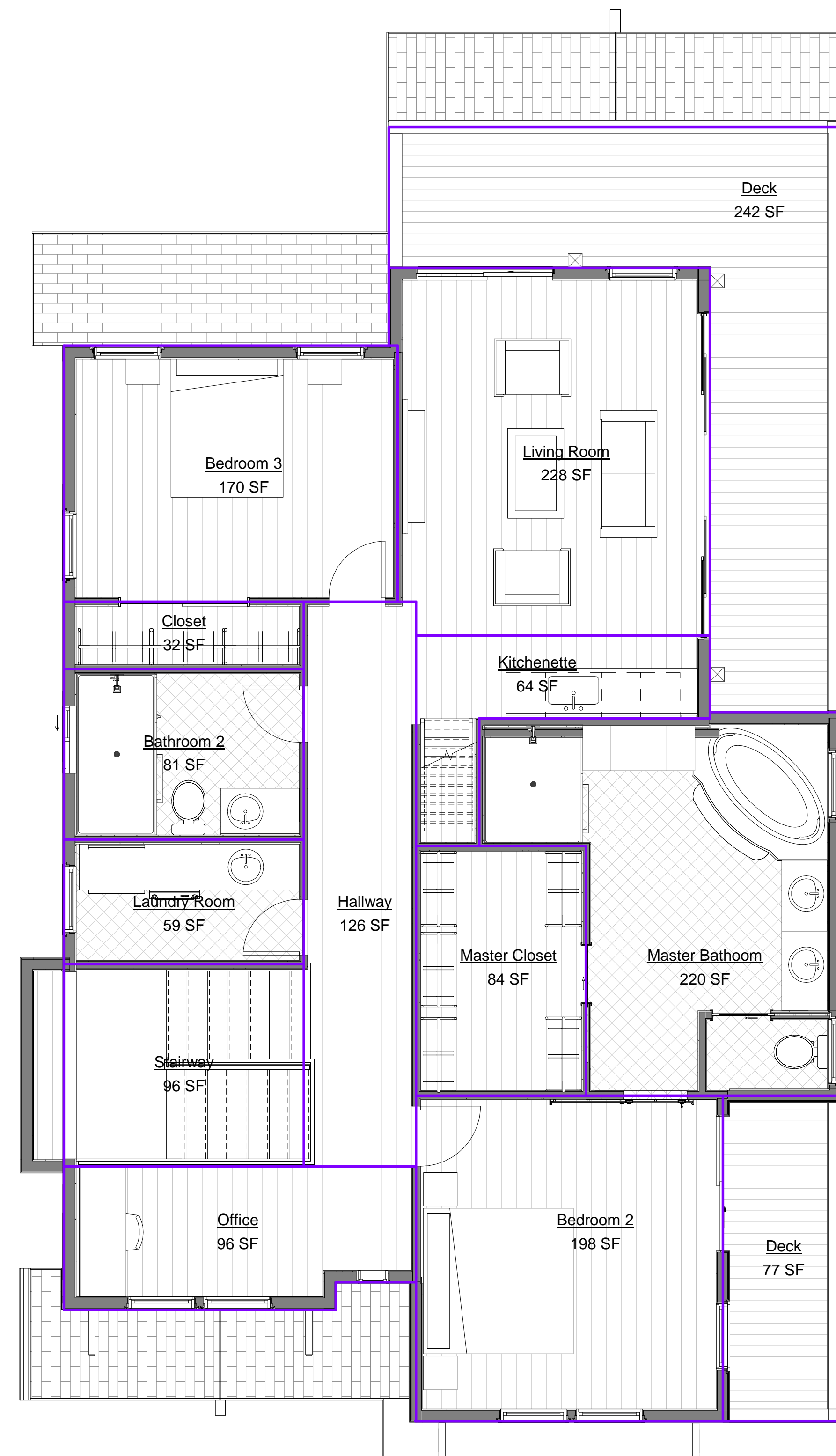
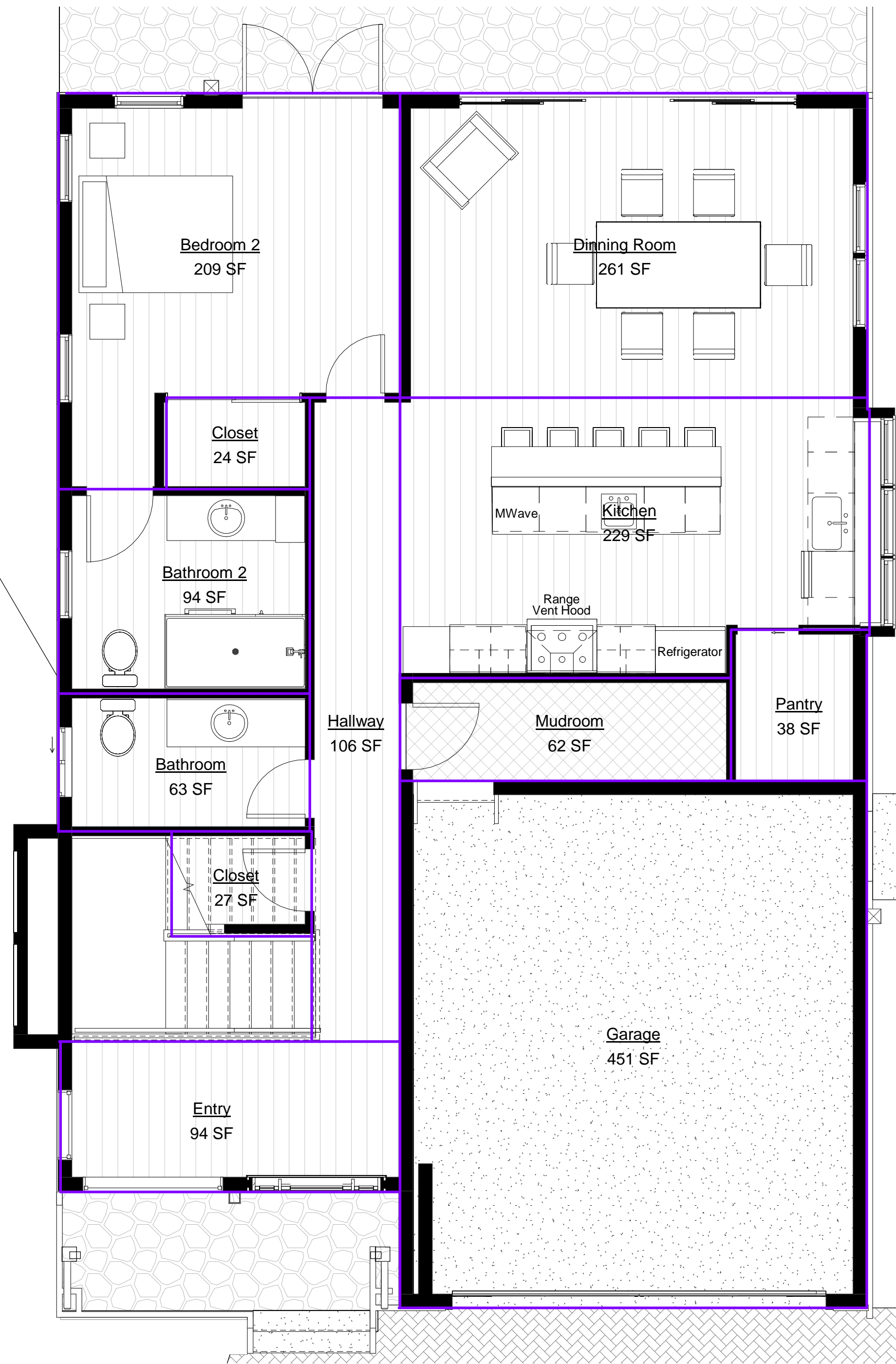
New Residence
Imbat - Tumusok
122 Carmel Ave El Granada, CA

Floor Areas Window &
Door Schedules

Planning
Submittal

DATE: 8-3-2023
SCALE: 1/4" = 1'-0"
DRAWN: AKB
JOB: IMBAT

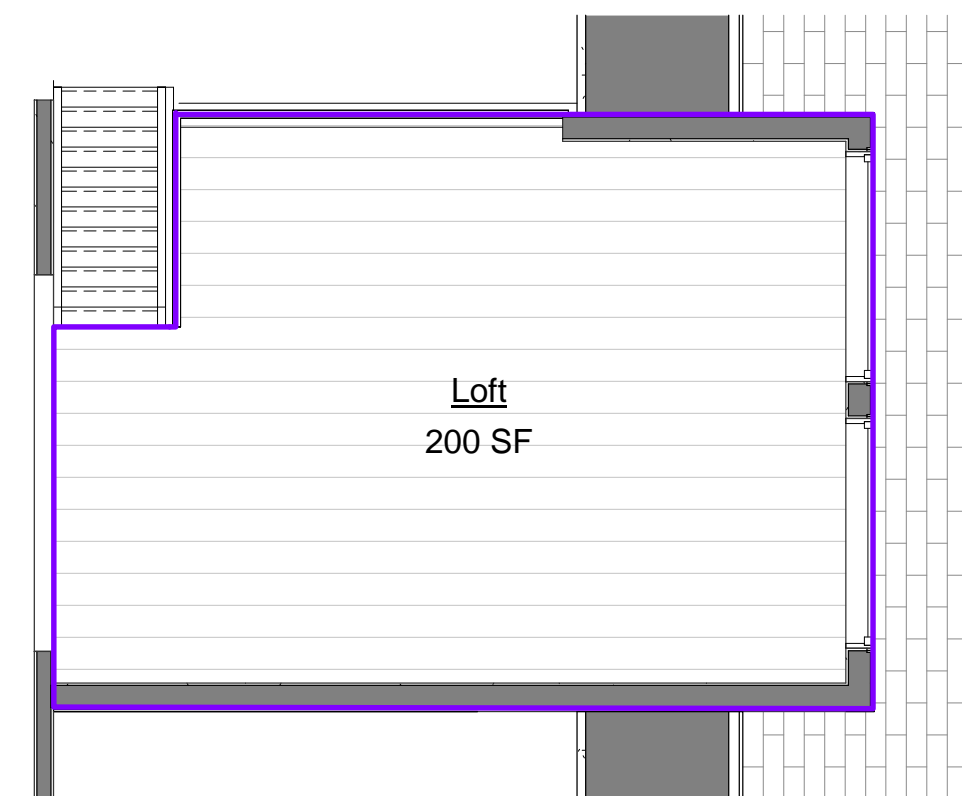
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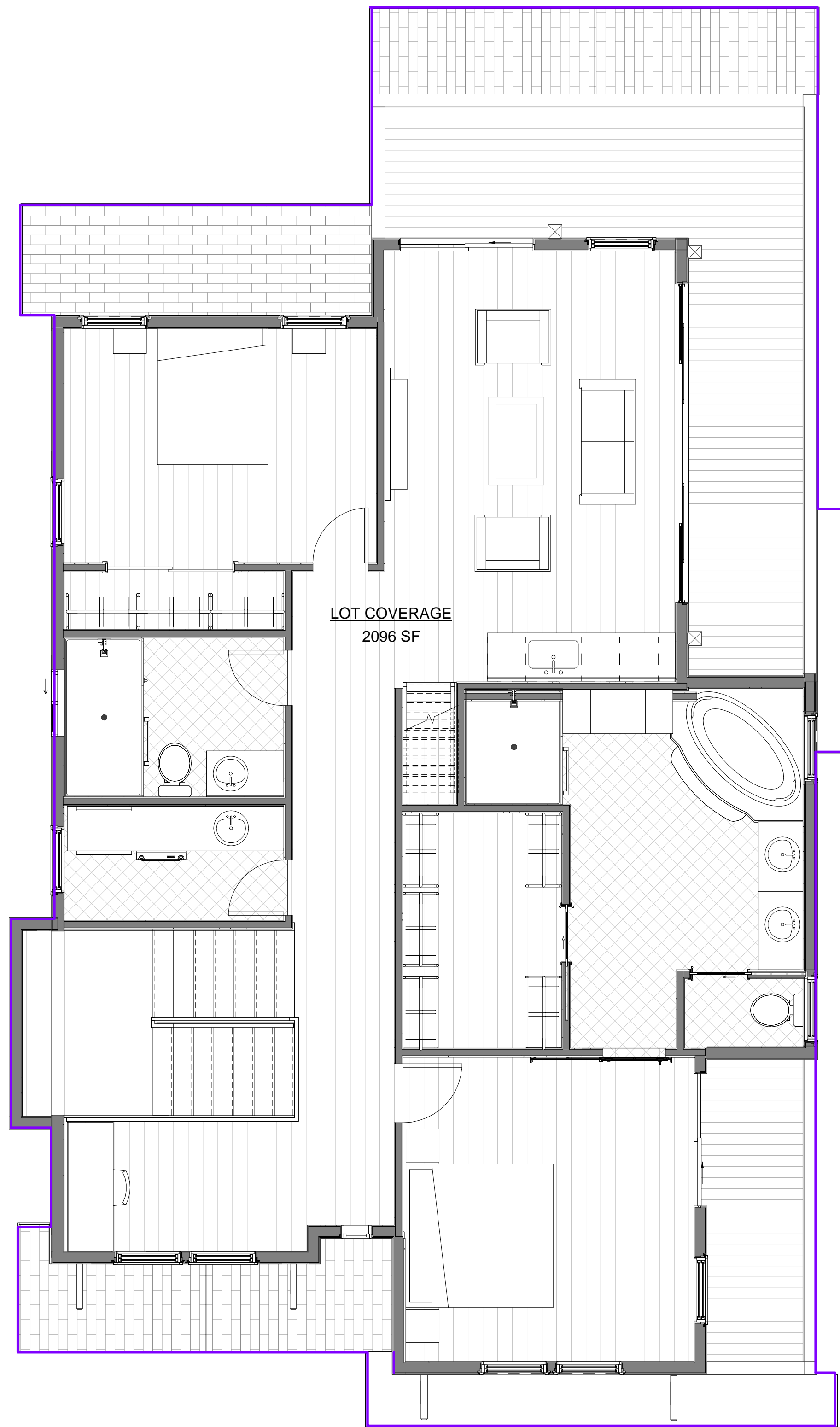
① Level 1
1/4" = 1'-0"

② Level 2
1/4" = 1'-0"

③ LOFT
1/4" = 1'-0"



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TOTAL LOT COVERAGE: 2096 SF

① Level 2
1/4" = 1'-0"

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New Residence
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Lot Coverage

Planning
Submittal

DATE: 8-3-2023

SCALE: 1/4" = 1'-0"

DRAWN: AKB

JOB: IMBAT

SHEET:

A106

OF SHEETS

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New Residence
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East & West Elevations

Planning
Submittal

DATE: 8-3-2023
SCALE: 1/4" = 1'-0"
DRAWN: AKB
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A201
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① East (LEFT)
1/4" = 1'-0"



② West (RIGHT)
1/4" = 1'-0"

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FACADE ARTICULATION SHALL BE PROVIDED ON ALL BUILDING SIDES, AND IS SUBJECT TO APPROVAL BY THE DESIGN REVIEW COMMITTEE.

1 North (FRONT)
1/4" = 1'-0"



FACADE ARTICULATION SHALL BE PROVIDED ON ALL BUILDING SIDES, AND IS SUBJECT TO APPROVAL BY THE DESIGN REVIEW COMMITTEE.

2 South (REAR)
1/4" = 1'-0"

REVISIONS

8/16/2022



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New Residence
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North & South
Elevations

Planning
Submittal

DATE: 8-3-2023

SCALE: 1/4" = 1'-0"

DRAWN: AKB

JOB: IMBAT

SHEET:

A202

OF SHEETS



Whiskey Creek
Mountain Ledge
Panels



Hardie Plank Lap Siding -
Sea Spray Blue



Hardie Vertical Siding -
Summer White

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New Residence
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Color Board

Planning
Submittal

DATE: 8-3-2023

SCALE:

DRAWN: AKB

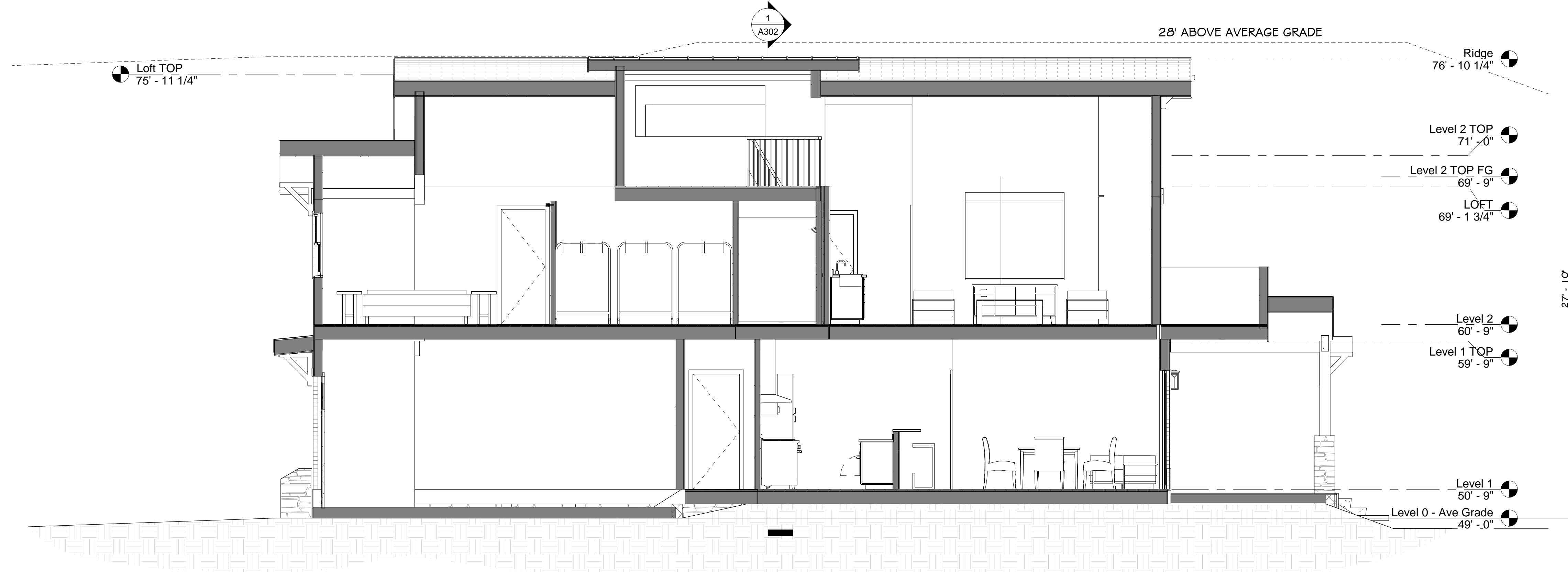
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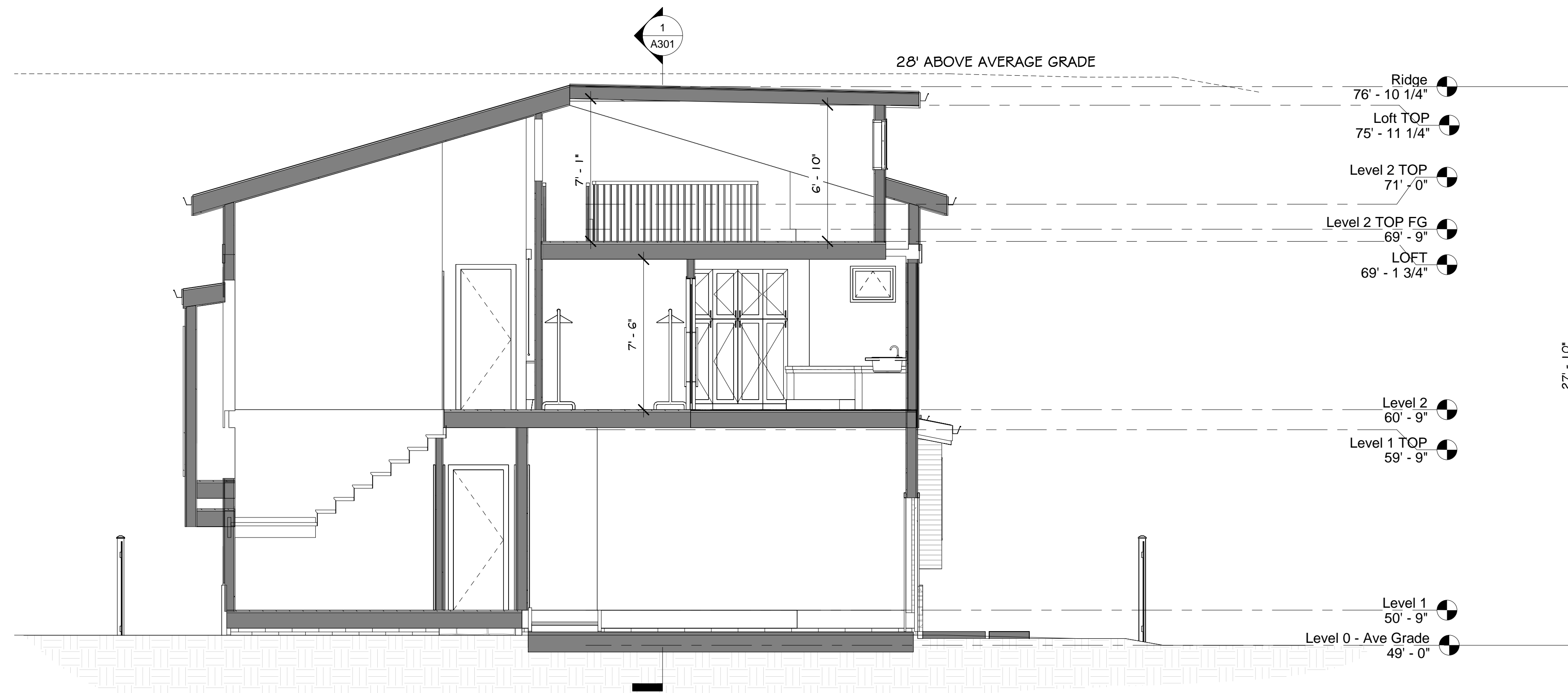
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OF SHEETS

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1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

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New Residence
Imbat - Tumosok
122 Carmel Ave El Granada, CA

Sections

Planning
Submittal

DATE: 8-3-2023

SCALE: 1/4" = 1'-0"

DRAWN: AKB

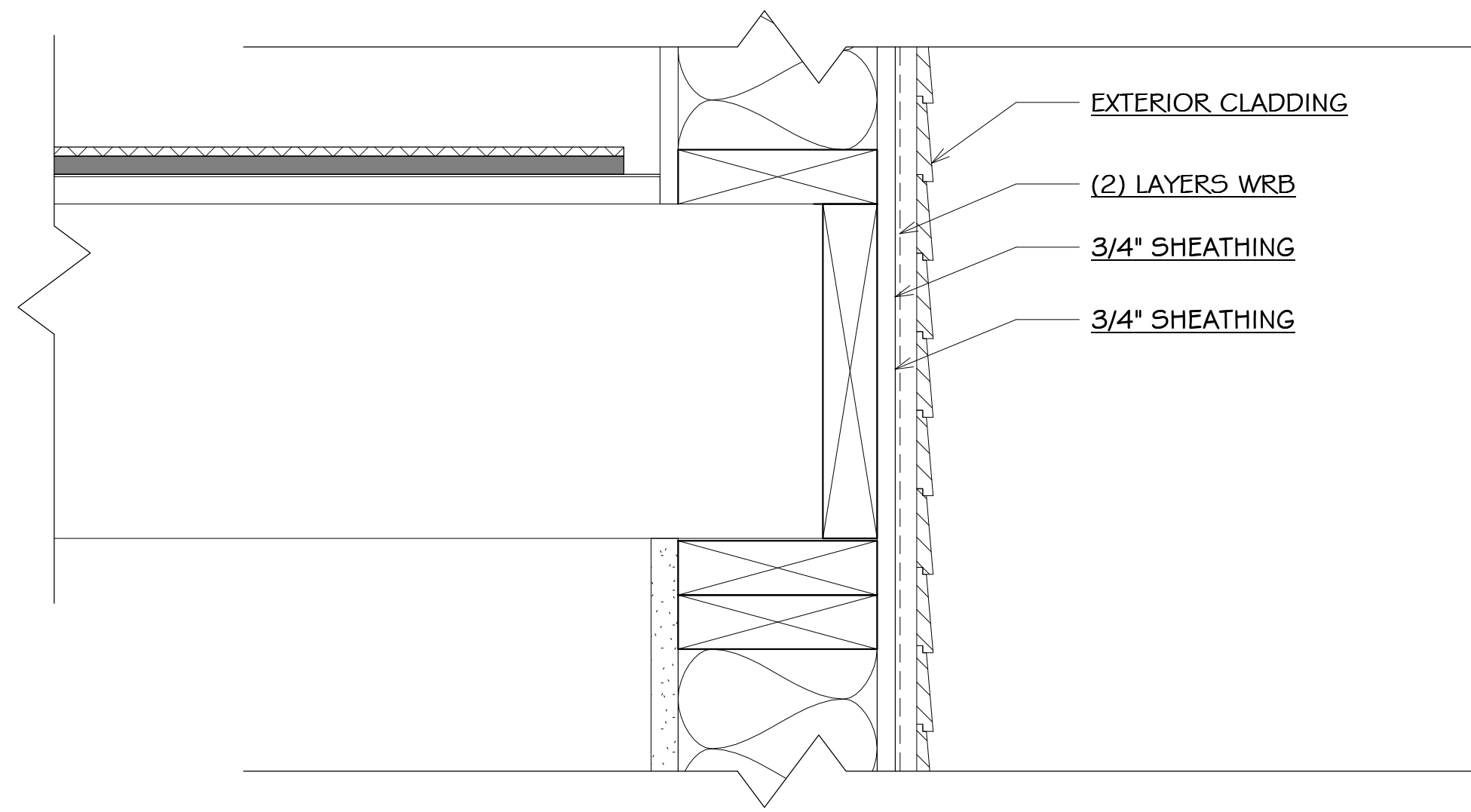
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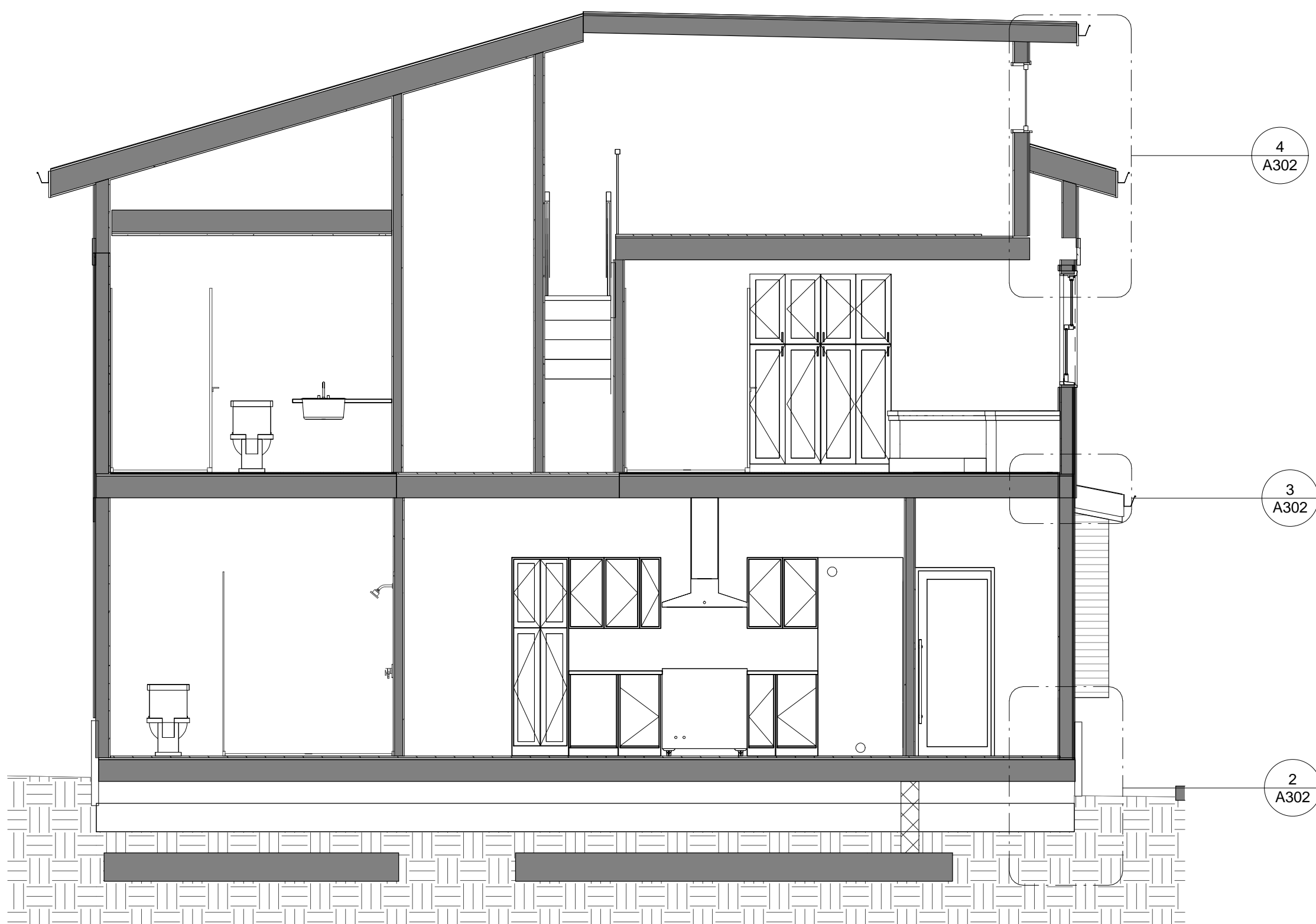
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OF SHEETS

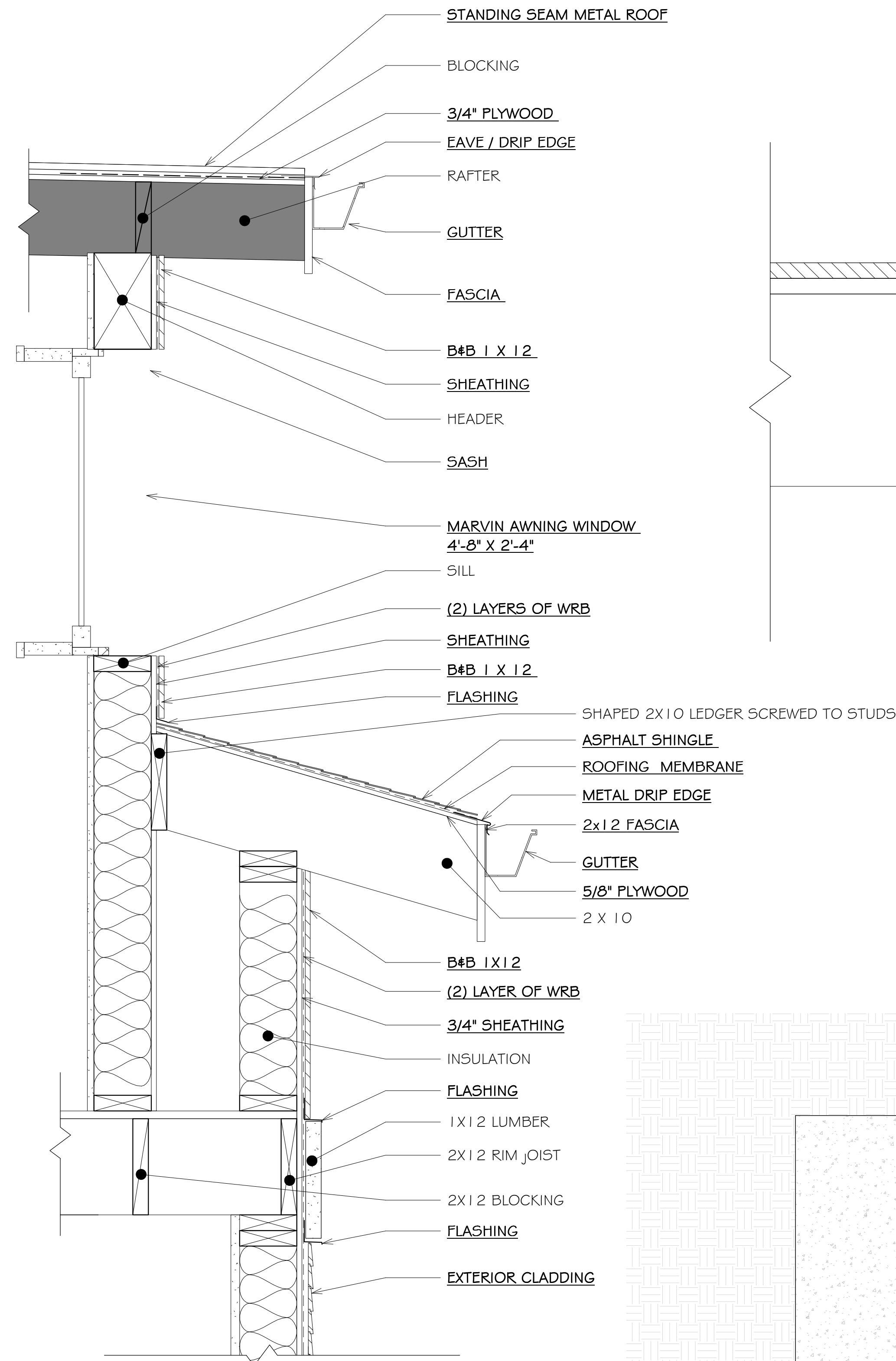
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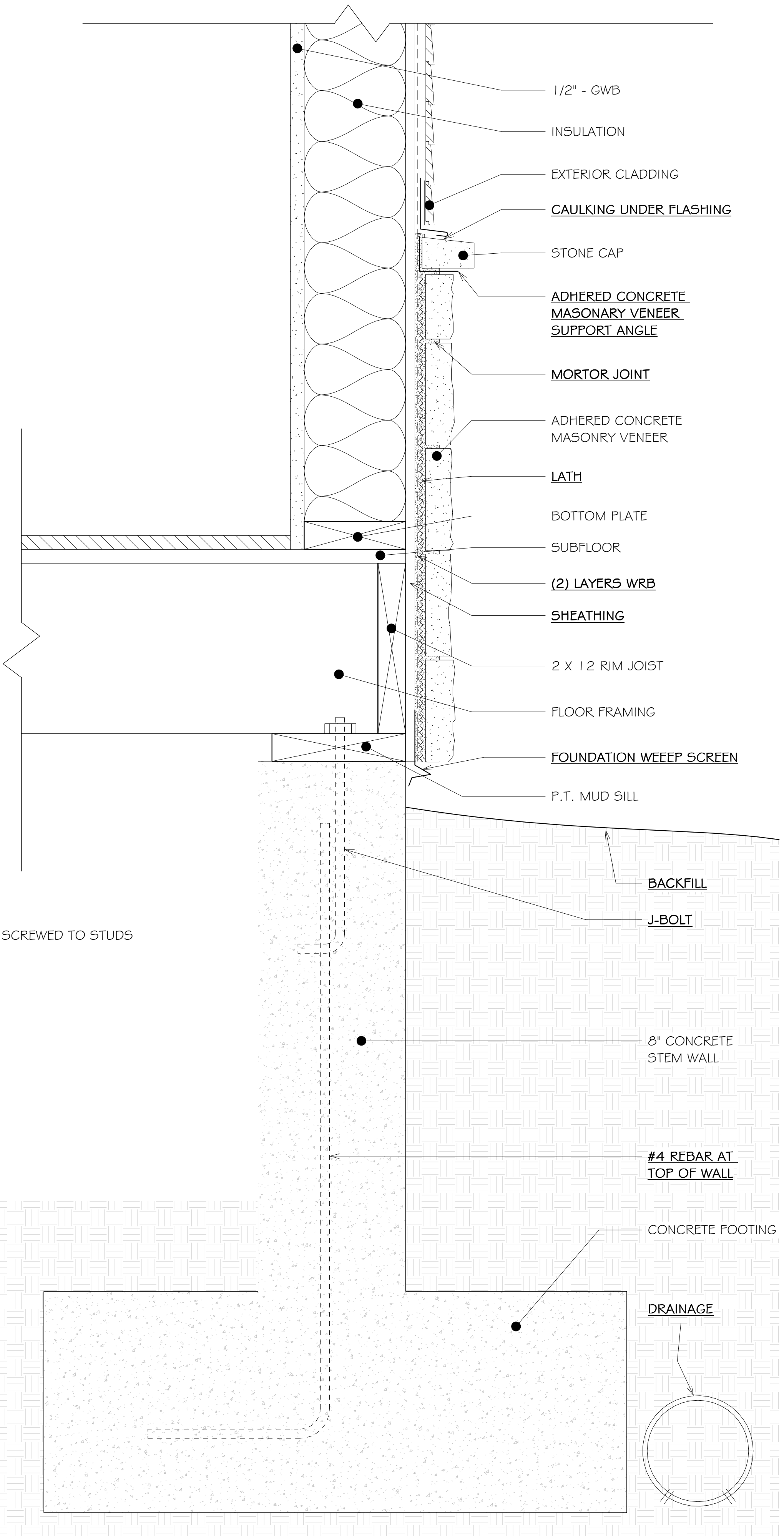
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3" = 1'-0"



1 Section 3
1/4" = 1'-0"



4 Section 3 - Callout 2 Copy 2
1 1/2" = 1'-0"



2 Section 3 - Callout 2
3" = 1'-0"

REVISIONS



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New Residence
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122 Carmel Ave El Granada, CA

Section Loft

Planning
Submittal

DATE: 8-3-2023
SCALE: As indicated
DRAWN: AKB
JOB: IMBAT

SHEET:

A302

OF SHEETS



REVISIONS



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New Residence
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Material Sheet

Planning Submittal

DATE: 8-3-2023

SCALE:

DRAWN: AKB

JOB: IMBAT

SHEET:

A502

OF SHEETS

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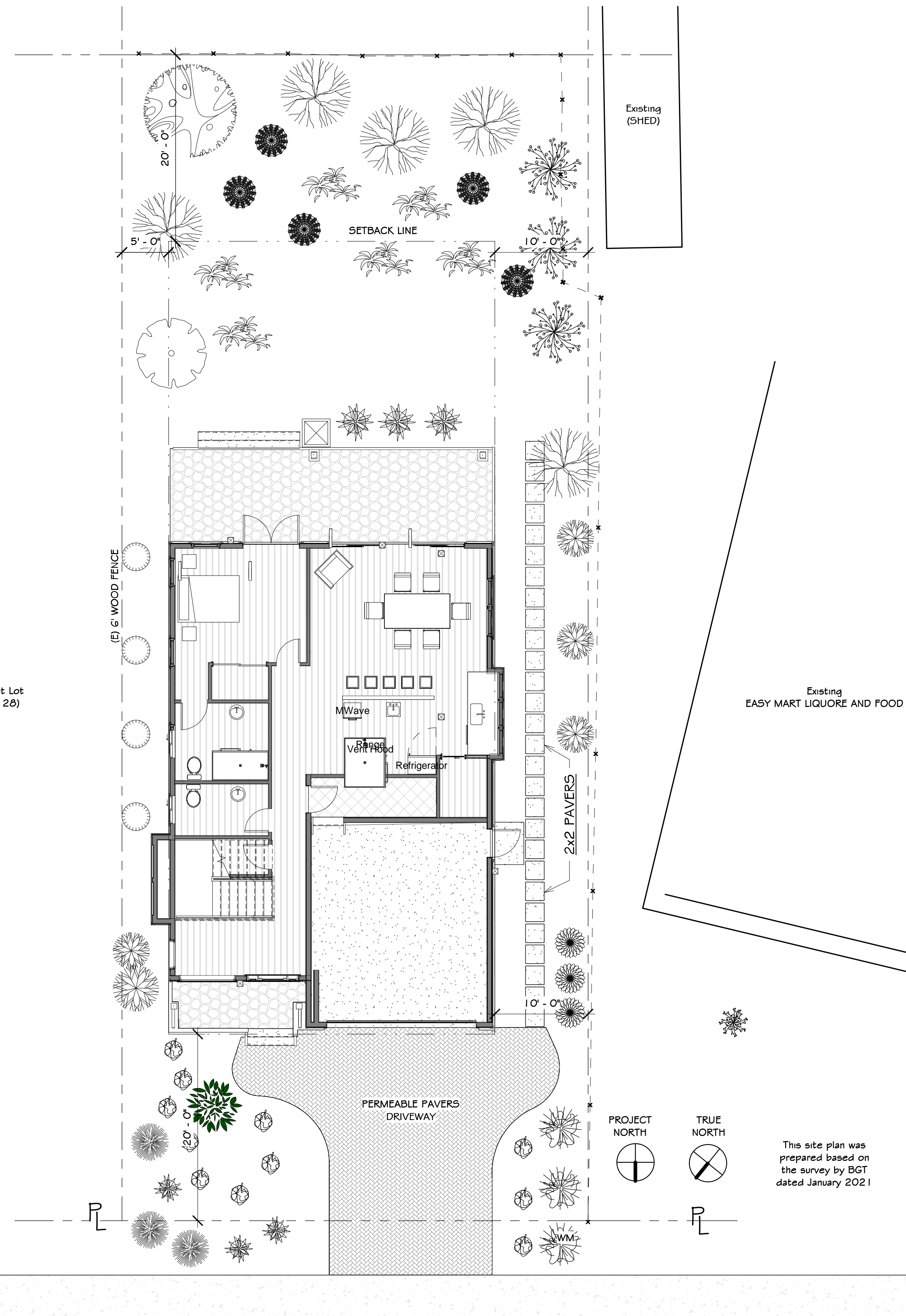
New Residence
Imbat - Tumusok
122 Carmel Ave El Granada, CA

Landscape Plan

Planning Submittal

DATE: 8-3-2023
SCALE: As indicated
DRAWN: AKB
JOB: IMBAT

SHEET:
LP101
OF SHEETS



MWELo Applicant: Jerry Alan Whiting
FLORA FARM
340 PURISSIMA ST
HALF MOON BAY, CA 94019
LIC: #549103
650-678-5801
florafarmhmb@yahoo.com

PROJECT: TUMUSOK - IMBAT
CARMEL AVE, EL GRANDA
NEW DWELLING

THIS PROJECT DOES INCORPORATE LANDSCAPING EQUAL TO OR LESS THAN 2500 SQFT. AND WILL BE USING THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPES PROJECT.

TOTAL AREA: 1,450 SQFT
TURF AREA: NA
WATER TYPE: POTABLE
NAME OF WATER PURVEYOR: CCWD

I CERTIFY THE ABOVE INFORMATION IS CORRECT AND AGREE TO COMPLY WITH THE REQUIREMENTS OF MWELo.

Signature: *J. Whiting* DATE: 9/22/21

MWELo Applicant
1/4" = 1'-0"

PLANTING NOTES

- INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUFT PER 1000 SQFT TO DEPTH OF 6" INTO THE LANDSCAPE AREA
- A MINIMUM OF A 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SURFACES OF PLANTING, EXCEPT IN AREAS OF CREEPING GROUND COVER.
- ALL PLANTING WILL BE HAND WATERED

I AGREE TO COMPLY WITH THE REQUIREMENTS OF PRESCRIPTIVE COMPLIANCE OPTION OF MWELo PER APPENDIX D

Signature: *J. Whiting* Date: 9/22/2021

Planting Notes
1/4" = 1'-0"

Plant List	Common Name	Qty	Size	Wt	Plant
	Peppermint Tree	1	15 gal	L	Tree
	Strawberry Tree	1	15 gal	L	Tree
	Anchor Bay Ceanothus	8	1 gal	L	Gr. Cover
	Australian Tea Tree	6	5 gal	L	Shrub
	Heavenly Bamboo	3	15 gal	L	Shrub
	California Lilac	1	5 gal	L	Shrub
	Silk Tassel	1	15 gal	L	Shrub
	Coast Rosemary	6	5 gal	L	Shrub
	California Lilac	5	5 gal	L	Shrub
	Australian Blue Bell	11	1 gal	L	Shrub
	Shiny Concestom Xylosma	3	5 gal	L	Shrub
	Purple Hopseed Bush	3	5 gal	L	Shrub
	Orange Bulbine	5	1 gal	L	Gr. Cover
	Coastal Wholly Bush	3	5 gal	L	Shrub

Plant List
1/4" = 1'-0"

Landscape Plan
1/8" = 1'-0"