

PROJECT DIRECTORY

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**AVENUE
 PORTOLA
 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

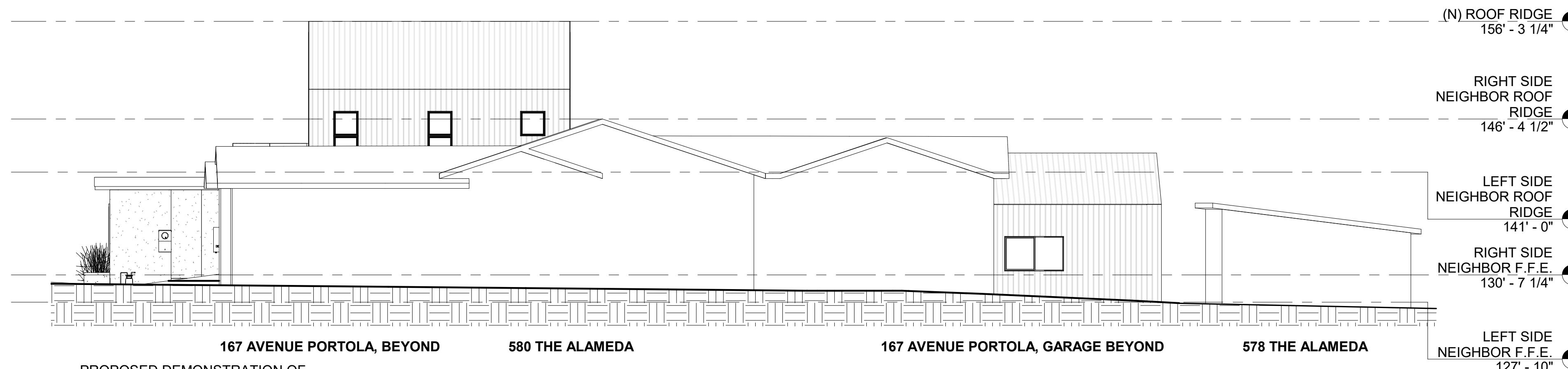
REVISIONS

NO.	DESCRIPTION	DATE
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024

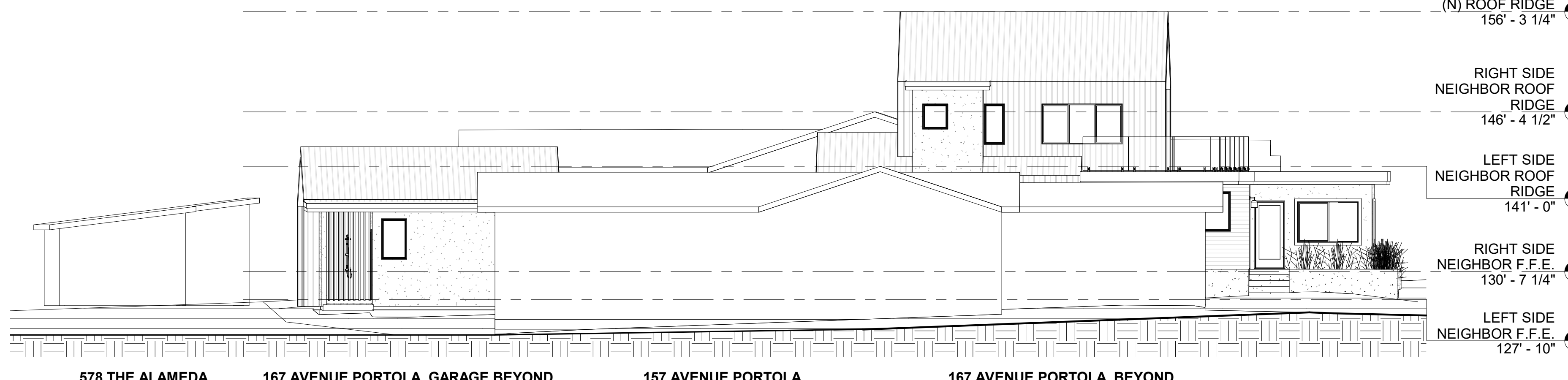
PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/8" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**DEMONSTRATION OF
 SCALE**

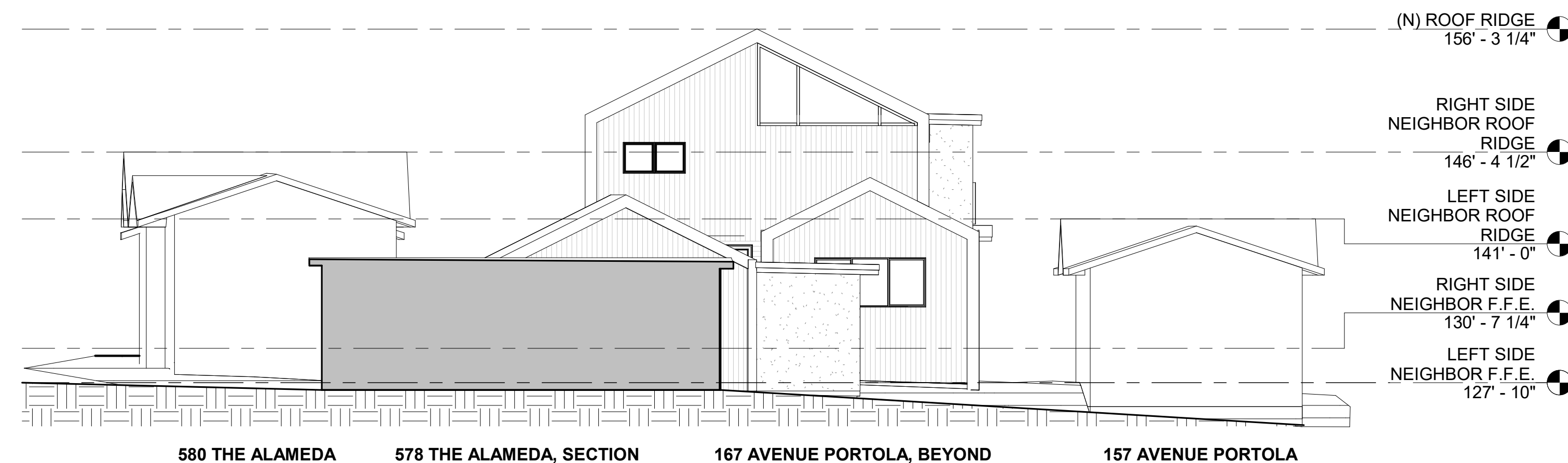
A3.3



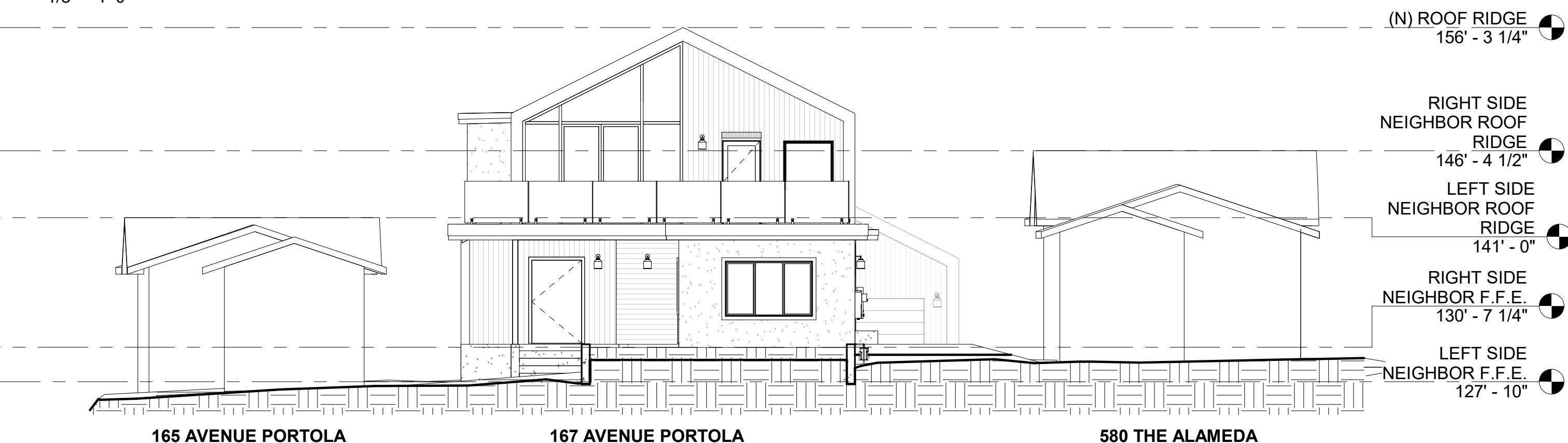
04 PROPOSED DEMONSTRATION OF SCALE - THE ALAMEDA
 1/8" = 1'-0"



03 PROPOSED DEMONSTRATION OF SCALE - LEFT SIDE ELEVATION
 1/8" = 1'-0"



02 PROPOSED DEMONSTRATION OF SCALE - REAR ELEVATION
 1/8" = 1'-0"



01 PROPOSED DEMONSTRATION OF SCALE - AVENUE PORTOLA
 1/8" = 1'-0"



6 THE ALAMEDA PERSPECTIVE - PROPOSED



5 THE ALAMEDA PERSPECTIVE - EXISTING

MECHANICAL NOTES

- REMOVE EXISTING WALL HEATER. NEW HEATING SYSTEM FOR TWO STORY HOUSE TBD DURING PERMITTING PHASE. NEW WALL MOUNTED SPLIT SYSTEM TO BE PROVIDED FOR THE DETACHED GARAGE.
- HEATING & AIR CONDITIONING SYSTEM SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ACCA 2, MANUAL J-2004 OR EQUIVALENT;
 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1, MANUAL D-2009 OR EQUIVALENT;
 - SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2004 OR EQUIVALENT.
- DUCT SIZE REQUIREMENTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR AIR FLOW RATING, TYP.
- DUCTS EXCEEDING 40' IN LENGTH SHALL REQUIRE HERS VERIFICATION, TYP.
- HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM PER CGC 702.1.
- FOR INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIR FLOW SHALL BE 50 CFM AND KITCHEN HOOD EXHAUST SHALL BE 100 CFM PER ASHRAE 62.2-2010 SECTION 4.6.5.
- CONTINUALLY OPERATING LOCAL EXHAUST BATHROOM FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR MINIMUM PER ASHRAE 62.2-2007 SECTION 4.6.4.
- VENTILATION FAN SOUND RATINGS SHALL BE LESS THAN 1 SCORE FOR CONTINUOUS FANS, OR 3 SCORE FOR INTERMITTENT FANS UNLESS THEIR MAXIMUM RATED AIR FLOW EXCEEDS 400CFM.
- BATHROOM EXHAUST FANS SHALL BE ENERGY STAR RATED AND SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING PER 2019 CALGREEN SECTION 4.506.1.
- PER CGC SECTION 15010, ALL DWELLING UNITS SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2-2010 SECTION 4.6, VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY IN LOW RISE RESIDENTIAL BUILDINGS. PROVIDE WHOLE HOUSE FAN AS LOCATED ON PLANS, AND PROVIDE A LABEL AT A READILY ACCESSIBLE CONTROL SWITCH WHICH READS "I/N TO BE LEFT ON FOR INDOOR AIR QUALITY". THE PRESCRIPTIVE FAN DUCT SIZING REQUIREMENTS FOR AIR FLOW (PER ASHRAE 62.2-2010 SECTION 4.6.7.3) SHALL COMPLY WITH TABLE 14-16 OR COMPLY WITH MANUFACTURER'S DESIGN CRITERIA.

FAT PEN

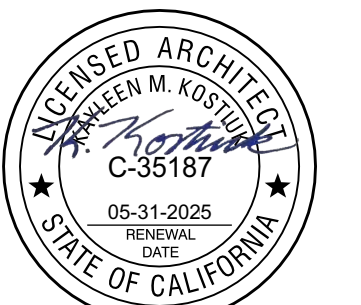
S T U D I O S

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AVENUE PORTOLA RESIDENCE
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DOOR & WINDOW SCHEDULES

WINDOW SCHEDULE						
NO.	TYPE	WIDTH	HEIGHT	SILL HT	HEAD HT	COMMENTS
GARAGE F.F.E.						
W0	SLIDER	6'-0"	3'-6"	3'-2"	6'-8"	TEMPERED GLASS
W1	CASEMENT	2'-6"	4'-0"	4'-0"	8'-0"	TEMPERED GLASS
(E) HOUSE F.F.E.						
E1	SLIDER-FIXED-SLIDER	7'-0"	4'-5"	2'-2"	6'-7"	EXISTING
E2	SLIDER	6'-0"	4'-0"	2'-7"	6'-7"	EXISTING
E3	FIXED	6'-2"	3'-11"	3'-8"	7'-7"	EXISTING
E4	SLIDER	4'-0"	4'-0"	3'-4"	7'-4"	EXISTING
W2	FIXED	2'-6"	2'-6"	3'-0"	5'-6"	
W3	FIXED	2'-6"	2'-6"	3'-0"	8'-0"	
W4	CASEMENT-FIXED-CASEMENT	8'-11 1/2"	3'-11 1/2"	3'-0"	6'-11 1/2"	
W5	FIXED	2'-6"	2'-6"	5'-6"	8'-0"	
W6	FIXED	2'-6"	2'-6"	3'-0"	5'-6"	
W7	FIXED	2'-6"	2'-6"	5'-6"	8'-0"	TEMPERED GLASS
W8	SLIDER	3'-0"	1'-6"	5'-6"	7'-0"	TEMPERED GLASS
2ND FLOOR F.F.E.						
W9	FIXED	4'-0"	4'-0"	2'-8"	6'-8"	
W10	FIXED	2'-6"	2'-6"	1'-8"	4'-2"	
W11	FIXED	2'-6"	2'-6"	4'-2"	6'-8"	
W12	FIXED	2'-6"	2'-6"	4'-2"	6'-8"	
W13	FIXED	2'-6"	2'-6"	1'-8"	4'-2"	
W14	FIXED	2'-6"	2'-6"	4'-2"	6'-8"	
W15	FIXED	2'-6"	2'-6"	4'-2"	6'-8"	
W16	FIXED	2'-6"	2'-6"	4'-2"	6'-8"	
W17	FIXED	2'-6"	2'-6"	4'-2"	6'-8"	TEMPERED GLASS
W18	CASEMENT	2'-0"	4'-0"	2'-8"	6'-8"	TEMPERED GLASS
W19	CASEMENT-FIXED-CASEMENT	7'-11 1/2"	3'-11 1/2"	2'-8 1/2"	6'-8"	TEMPERED GLASS

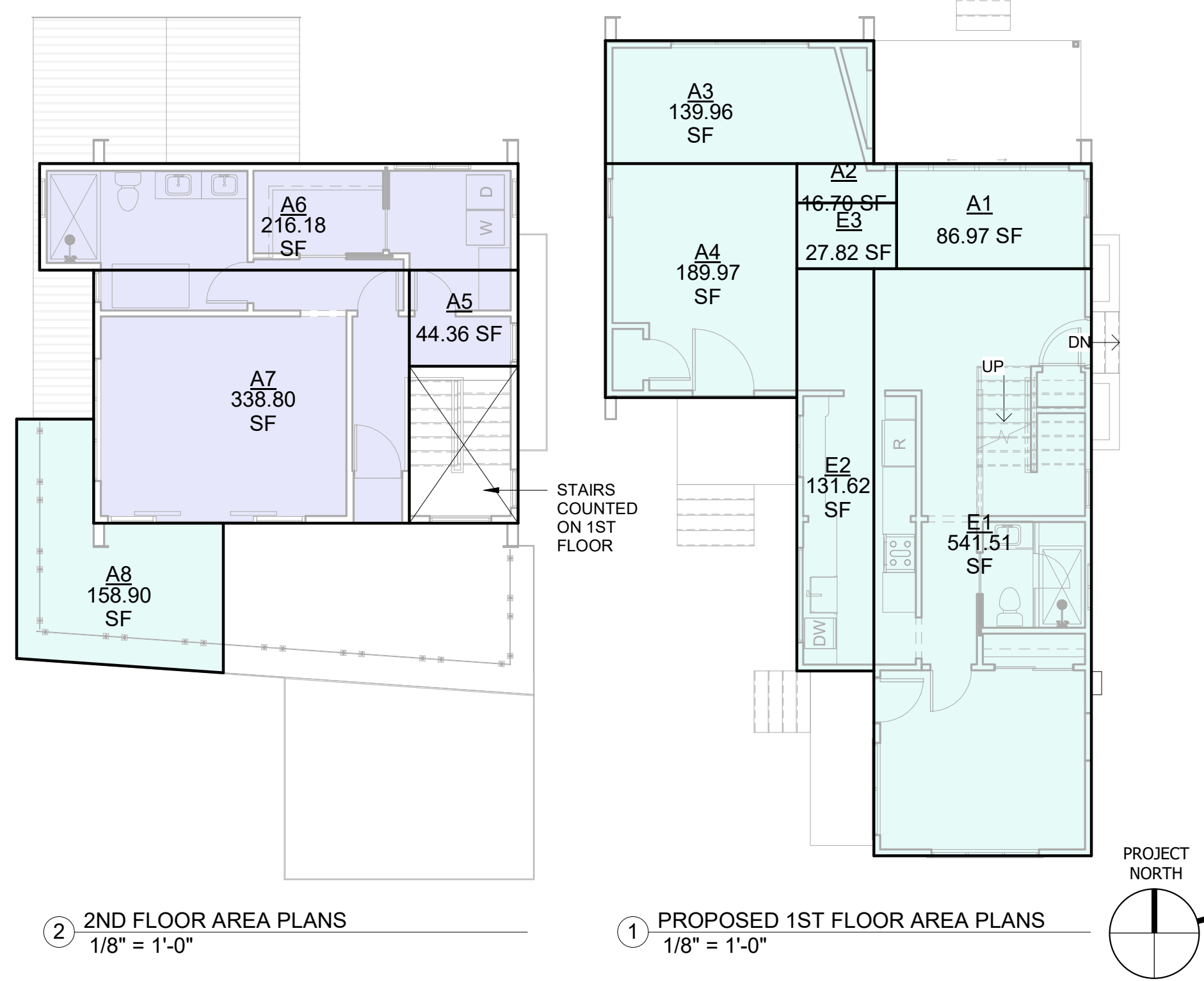
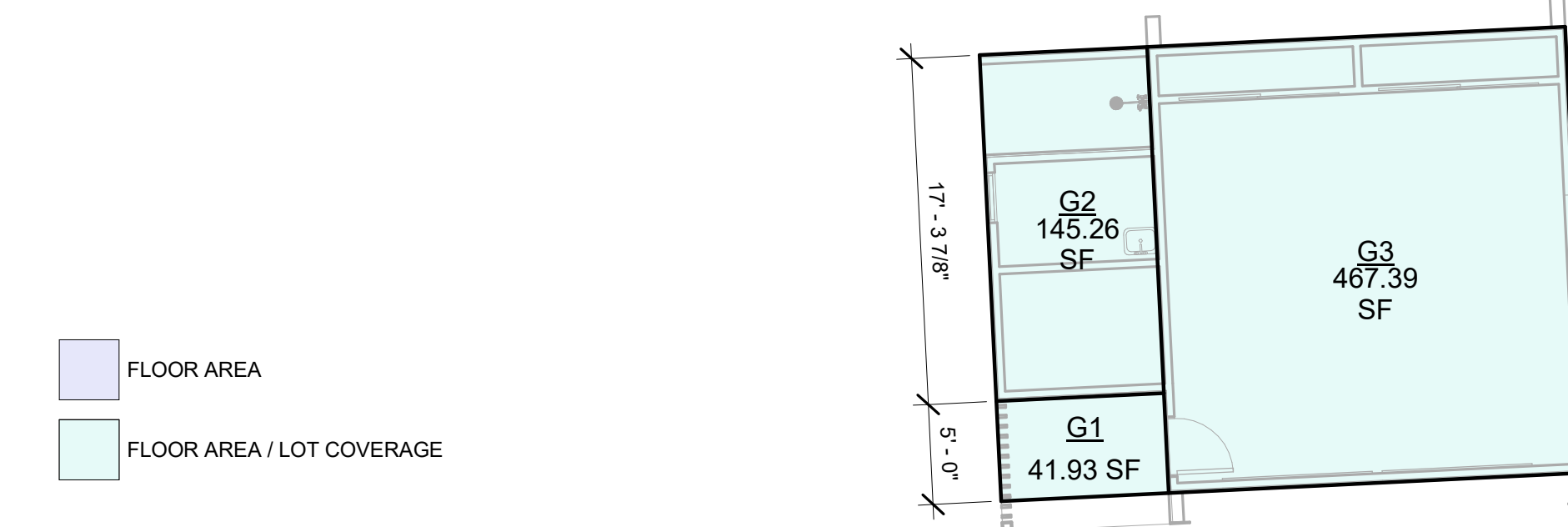
AREA PLANS & SCHEDULES

FLOOR AREA & LOT COVERAGE AREA SCHEDULE			
NAME	AREA	DIMENSIONS	COMMENTS
FLOOR AREA			
A5	44.36 SF		
A6	216.18 SF		
A7	338.80 SF		
	699.34 SF		
FLOOR AREA / LOT COVERAGE			
A1	86.97 SF		
A2	16.70 SF		
A3	139.96 SF		
A4	189.97 SF		
A8	158.90 SF		
E1	541.51 SF		
E2	131.62 SF		
E3	27.82 SF		
G1	41.93 SF		
G2	145.26 SF		
G3	467.39 SF		
	1948.01 SF		
TOTAL AREA	2547.35 SF		

TOTAL PROPOSED FLOOR AREA = 2,547.35 SF
 LOT COVERAGE = A1 + A2 + A3 + A4 + E1 + E2 + E3 + G1 + G2 + G3 = 1,948.01 SF

EXISTING VS PROPOSED AREA SCHEDULE			
NAME	AREA	DIMENSIONS	COMMENTS
ADDITION			
A1	86.97 SF		
A2	16.70 SF		
A3	139.96 SF		
A4	189.97 SF		
A5	44.36 SF		
A6	216.18 SF		
A7	338.80 SF		
A8	158.90 SF		
	1191.84 SF		
EXISTING			
E1	541.51 SF		
E2	131.62 SF		
E3	27.82 SF		
	700.94 SF		
GARAGE			
G1	41.93 SF		
G2	145.26 SF		
G3	467.39 SF		
	654.57 SF		
TOTAL AREA	2547.35 SF		

DOOR SCHEDULE				
NO.	TYPE	WIDTH	HEIGHT	COMMENTS
GARAGE F.F.E.				
001	OVERHEAD GARAGE DOOR	7'-6"	6'-8"	
002	OVERHEAD GARAGE DOOR	7'-6"	6'-8"	
003	SINGLE GLASS DOOR	3'-0"	8'-0"	TEMPERED GLASS
004	4-PANEL BIFOLD DOORS	5'-0"	6'-8"	
005	SINGLE PANEL DOOR	2'-8"	6'-8"	
006	SINGLE PANEL DOOR	2'-6"	6'-8"	
007	SLIDING CLOSET DOOR	8'-0"	6'-8"	
008	SLIDING CLOSET DOOR	8'-0"	6'-8"	
(E) HOUSE F.F.E.				
101	SINGLE PANEL DOOR	4'-0"	6'-8"	
102	SINGLE PANEL DOOR	2'-8"	6'-8"	
103	4-PANEL DOUBLE GLASS SLIDER	12'-0"	8'-0"	TEMPERED GLASS
104	HALF GLASS DOOR	3'-0"	8'-0"	PAINTED TO MATCH FRONT DOOR. PROVIDE DOG DOOR AT BOTTOM
105	SINGLE PANEL DOOR	2'-6"	6'-8"	
106	SINGLE PANEL POCKET DOOR	2'-8"	6'-8"	
107	BYPASS CLOSET DOORS	5'-0"	6'-8"	
108	SINGLE PANEL DOOR	2'-8"	6'-8"	
109	SINGLE GLASS DOOR	3'-0"	6'-8"	TEMPERED GLASS
2ND FLOOR F.F.E.				
201	SINGLE GLASS DOOR	3'-0"	6'-8"	TEMPERED GLASS
202	DOUBLE GLASS SLIDER	6'-4 1/8"	8'-0"	CUSTOM FIXED UNITS FLANKING DOORS - REFER TO ELEVATIONS
203	SINGLE PANEL DOOR	2'-8"	6'-8"	
204	SINGLE PANEL POCKET DOOR	3'-0"	6'-8"	
205	SINGLE PANEL POCKET DOOR	2'-8"	6'-8"	
206	SINGLE PANEL DOOR	2'-8"	6'-8"	
207	SINGLE PANEL DOOR	2'-8"	6'-8"	



2 2ND FLOOR AREA PLANS
 1/8" = 1'-0"

1 PROPOSED 1ST FLOOR AREA PLANS
 1/8" = 1'-0"

W/D NOTES

- PROVIDE WATER HEATER HAMMER DEVICE AT SUPPLY LINE OF WASHERS.
- PROVIDE METAL PAN & DRAIN UNDER WASHER AND DAYLIGHT TO OUTSIDE. TRAP SEAL PROTECTION SHALL BE PROVIDED FOR FLOOR DRAINS THAT ARE INFREQUENTLY USED. PER CPC SECTION 1007.
- PROVIDE EXHAUST AIR VENT FOR DRYER TO BE EQUIPPED W/DRIFT DAMPER - REFER TO I/E.1, TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH SHALL NOT EXCEED 14 FEET.

FLOOR VENT CALCS

HOUSE FLOOR VENT CALCULATIONS	
FLOOR AREA OF CRAWLSPACE TO BE VENTED (SEE 1/A0.1 & 2/A0.1: E1 + E2 + E3 + A1 + A2 + A3 + A4) = 1,134.54 SF	
1,134.54/150 = 7.6 SF = 1,094.4 SQ. IN NFVA REQUIRED	
(1) 14" X 7" VENT = 98 SQ. IN. NFVA	
(12) 14" X 7" VENTS PROVIDED = 1,176 SQ. IN. NFVA	
1,176 SQ. IN. NFVA PROVIDED > 1,094.4 SQ. IN. REQUIRED	

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AREA PLANS, DOOR & WINDOW SCHEDULES, MECH. NOTES, VENT CALCS

A0.1

SITE PLAN NOTES

- CONTRACTOR SHALL CONSTRUCT A COUNTY STANDARD SIDEWALK PER COUNTY DETAIL D-3 ALONG ENTIRE PARCEL FRONTAGE WHERE NO SIDEWALK EXISTS.
- CONTRACTOR SHALL REPLACE ANY DAMAGED CURB, GUTTER, AND SIDEWALK ALONG THE ENTIRE PARCEL FRONTAGE PER COUNTY DETAIL D-3.

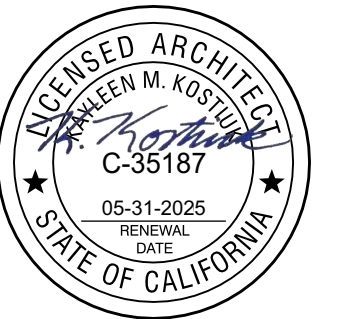
FAT PEN
STUDIOS

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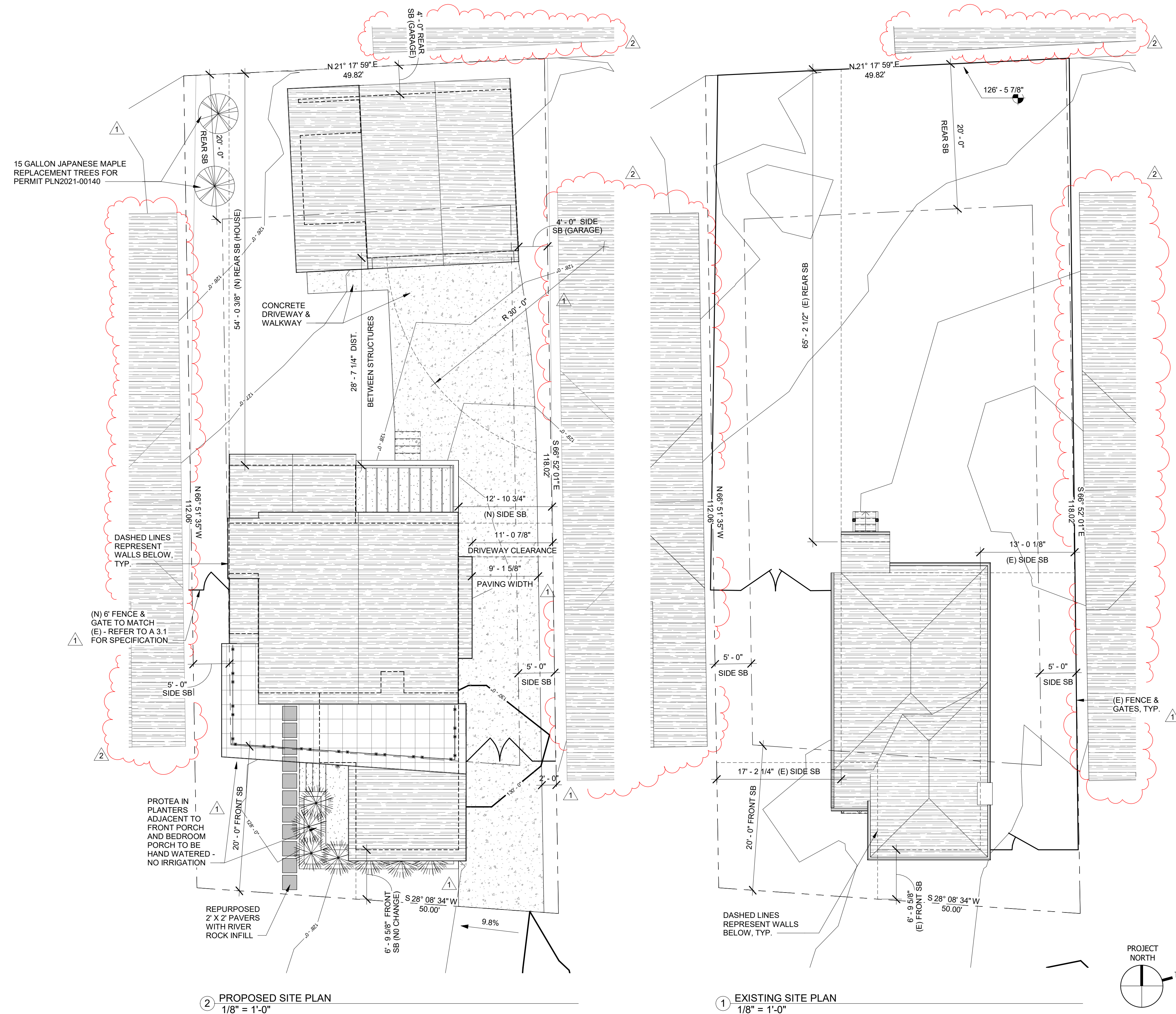
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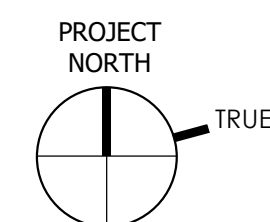
**EXISTING & PROPOSED
SITE PLAN**

A1.0



2 PROPOSED SITE PLAN
1/8" = 1'-0"

1 EXISTING SITE PLAN
1/8" = 1'-0"



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**EXISTING / DEMO
 FLOOR PLANS, DEMO
 NOTES**

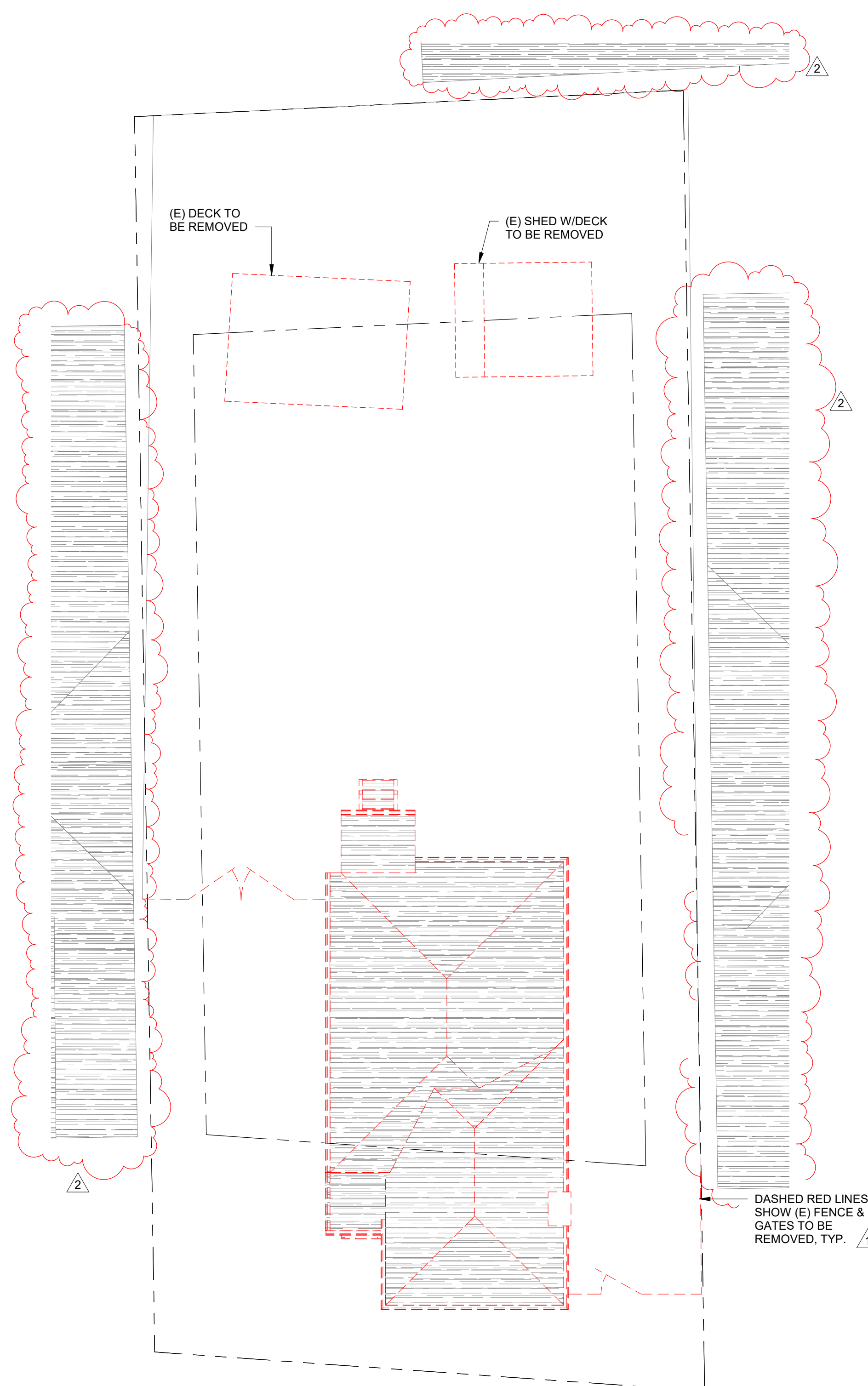
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GENERAL DEMO NOTES

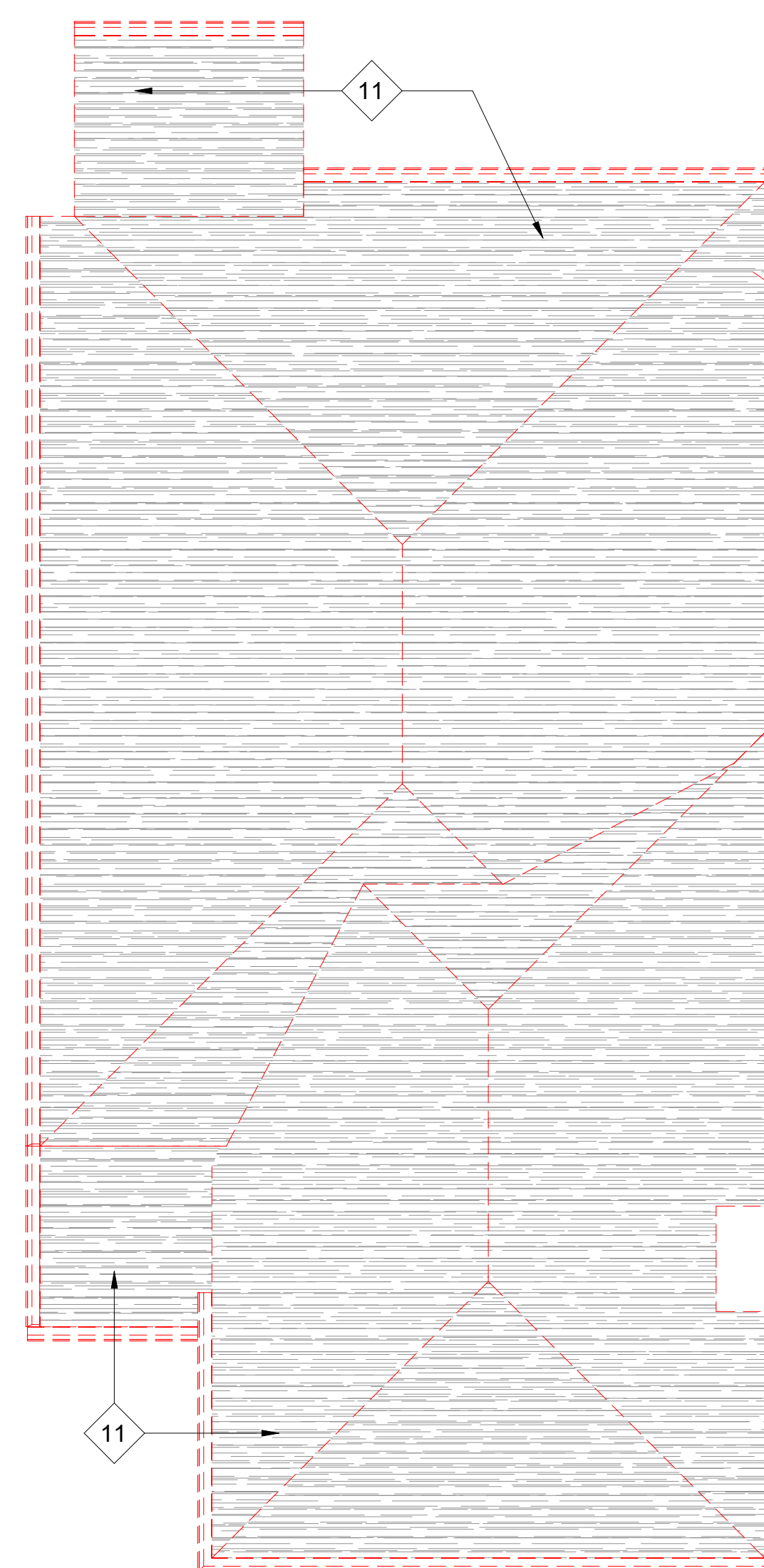
- THE DRAWINGS DO NOT ASSUME TO SHOW ALL OBJECTS EXISTING. BEFORE COMMENCING WORK, VERIFY WITH OWNER OR ARCHITECT IN WRITING ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO BE PRESERVED. CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGE ITEMS. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN AND, IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE OWNER.
- DEMOLITION OF AN ITEM OR SYSTEM INCLUDES REMOVAL OF ALL COMPONENTS RELATED TO THAT ITEM. (I.E. REMOVAL OF DOOR INCLUDES DOOR, DOORFRAME, SILL, HARDWARE, ETC.)
- ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
- CONTRACTOR SHALL PREPARE AND SUBMIT A "CONSTRUCTION AND DEMOLITION RECYCLING WASTE REDUCTION PLAN" PRIOR TO DEMOLITION. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGG 4.408. THE EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.

SPECIFIC DEMO NOTES

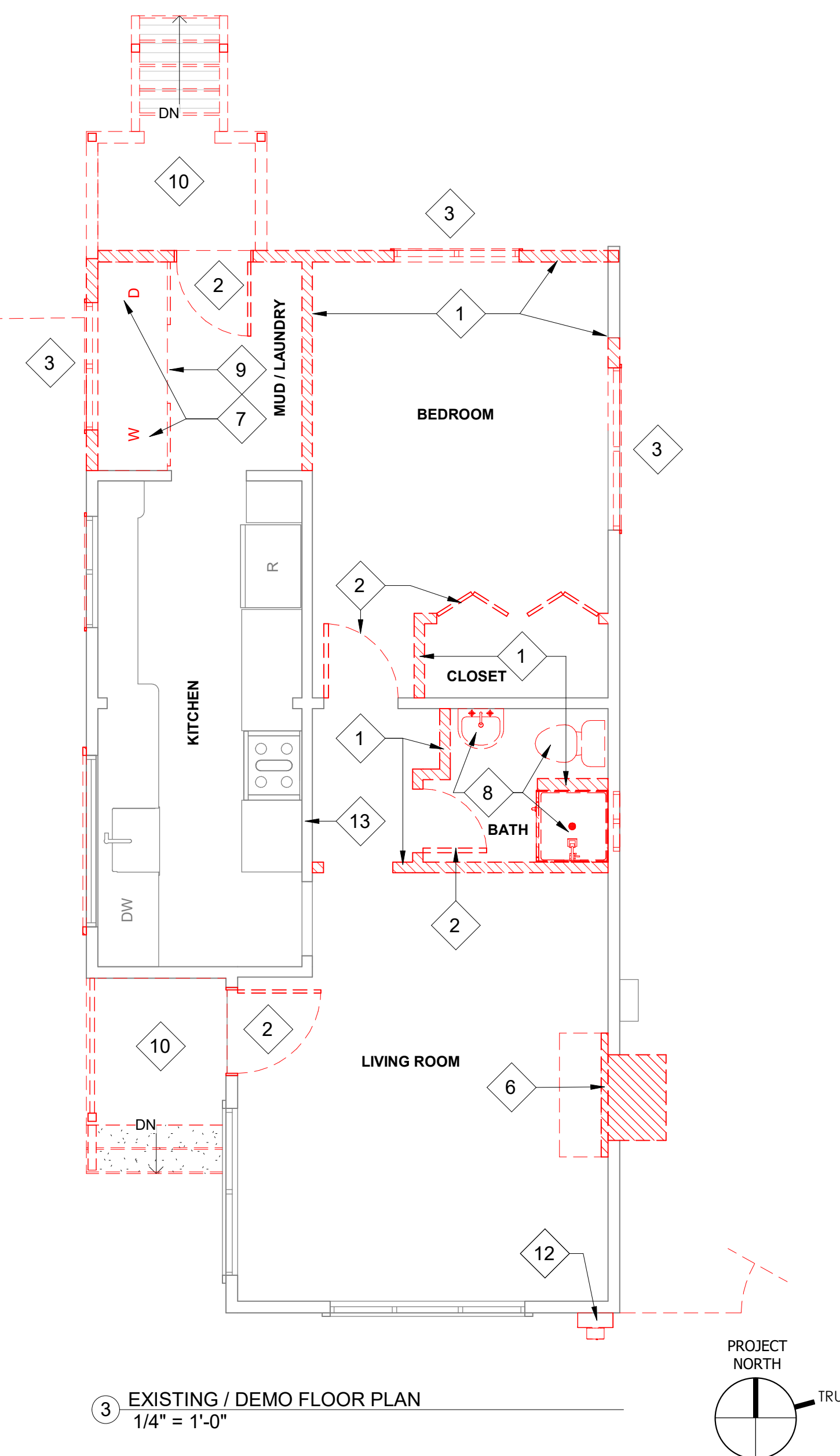
- | | |
|---|--|
| 1 REMOVE (E) WALL. | 7 REMOVE (E) APPLIANCE - CONSULT OWNER IF APPLIANCE TO BE SALVAGED |
| 2 REMOVE (E) DOOR. | 8 REMOVE (E) PLUMBING FIXTURE. |
| 3 REMOVE (E) WINDOW. | 9 REMOVE (E) CASEWORK & COUNTER |
| 4 REMOVE (E) CASED OPENING | 10 REMOVE (E) PORCH, STEPS & RAILING. |
| 5 REMOVE (E) FLOORING AS SPECIFIED BY OWNER, TYP. | 11 REMOVE (E) ROOF, ROOF EAVE & GUTTER. |
| 6 REMOVE (E) FIREPLACE, HEARTH, MANTLE & CHIMNEY. | 12 RELOCATE (E) ELEC METER - CONTRACTOR TO COORDINATE WITH PG&E. |
| | 13 REMOVE (E) WALL HEATER. |



④ EXISTING / DEMO SITE PLAN
 1/8" = 1'-0"



② EXISTING / DEMO ROOF PLAN
 1/4" = 1'-0"



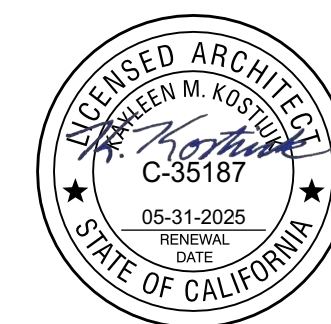
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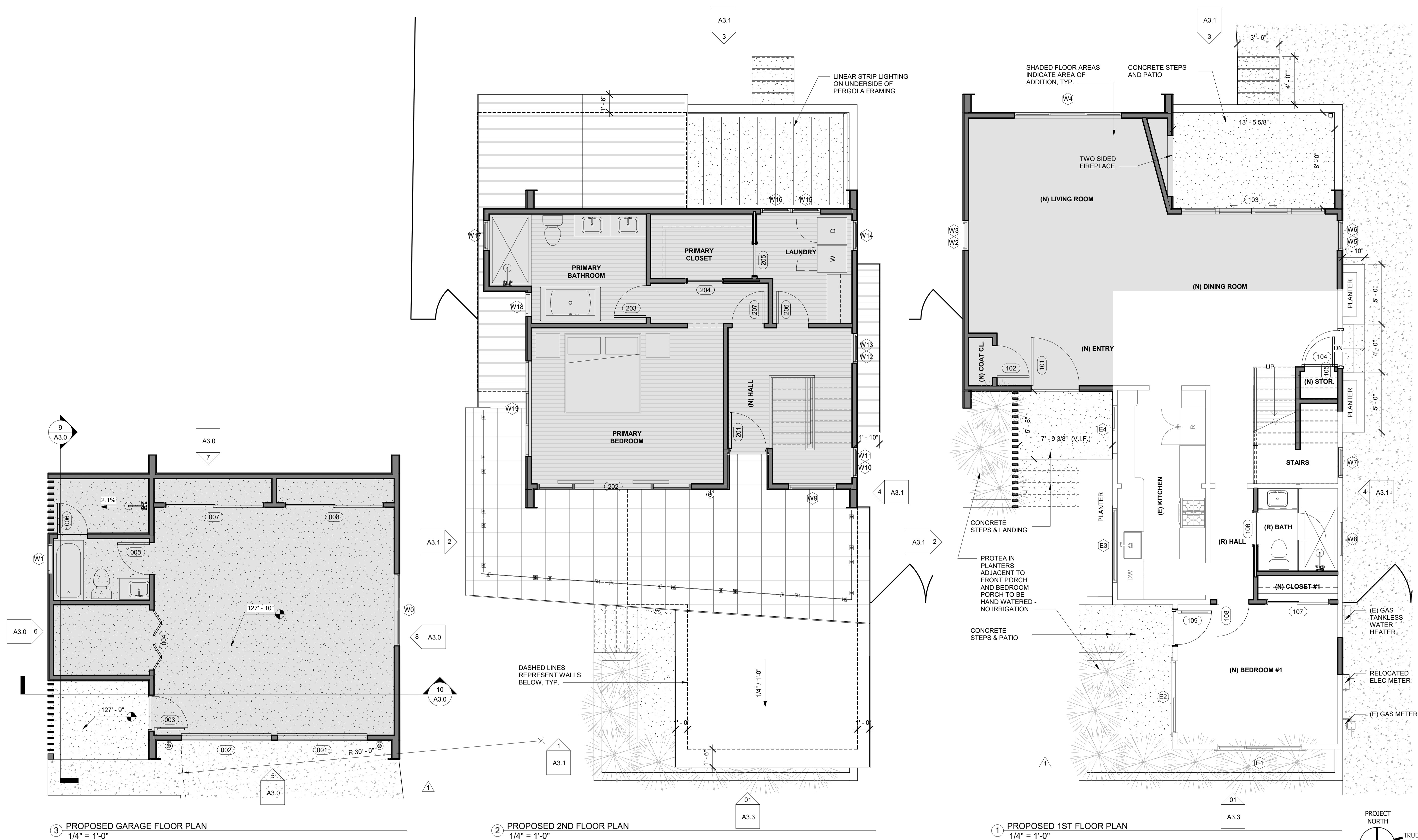
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PROPOSED FLOOR PLANS

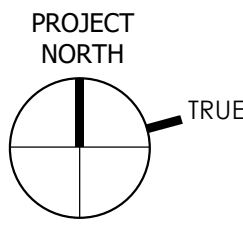
A2.1



3 PROPOSED GARAGE FLOOR PLAN
1/4" = 1'-0"

2 PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"

1 PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

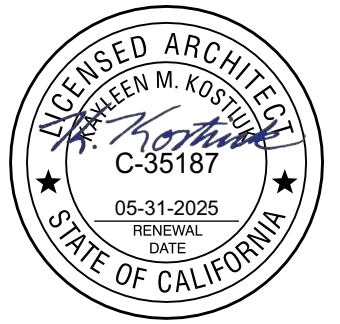


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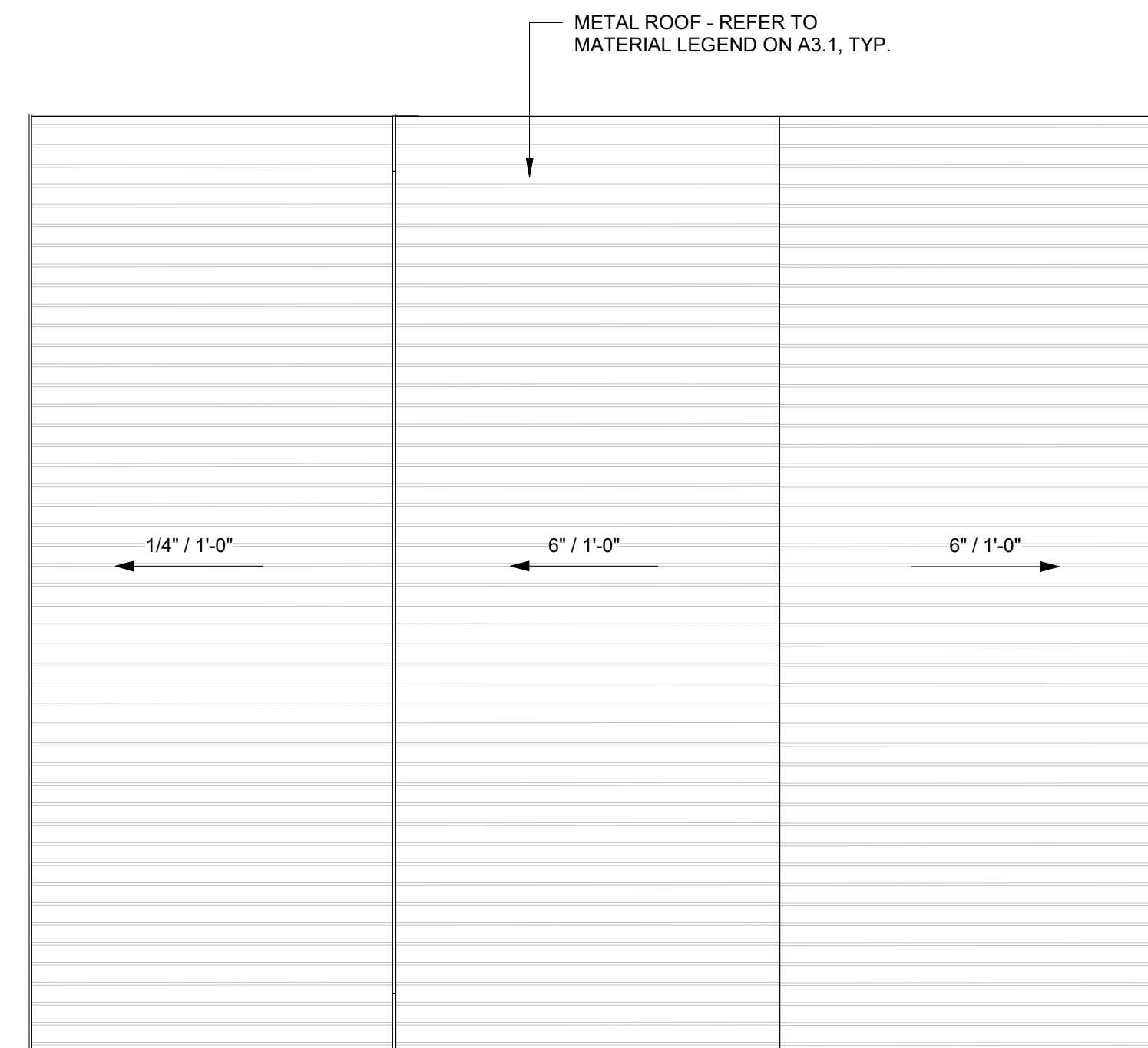
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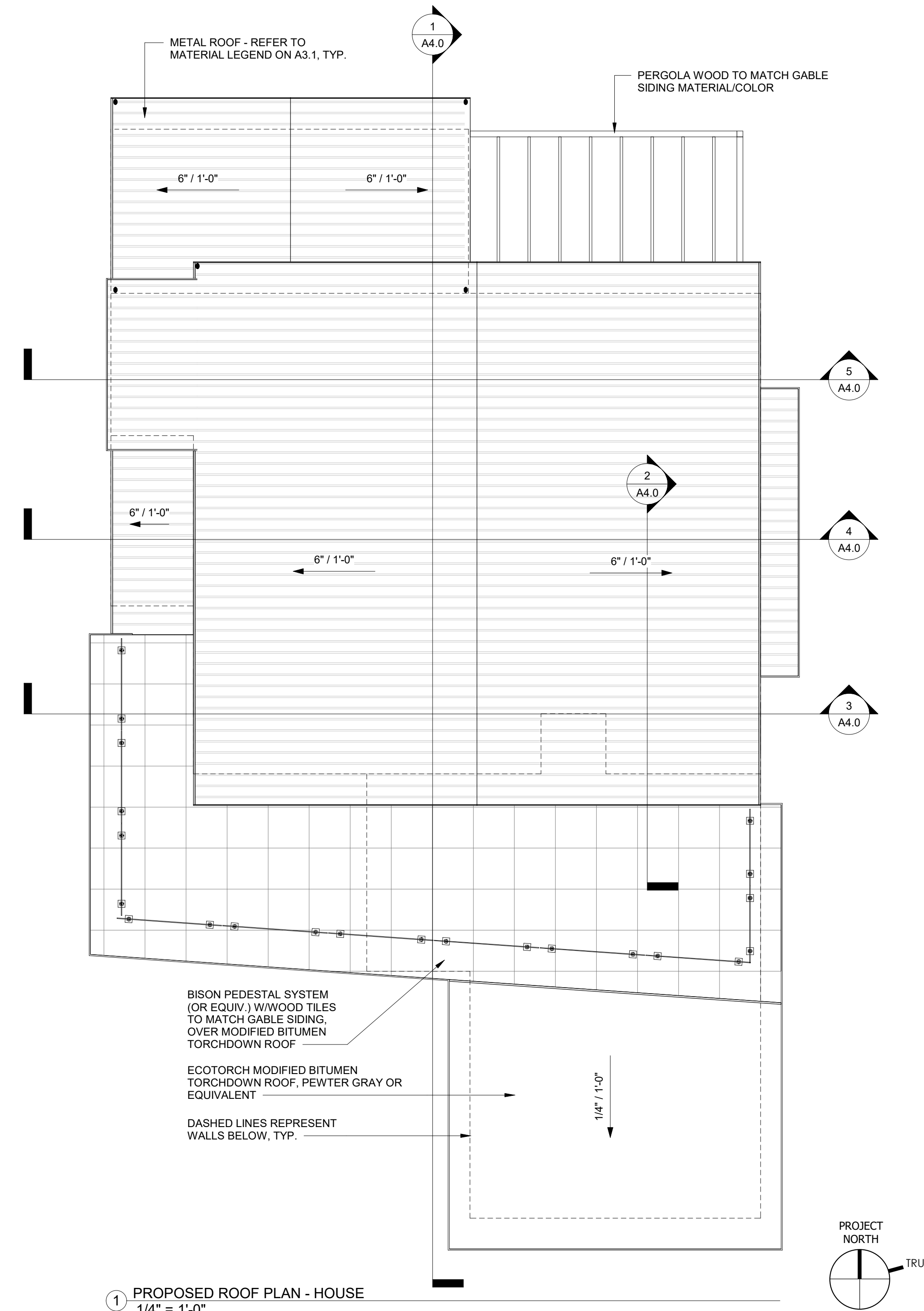
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**PROPOSED ROOF
 PLANS**

A2.2



2 PROPOSED ROOF PLAN - GARAGE
 1/4" = 1'-0"



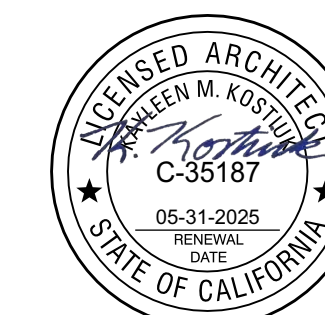
1 PROPOSED ROOF PLAN - HOUSE
 1/4" = 1'-0"

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 978-766-0957
 Kristin.meador@gmail.com
 Lion.RWC@gmail.com

CIVIL / GEOTECH ENGINEER
SIGMA PRIME GEOSCIENCES
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 650-728-3590
 sigmaprime@gmail.com



**AVENUE
 PORTOLA
 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/4" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**EXISTING HOUSE
 ELEVATIONS,
 PROPOSED DETACHED
 GARAGE ELEVATIONS,
 GARAGE SECTIONS**

A3.0



4 EXISTING RIGHT SIDE ELEVATION
 1/4" = 1'-0"



3 EXISTING REAR ELEVATION
 1/4" = 1'-0"



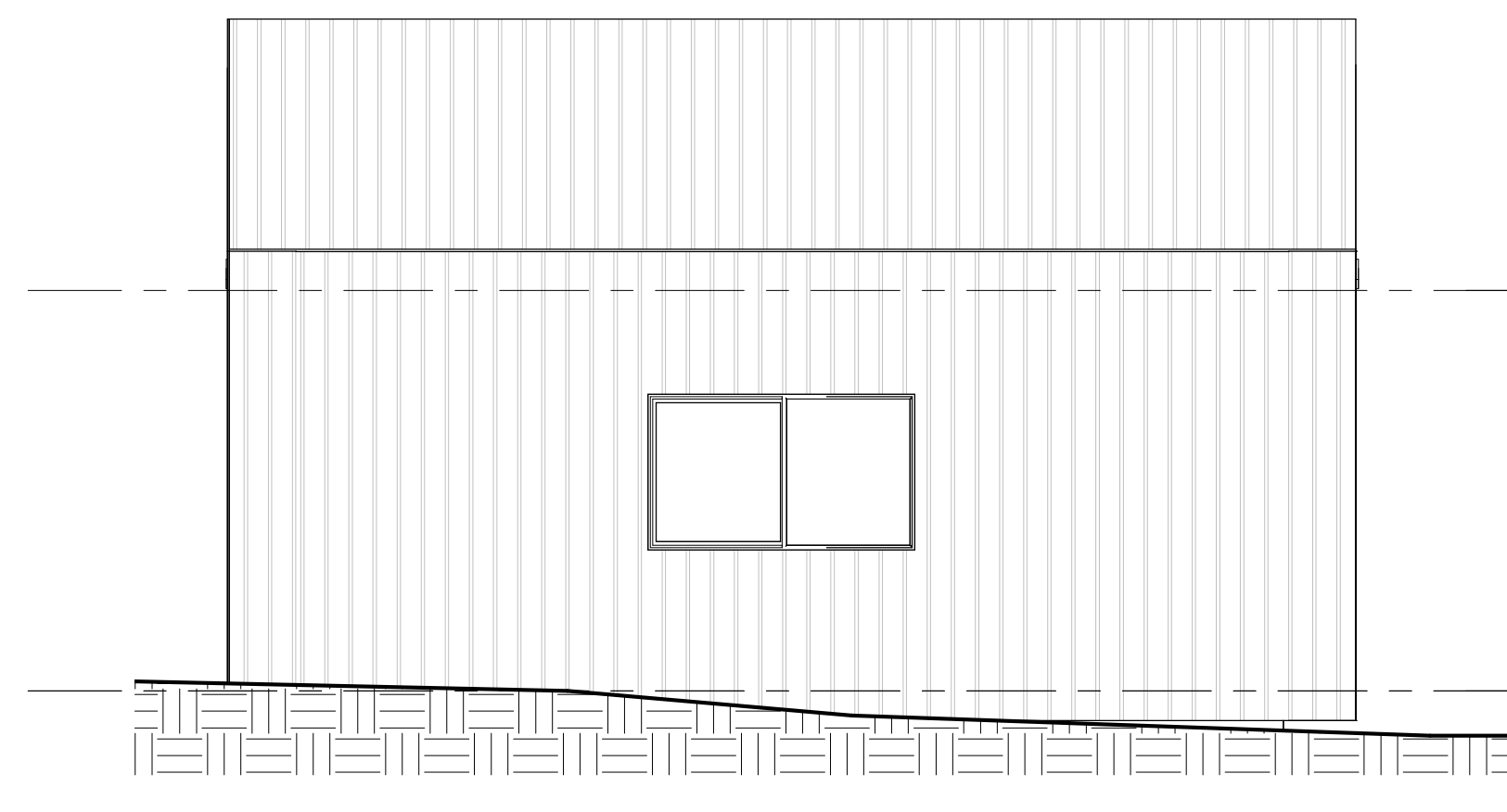
2 EXISTING LEFT SIDE ELEVATION
 1/4" = 1'-0"



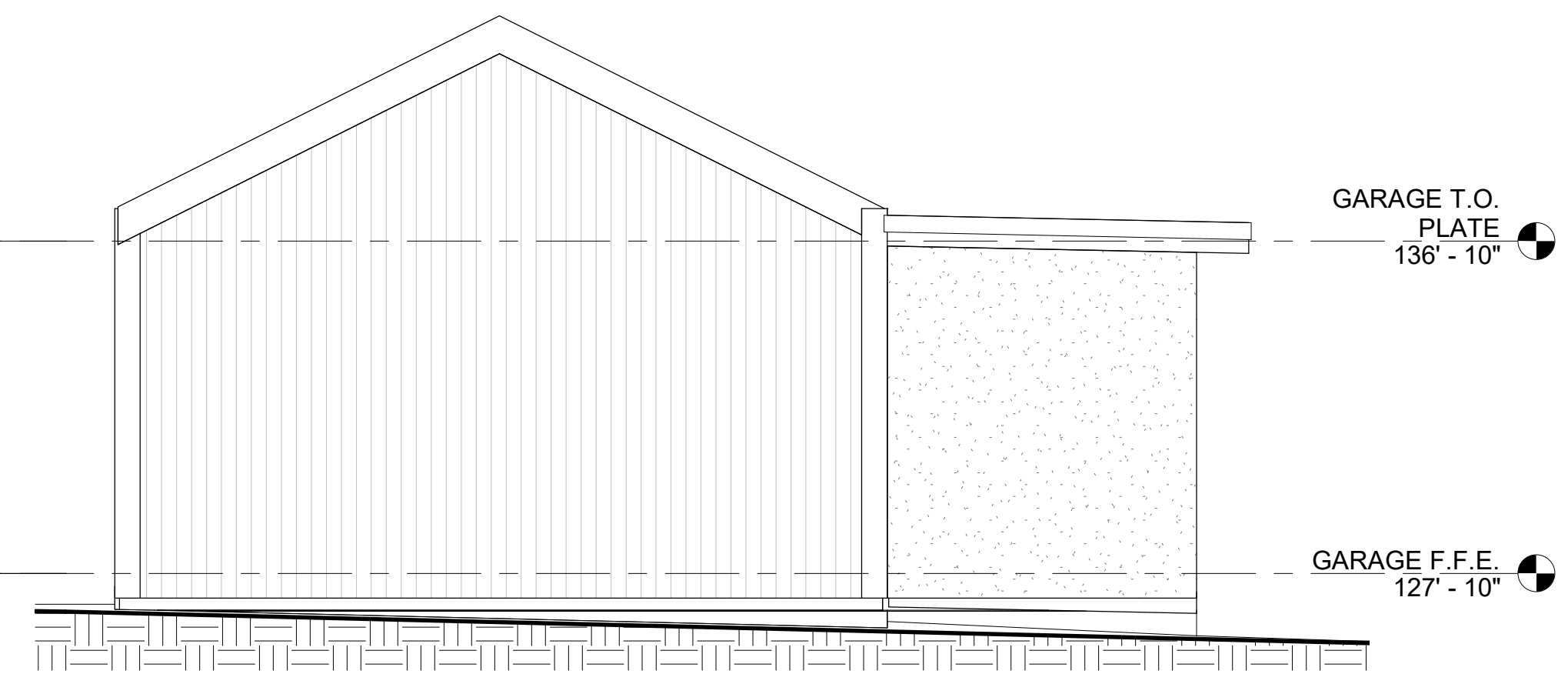
1 EXISTING FRONT ELEVATION
 1/4" = 1'-0"



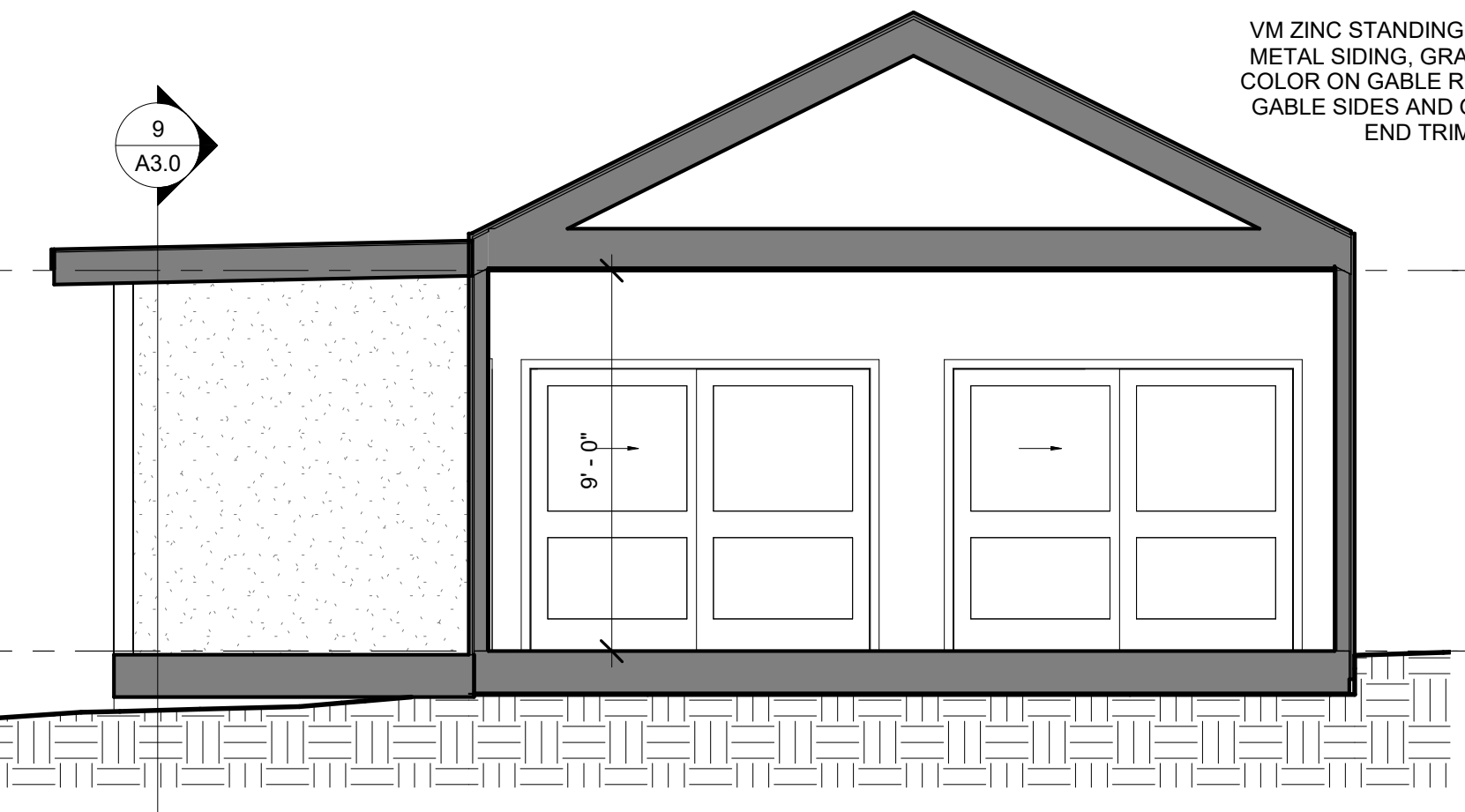
9 GARAGE - CROSS SECTION
 1/4" = 1'-0"



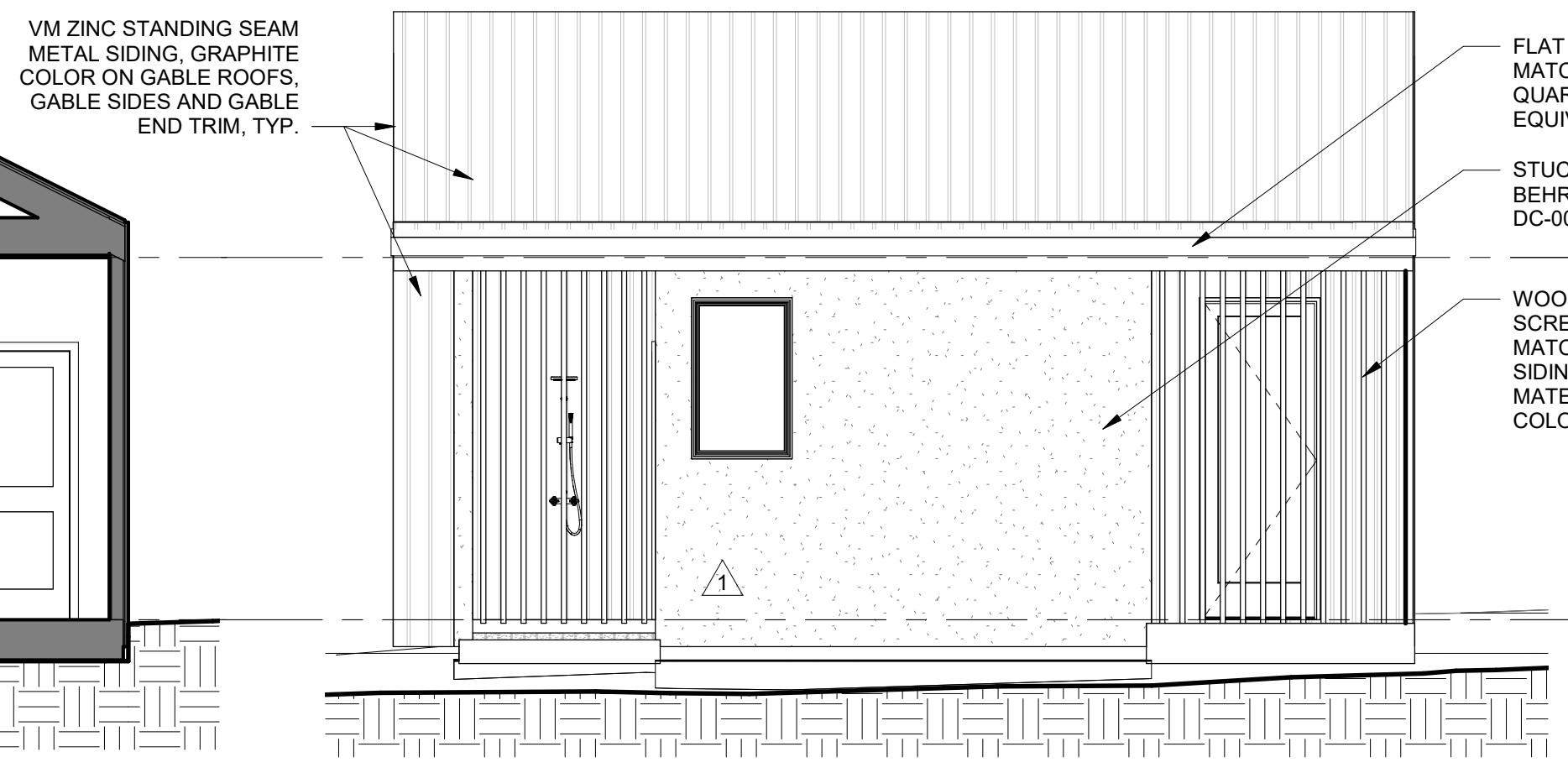
8 PROPOSED GARAGE RIGHT SIDE ELEVATION
 1/4" = 1'-0"



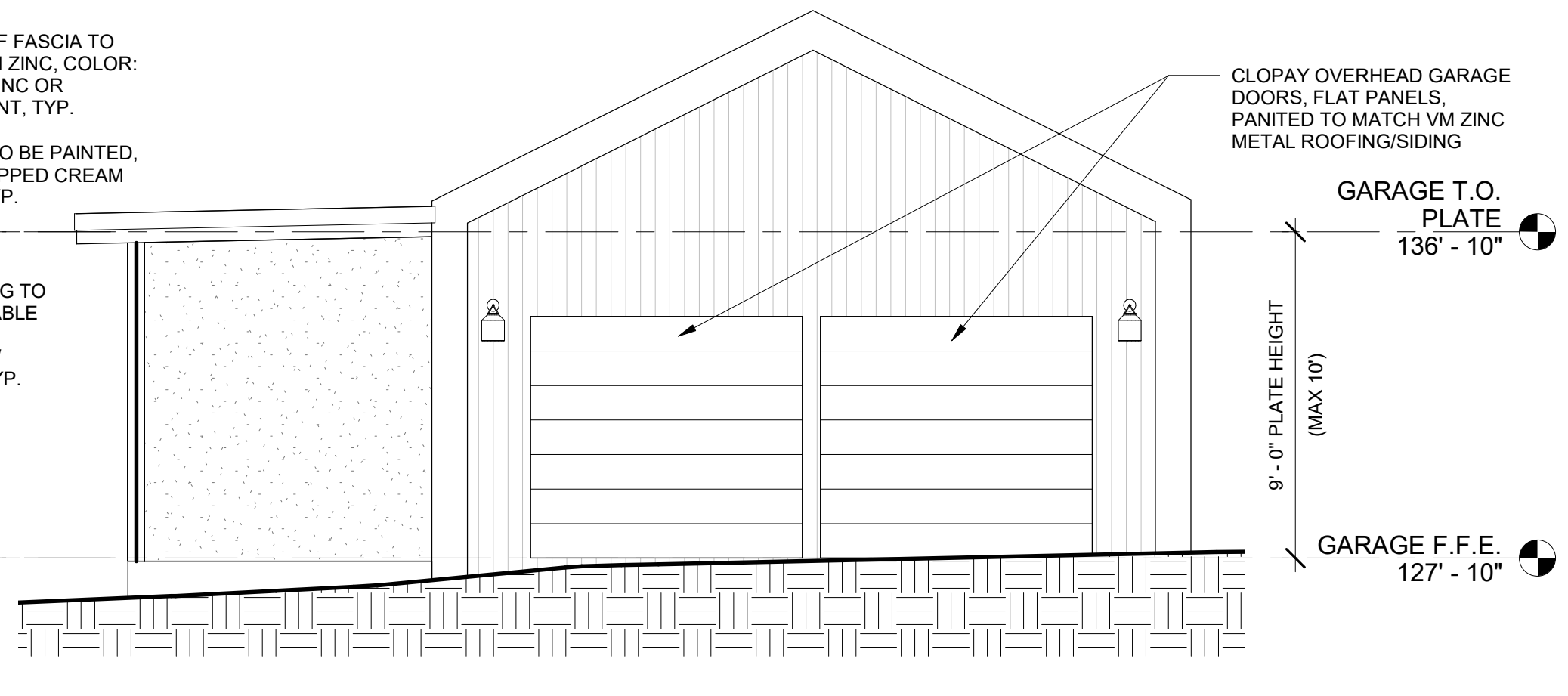
7 PROPOSED GARAGE REAR ELEVATION
 1/4" = 1'-0"



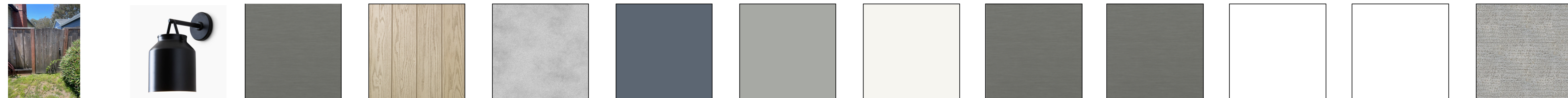
10 GARAGE - LONGITUDINAL SECTION 1
 1/4" = 1'-0"



6 PROPOSED GARAGE LEFT SIDE ELEVATION
 1/4" = 1'-0"



5 PROPOSED GARAGE FRONT ELEVATION
 1/4" = 1'-0"



FENCE/GATE: TO MATCH EXISTING

EXTERIOR SCONCES: 7.5" WEST ELM HENRY OUTDOOR SCONCE, MATTE BLACK (DARK SKY COMPLIANT) OR SIMILAR.

STANDING SEAM METAL ROOF AND WALLS: VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT

COMPOSITE SOFFITS, GABLE BOARD SIDING, RIGHT SIDE PLANTER BOXES & REAR PATIO SIDES: MILLBOARD SHADOW LINE+, COLOR: LIMED OAK, OR EQUIVALENT

PATIOS AND PLANTERS AT FRONT OF HOUSE: NATURAL CONCRETE, SMOOTH

FRONT DOOR PAINT COLOR: ANDES SUMMIT CSP-600

HORIZONTAL SIDING: BEHR FLIPPER PPU25-15

STUCCO WALLS UNDER FLAT ROOF EXPRESSIONS: COLOR BEHR WHIPPED CREAM DC-001

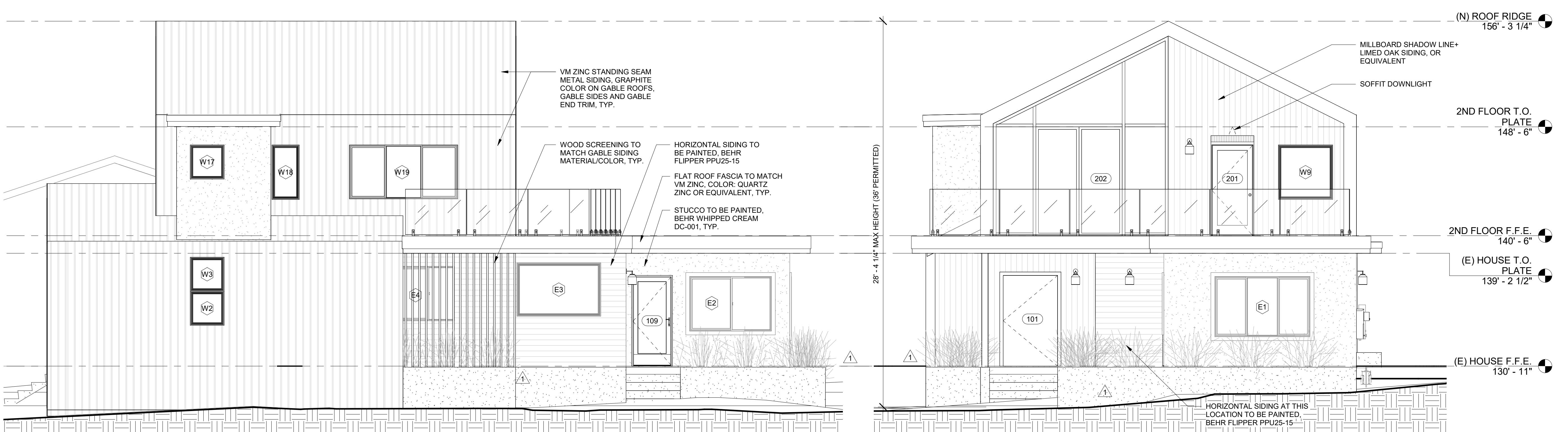
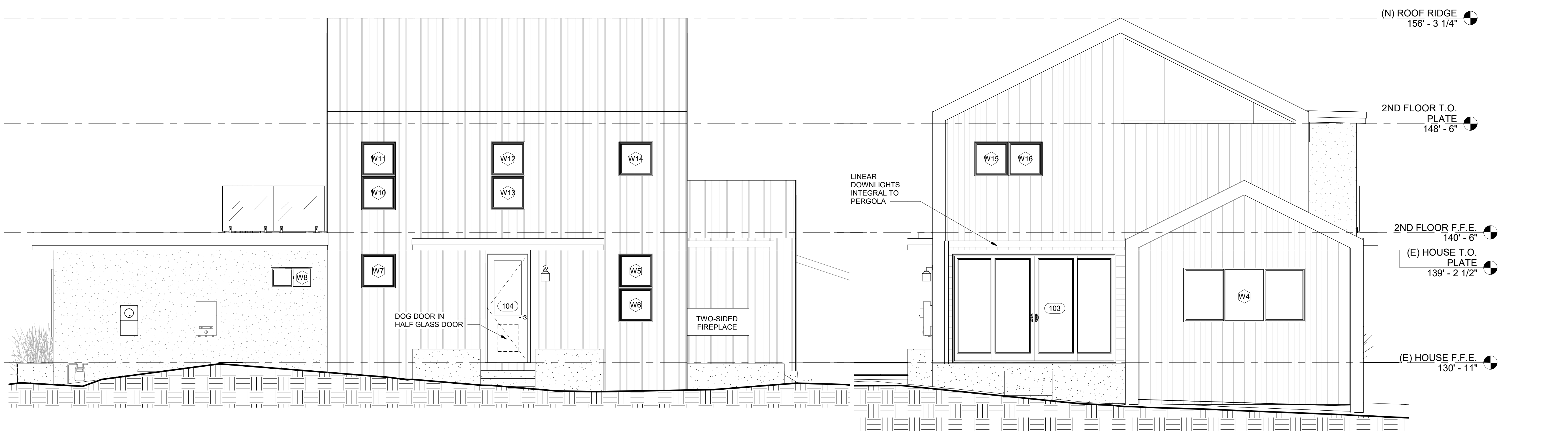
ROOF FASCIA: PAINTED WOOD, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT

WINDOWS & DOORS AT METAL SIDING & COMPOSITE WOOD SIDING: PAINTED, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT

WINDOWS & DOORS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL

TRIM AT WINDOWS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL

DRIVEWAY: BRUSHED CONCRETE, NATURAL

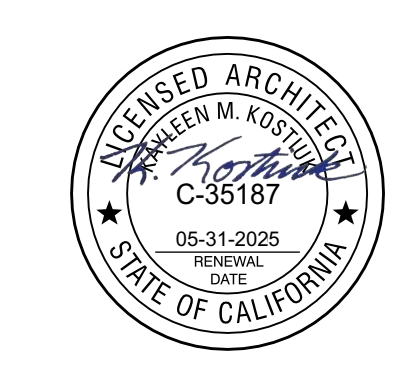


PROJECT DIRECTORY

ARCHITECT
FAT PEN STUDIOS, INC.
 620 AVENUE PORTOLA #522
 EL GRANADA, CA 94018
 650-918-7117
 info@fatpenstudios.com

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 EL GRANADA CA 94018

REVISIONS

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 SCALE: 1/4" = 1'-0"
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CDRC APPLICATION

**PROPOSED HOUSE
EXTERIOR
ELEVATIONS,
MATERIAL
SPECIFICATIONS**

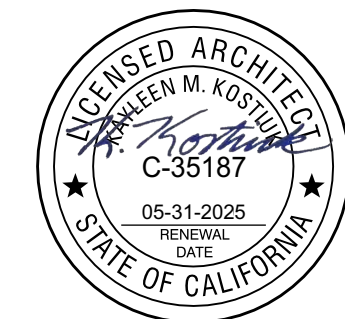
A3.1

PROJECT DIRECTORY

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**AVENUE
 PORTOLA
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 167 AVENUE PORTOLA,
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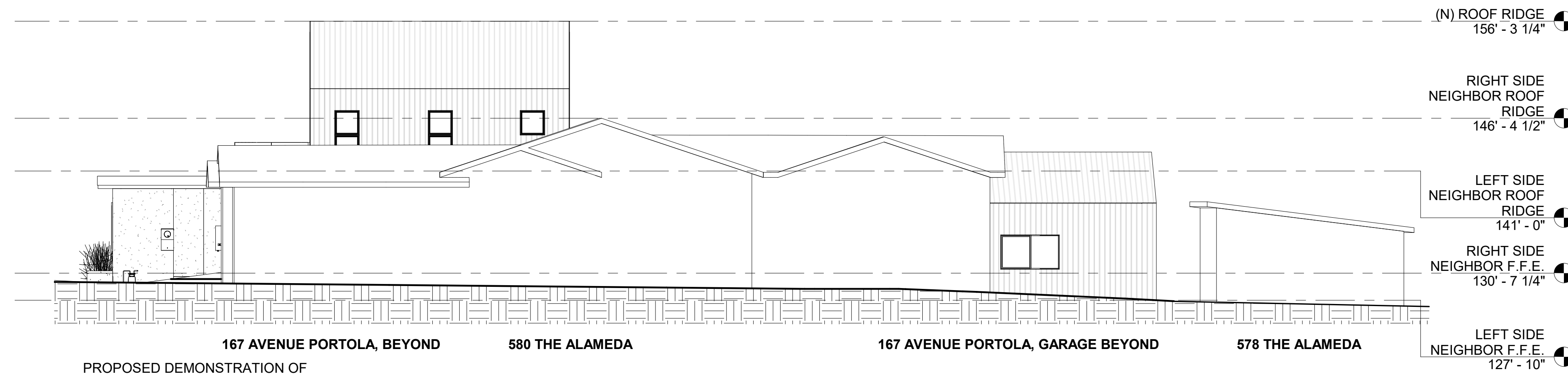
REVISIONS

NO.	DESCRIPTION	DATE
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024

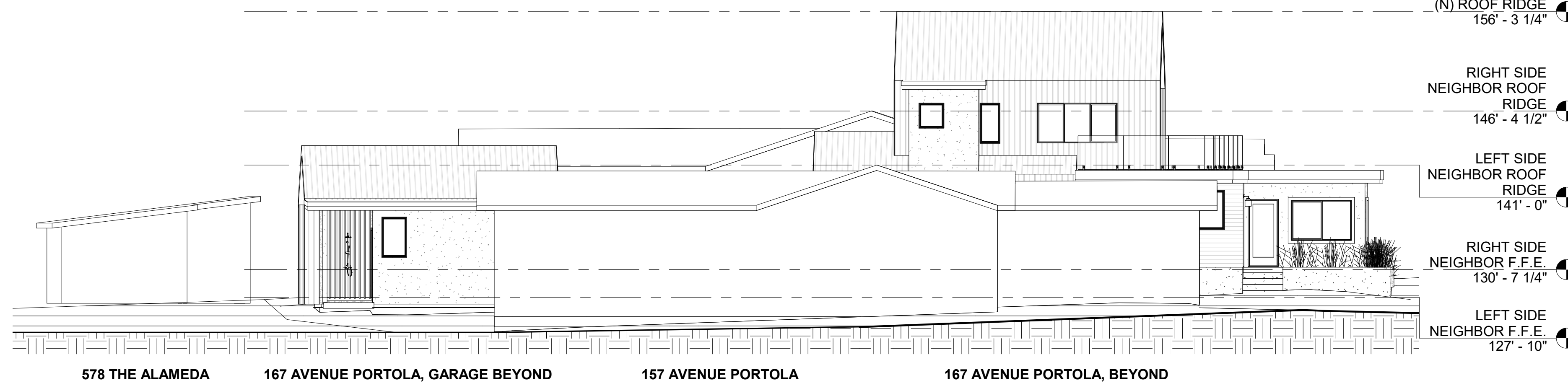
PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/8" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**DEMONSTRATION OF
 SCALE**

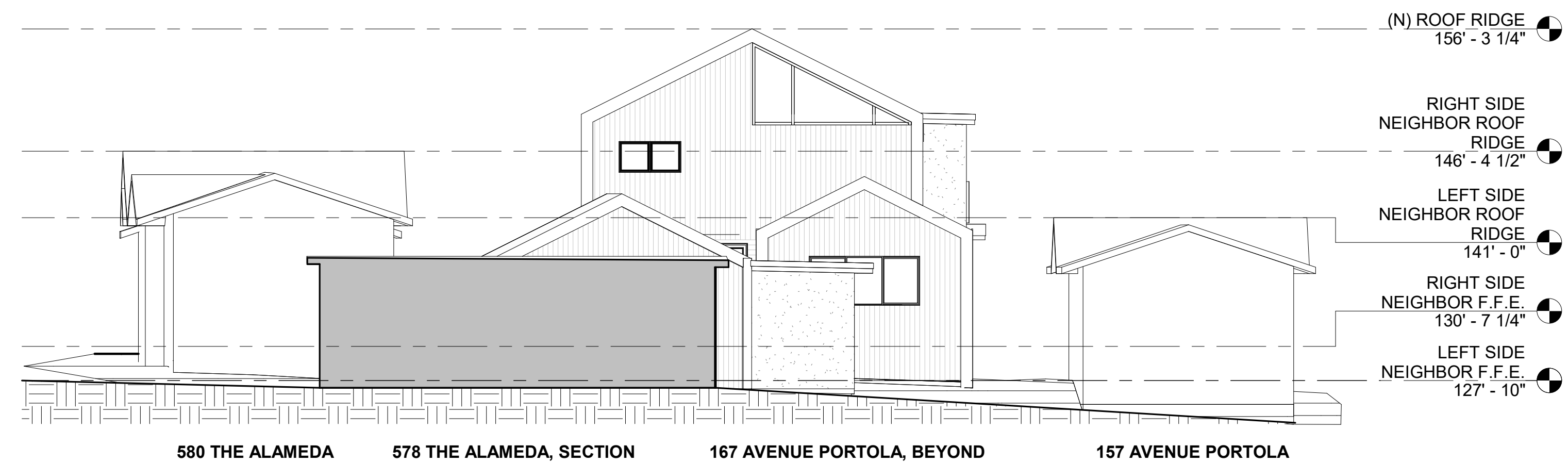
A3.3



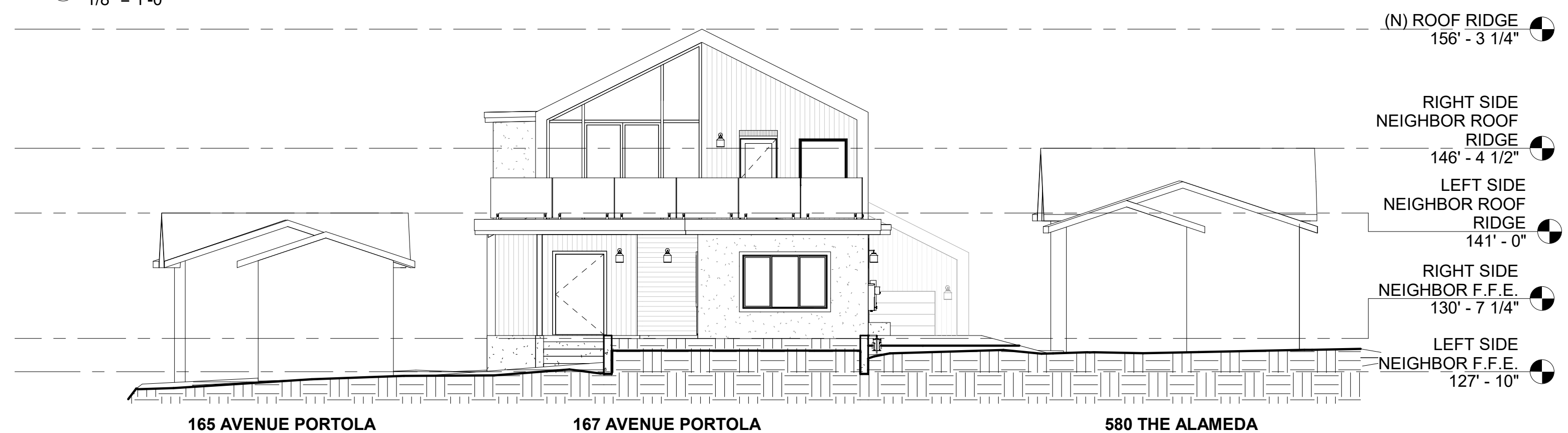
04 PROPOSED DEMONSTRATION OF SCALE - THE ALAMEDA
 1/8" = 1'-0"



03 PROPOSED DEMONSTRATION OF SCALE - LEFT SIDE ELEVATION
 1/8" = 1'-0"



02 PROPOSED DEMONSTRATION OF SCALE - REAR ELEVATION
 1/8" = 1'-0"



01 PROPOSED DEMONSTRATION OF SCALE - AVENUE PORTOLA
 1/8" = 1'-0"



6 THE ALAMEDA PERSPECTIVE - PROPOSED



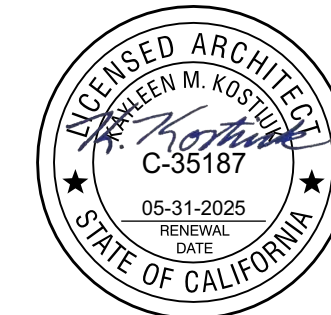
5 THE ALAMEDA PERSPECTIVE - EXISTING

PROJECT DIRECTORY

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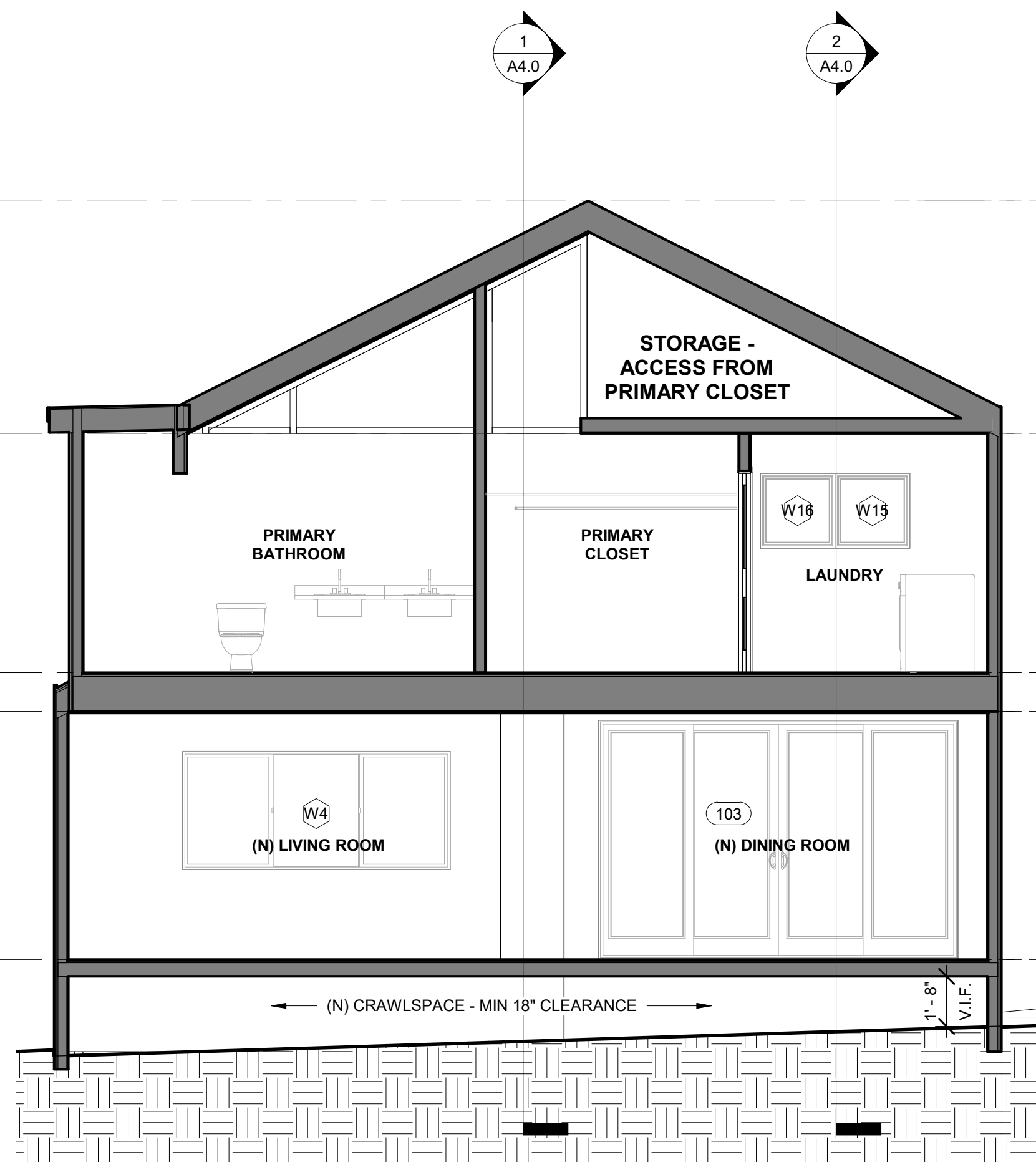
REVISIONS

NO.	DESCRIPTION	DATE

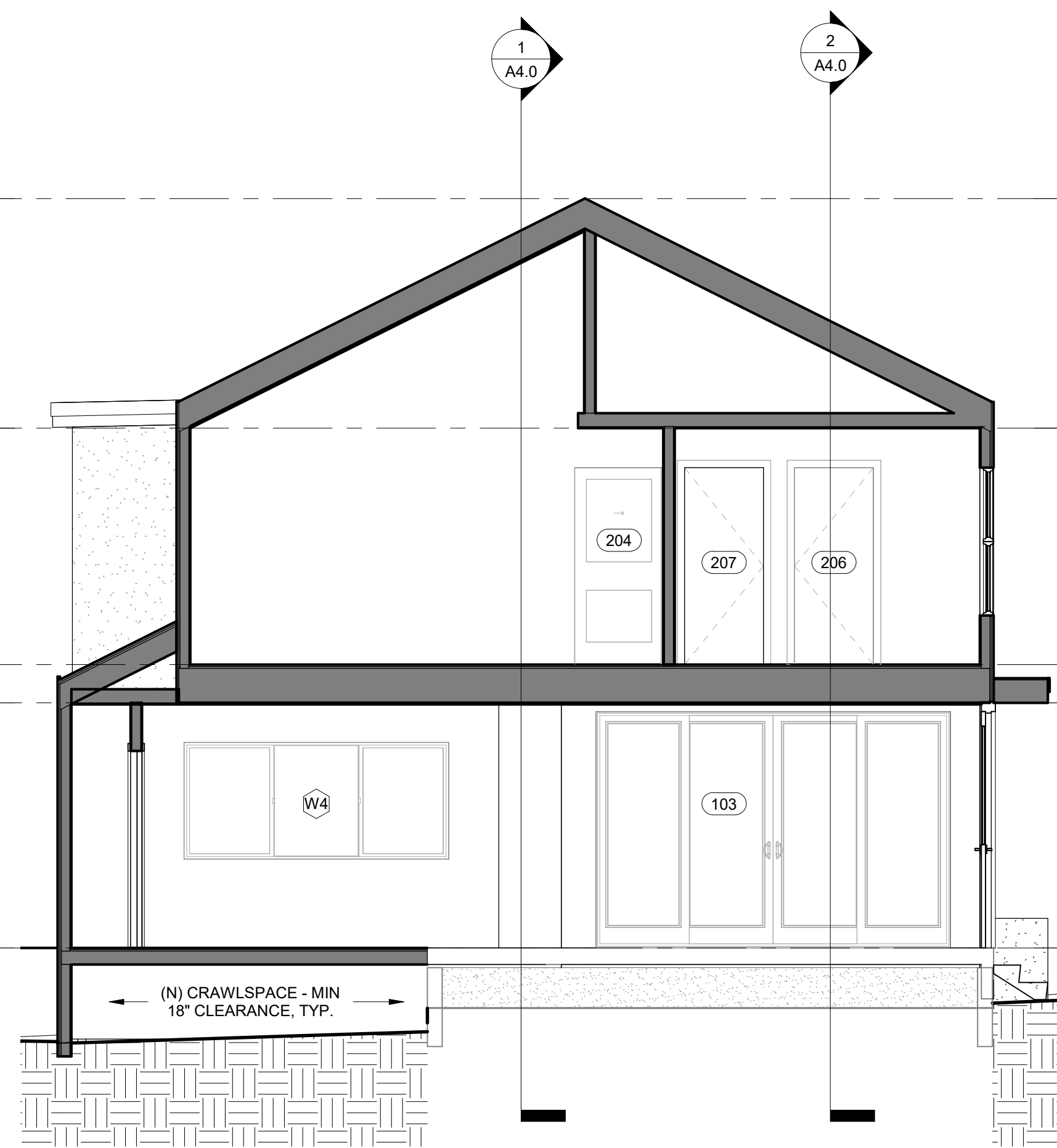
PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/4" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

BUILDING SECTIONS

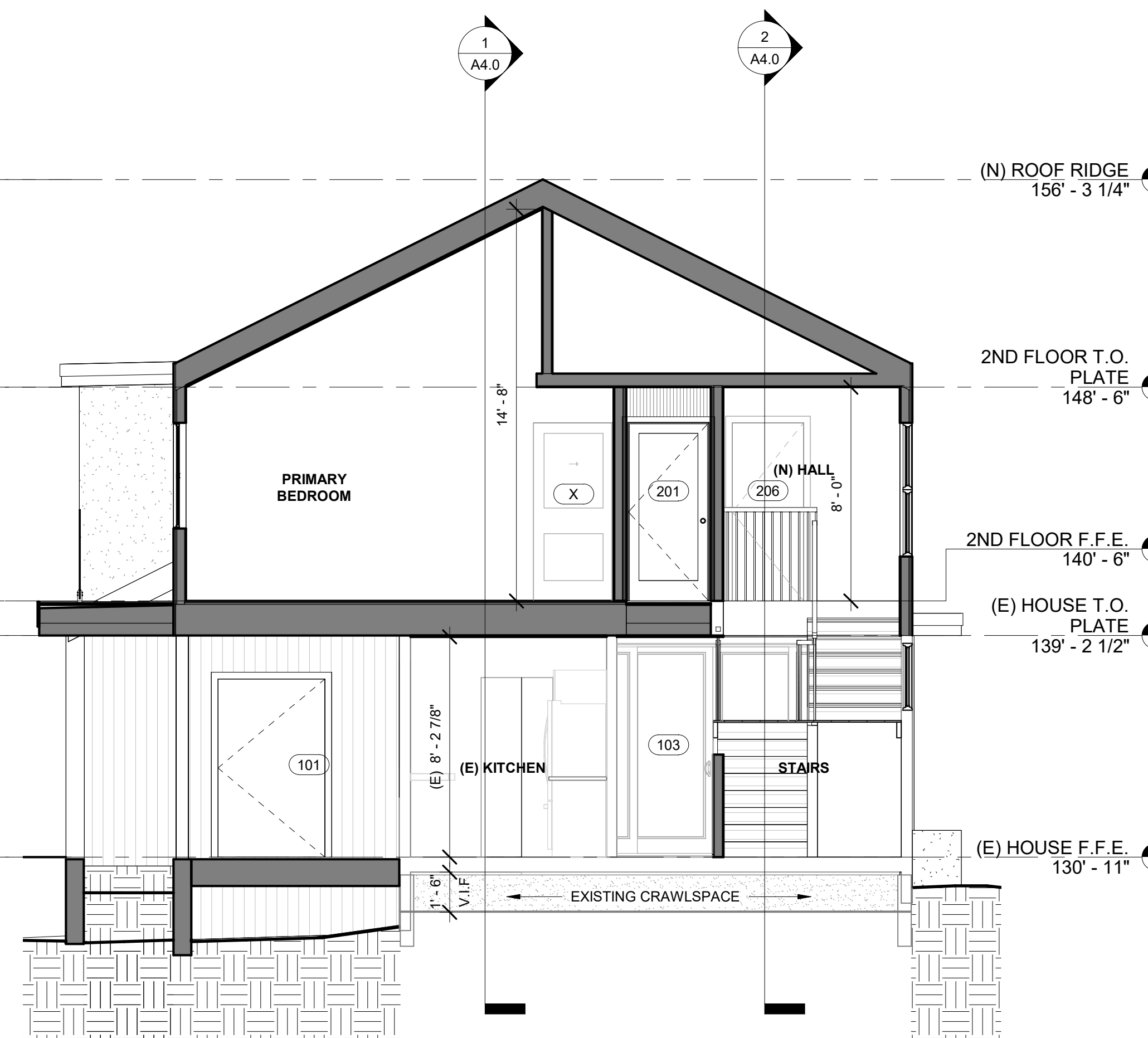
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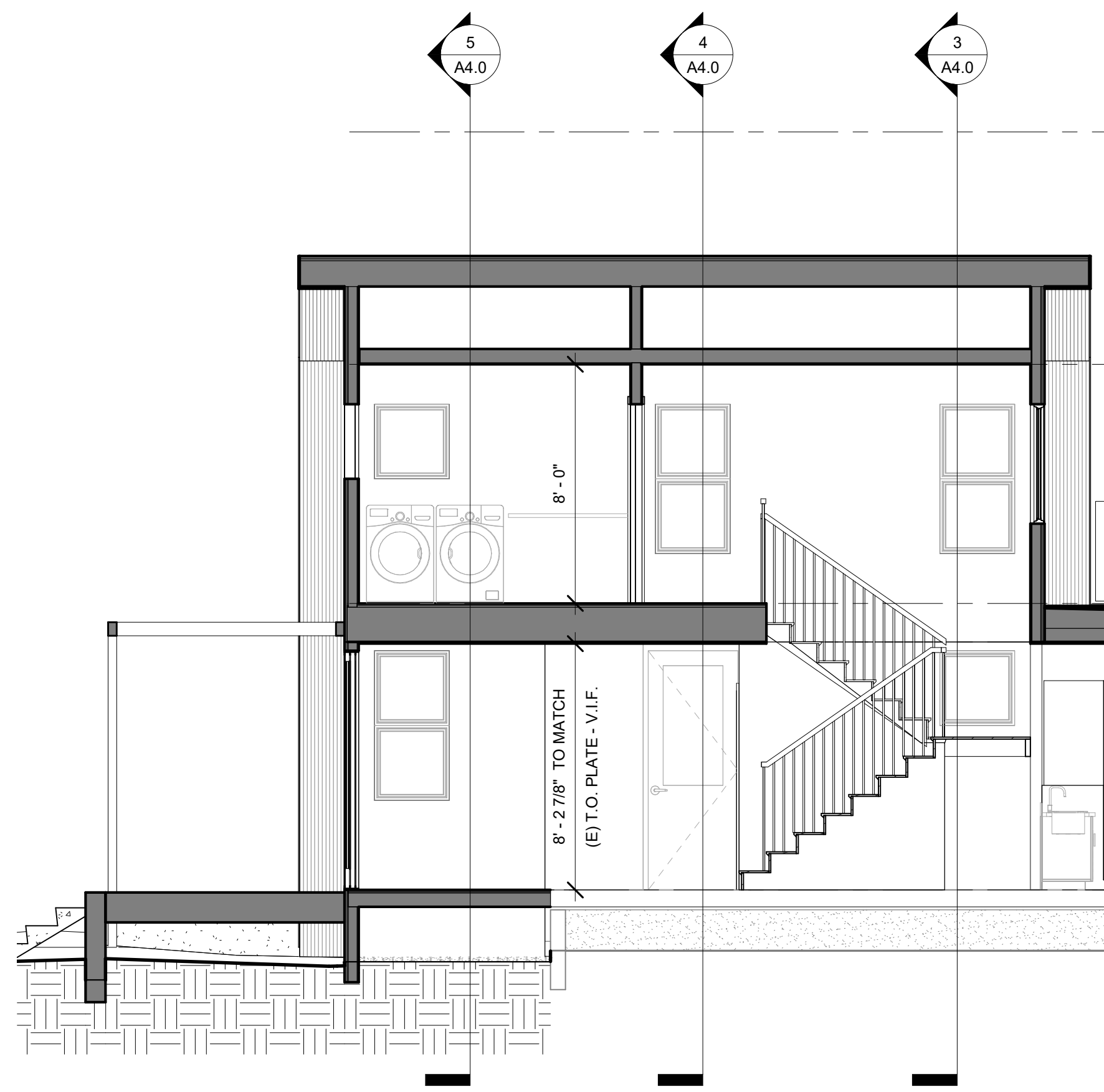
5 HOUSE - CROSS SECTION 3
 1/4" = 1'-0"



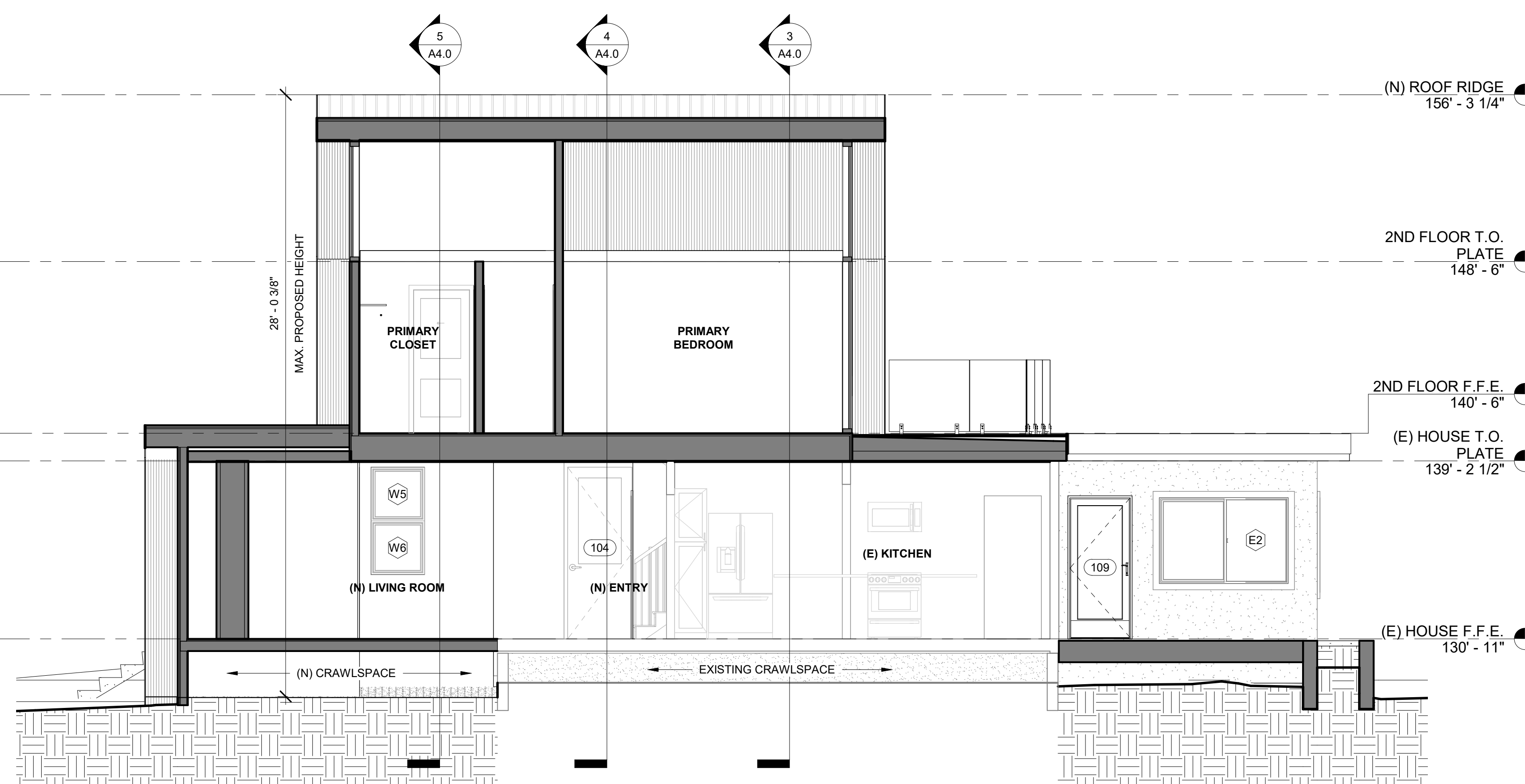
4 HOUSE - CROSS SECTION 2
 1/4" = 1'-0"



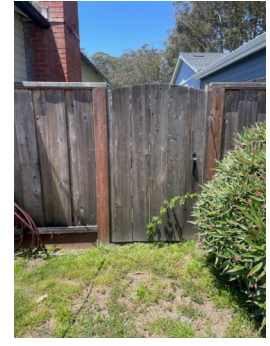
3 HOUSE - CROSS SECTION 1
 1/4" = 1'-0"



2 HOUSE - STAIR SECTION 1
 1/4" = 1'-0"



1 HOUSE - LONGITUDINAL SECTION 1
 1/4" = 1'-0"



FENCE/GATE: TO MATCH EXISTING



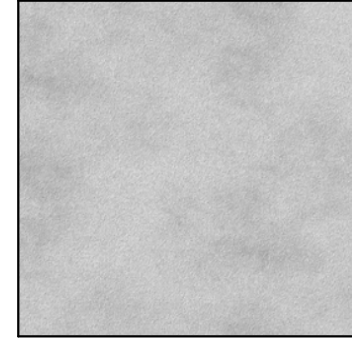
EXTERIOR SCONCES: 7.5" WEST ELM HENRY OUTDOOR SCONCE, MATTE BLACK (DARK SKY COMPLIANT) OR SIMILAR.



STANDING SEAM METAL ROOF AND WALLS: VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



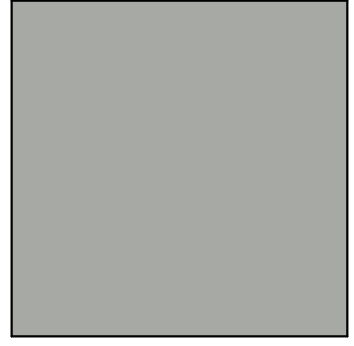
COMPOSITE SOFFITS, GABLE BOARD SIDING, RIGHT SIDE PLANTER BOXES & REAR PATIO SIDES: MILLBOARD SHADOW LINE+, COLOR: LIMED OAK, OR EQUIVALENT



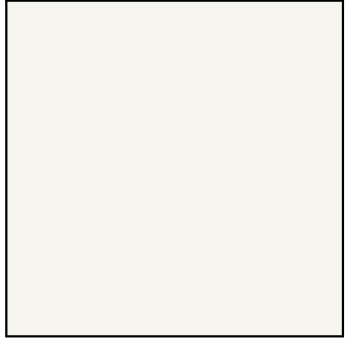
PATIOS AND PLANTERS AT FRONT OF HOUSE: NATURAL CONCRETE, SMOOTH



FRONT DOOR PAINT COLOR: ANDES SUMMIT CSP-600



HORIZONTAL SIDING: BEHR FLIPPER PPU25-15



STUCCO WALLS UNDER FLAT ROOF EXPRESSIONS: COLOR BEHR WHIPPED CREAM DC-001



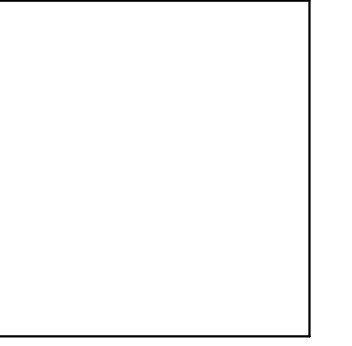
ROOF FASCIA: PAINTED WOOD, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



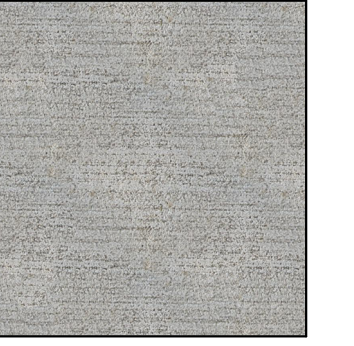
WINDOWS & DOORS AT METAL SIDING & COMPOSITE WOOD SIDING: PAINTED, COLOR TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT



WINDOWS & DOORS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL



TRIM AT WINDOWS AT STUCCO WALLS & KITCHEN WALLS: WHITE VINYL



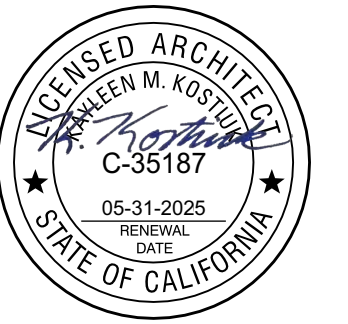
DRIVEWAY: BRUSHED CONCRETE, NATURAL

PROJECT DIRECTORY

ARCHITECT FAT PEN STUDIOS, INC. 620 AVENUE PORTOLA #522 EL GRANADA, CA 94018 650-918-7117 info@fatpenstudios.com

OWNER RILEY & KRISTIN BRADLEY 167 AVENUE PORTOLA EL GRANADA, CA 94018 978-766-0957 kristin.meador@gmail.com Lion.RWC@gmail.com

CIVIL / GEOTECH ENGINEER SIGMA PRIME GEOSCIENCES 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 650-728-3590 sigmaprime@gmail.com



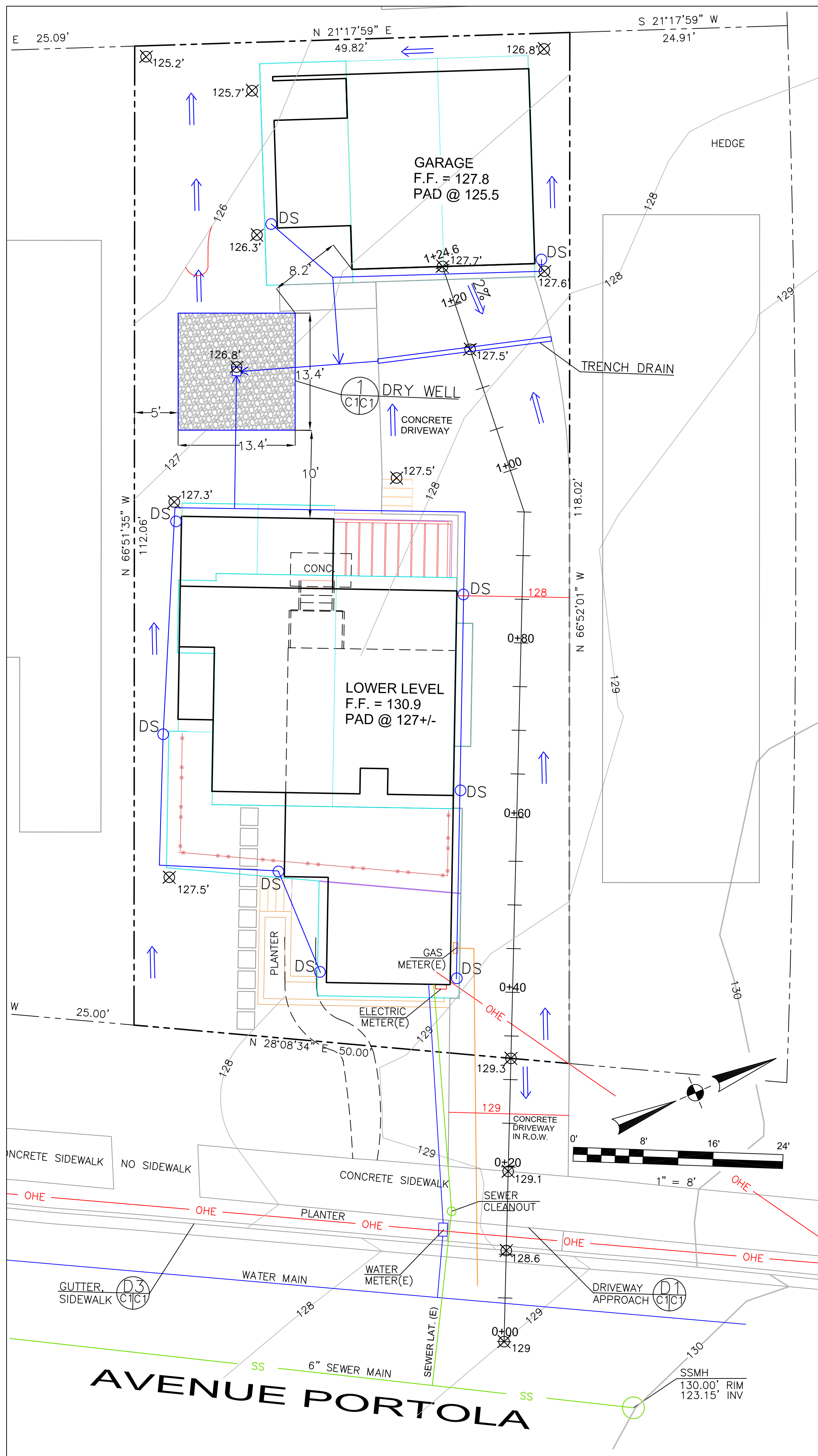
AVENUE PORTOLA RESIDENCE 167 AVENUE PORTOLA, EL GRANADA CA 94018

REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111 ISSUE DATE: 05/03/2024 SCALE: ISSUE STATUS: CDRC APPLICATION

PERSPECTIVE VIEWS



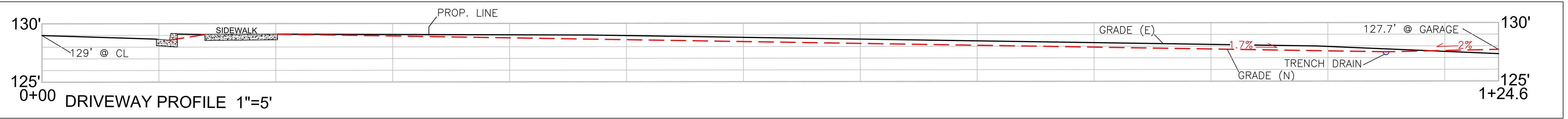
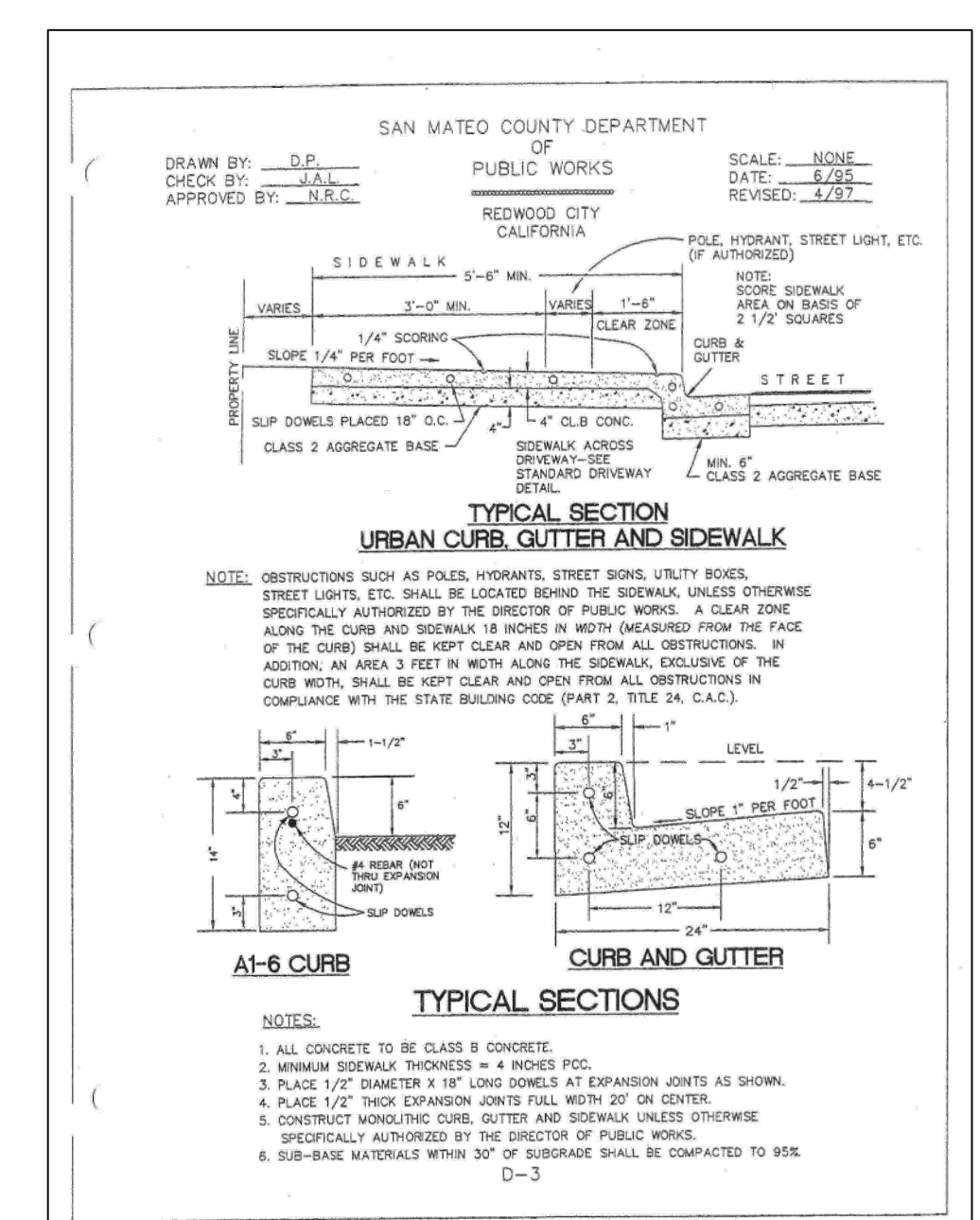
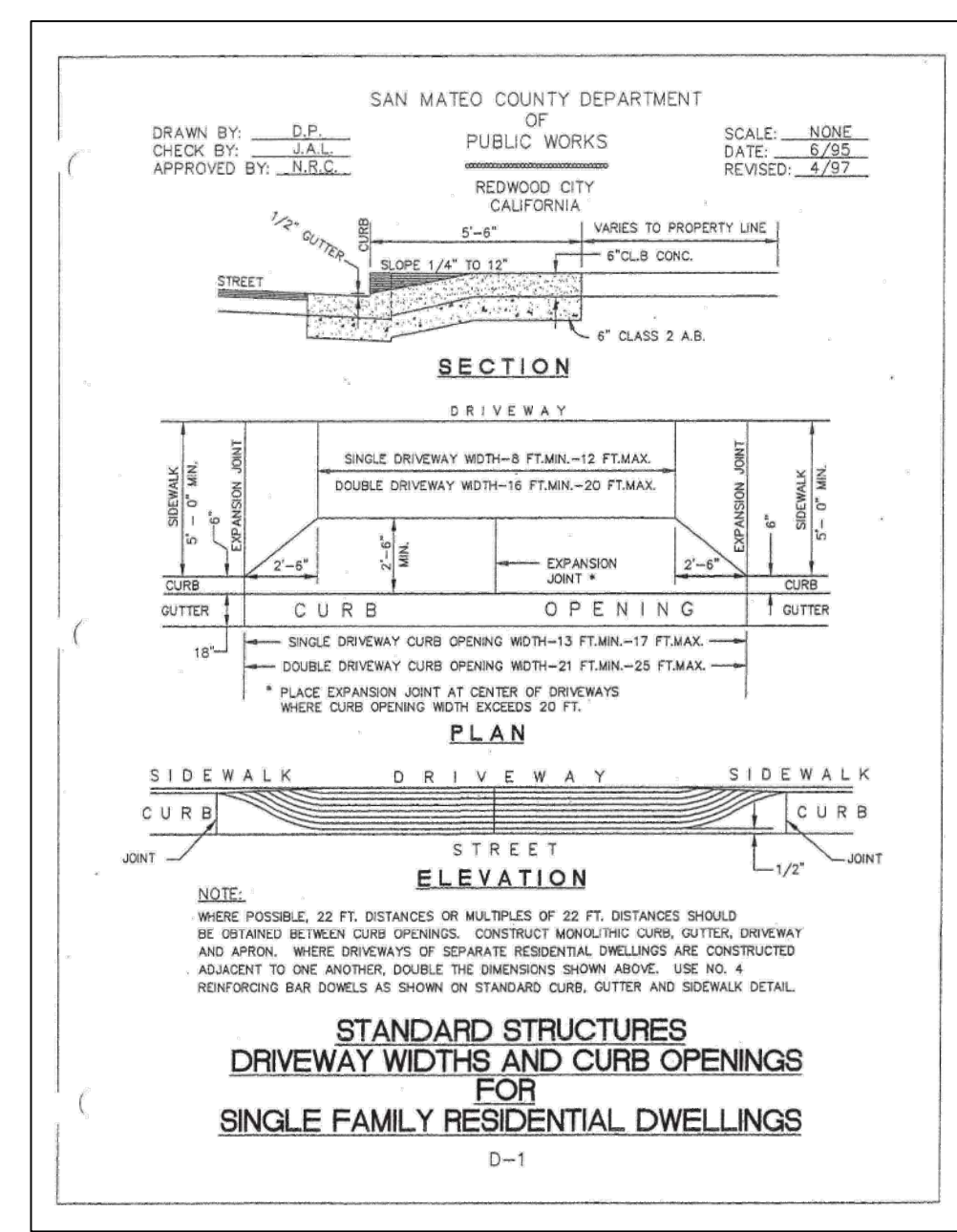
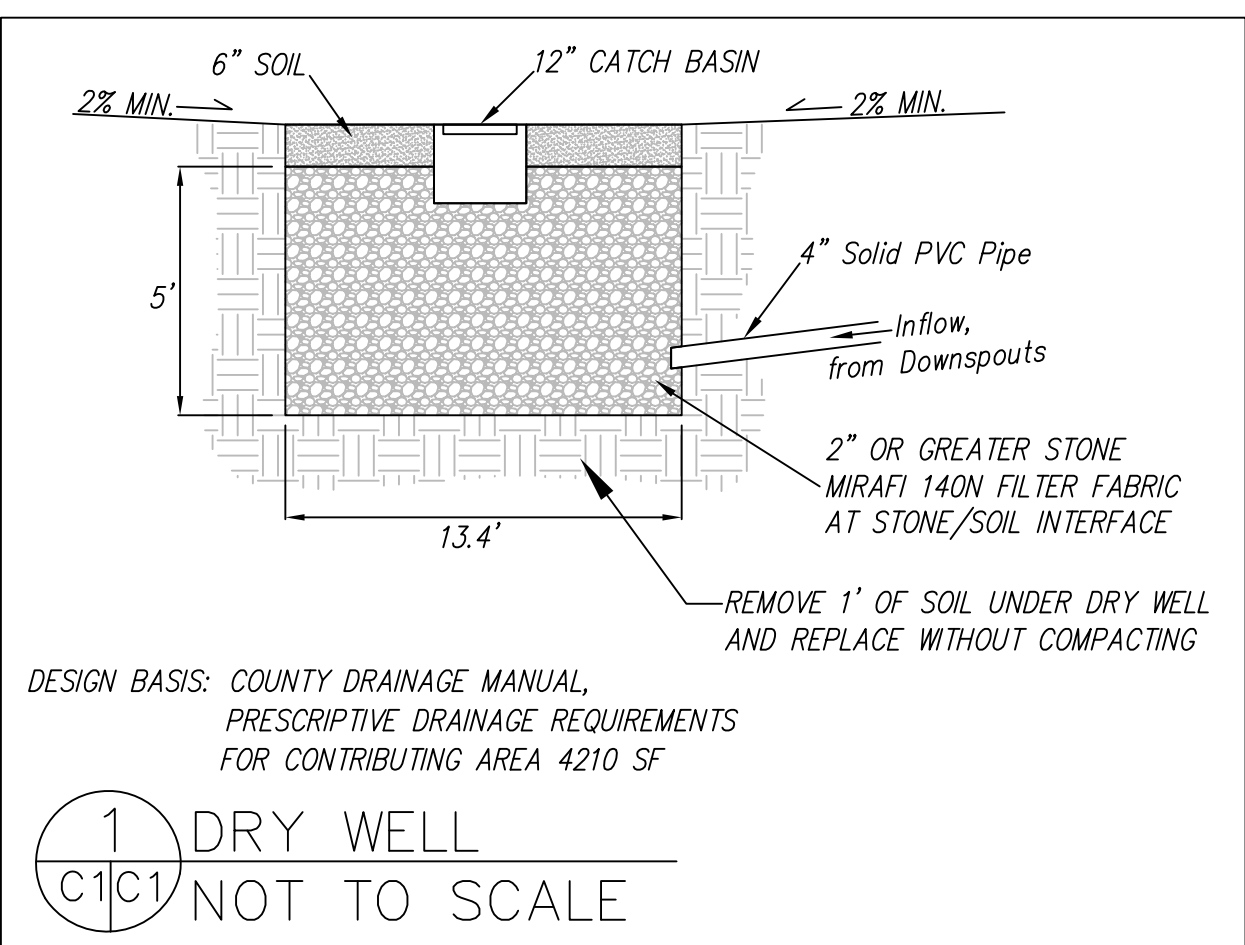
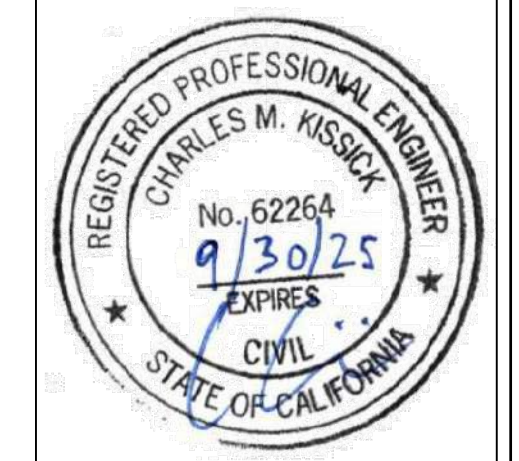
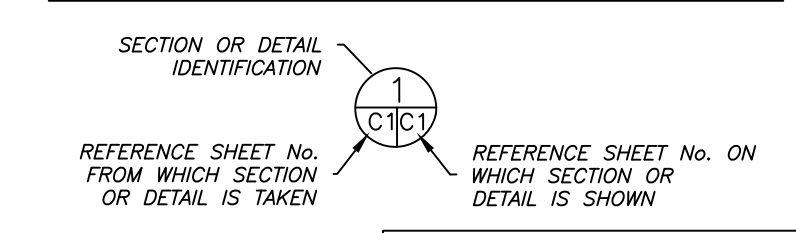
- LEGEND**
- EXISTING CONTOURS
 - DS DOWNSPOUT
 - 4" SOLID DRAIN PIPE
 - DIRECTION OF SURFACE DRAINAGE
 - 127.6' PROPOSED SPOT ELEVATION

- GENERAL NOTES**
- PLANS PREPARED AT THE REQUEST OF:
TARA BENSON, OWNER
 - TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
 - THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATION DATUM NAVD88.

- DRAINAGE NOTES**
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
 - ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
 - ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
 - IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

- GRADING NOTES**
- CUT VOLUME : 105 CY (FOR FOUNDATION, DRYWELL, DRIVEWAY)
 FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN

SHEET C-1

DATE: 4-11-24
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 9/30/25
 REV. DATE: (blank)
 REV. DATE: (blank)

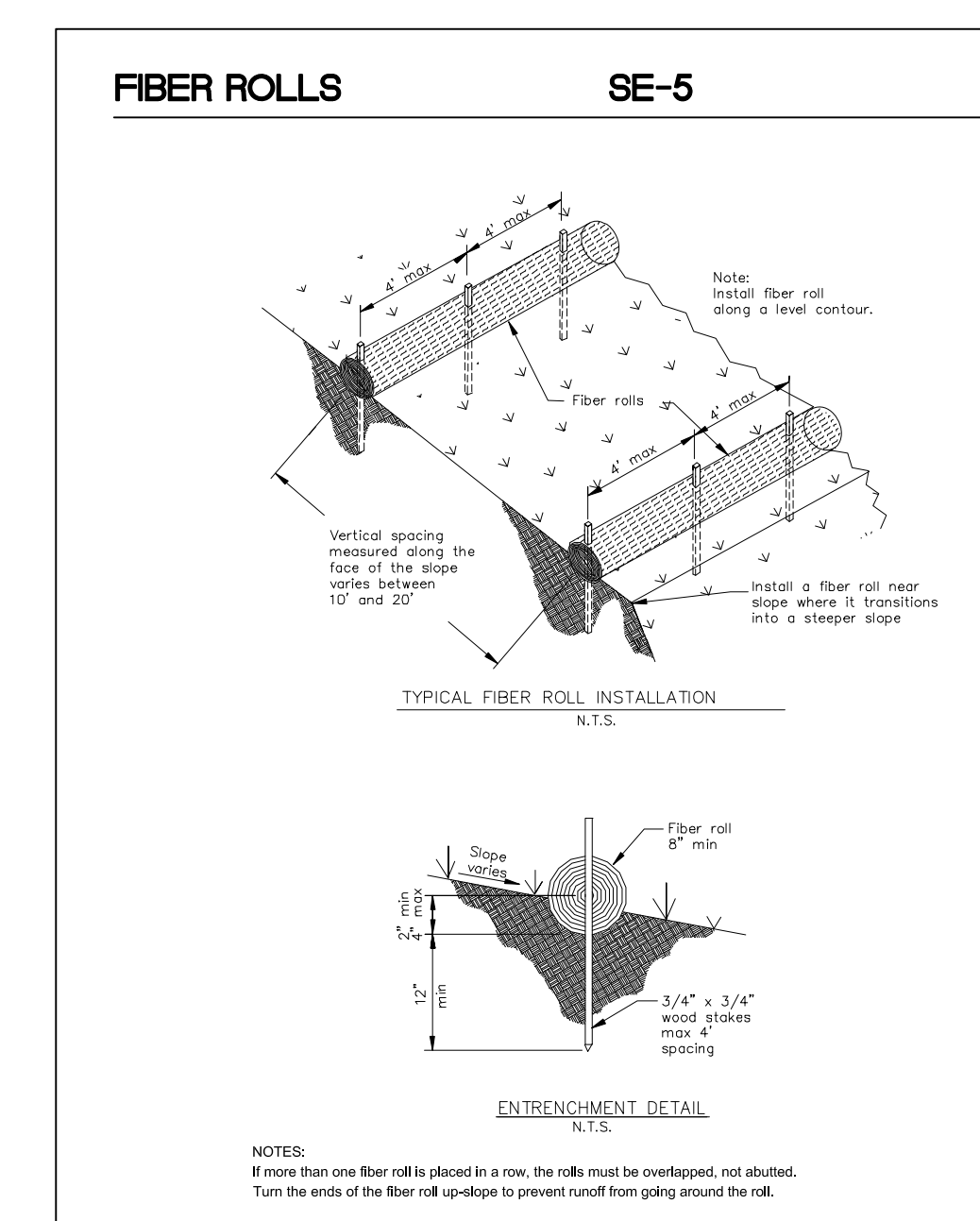
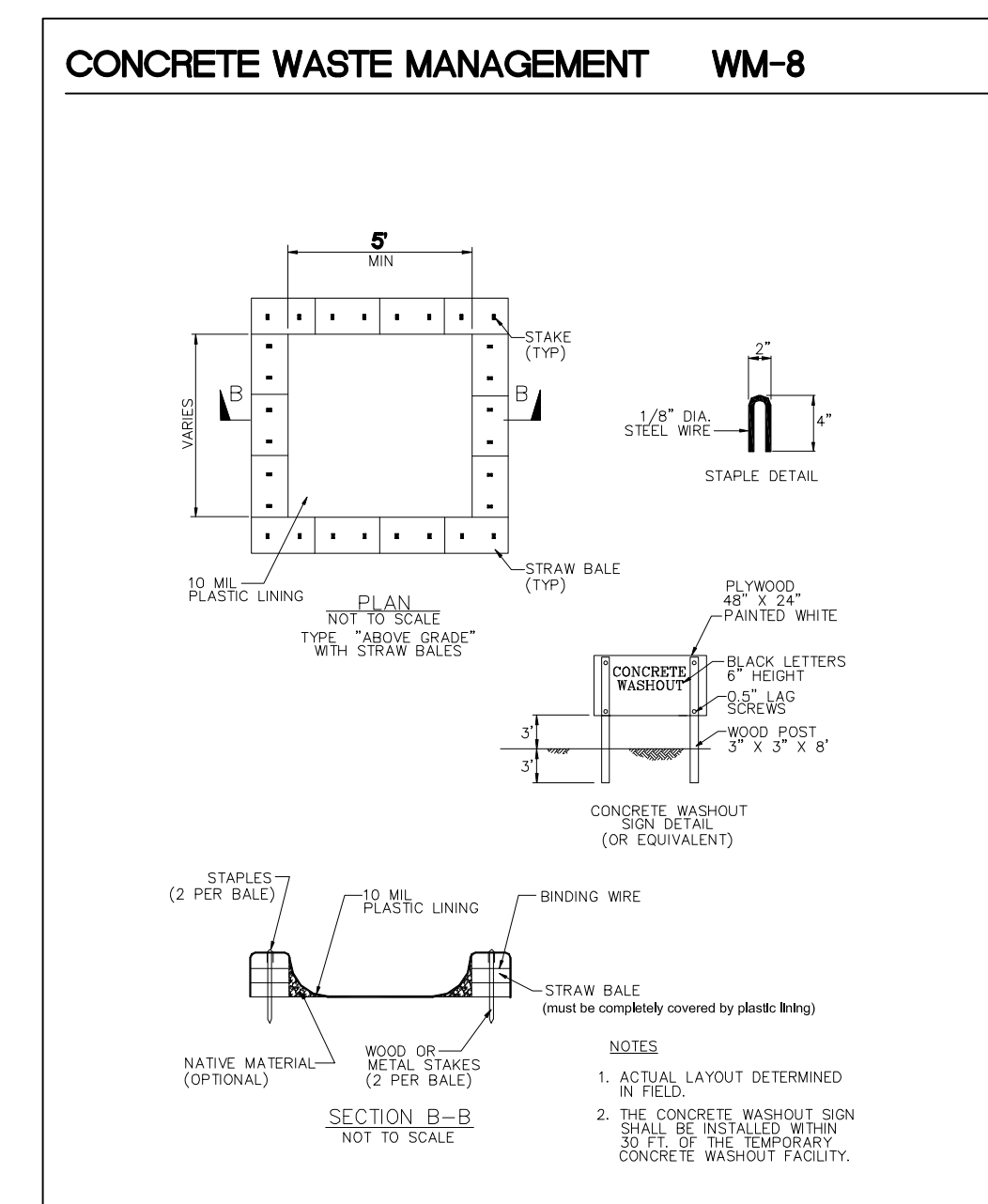
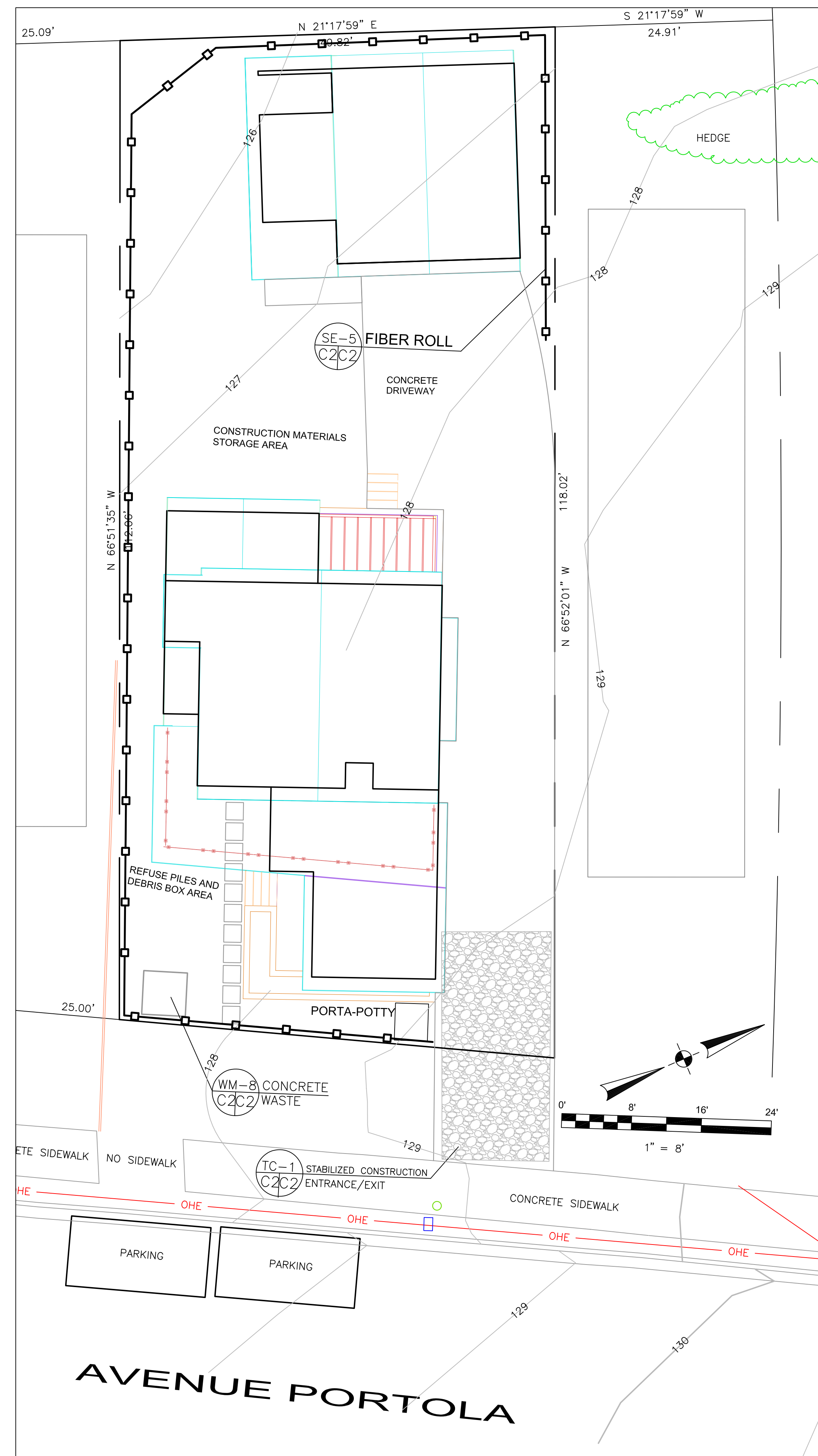
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

BRADLEY PROPERTY PORTOLA
 167 AVENUE PORTOLA
 EL GRANADA

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



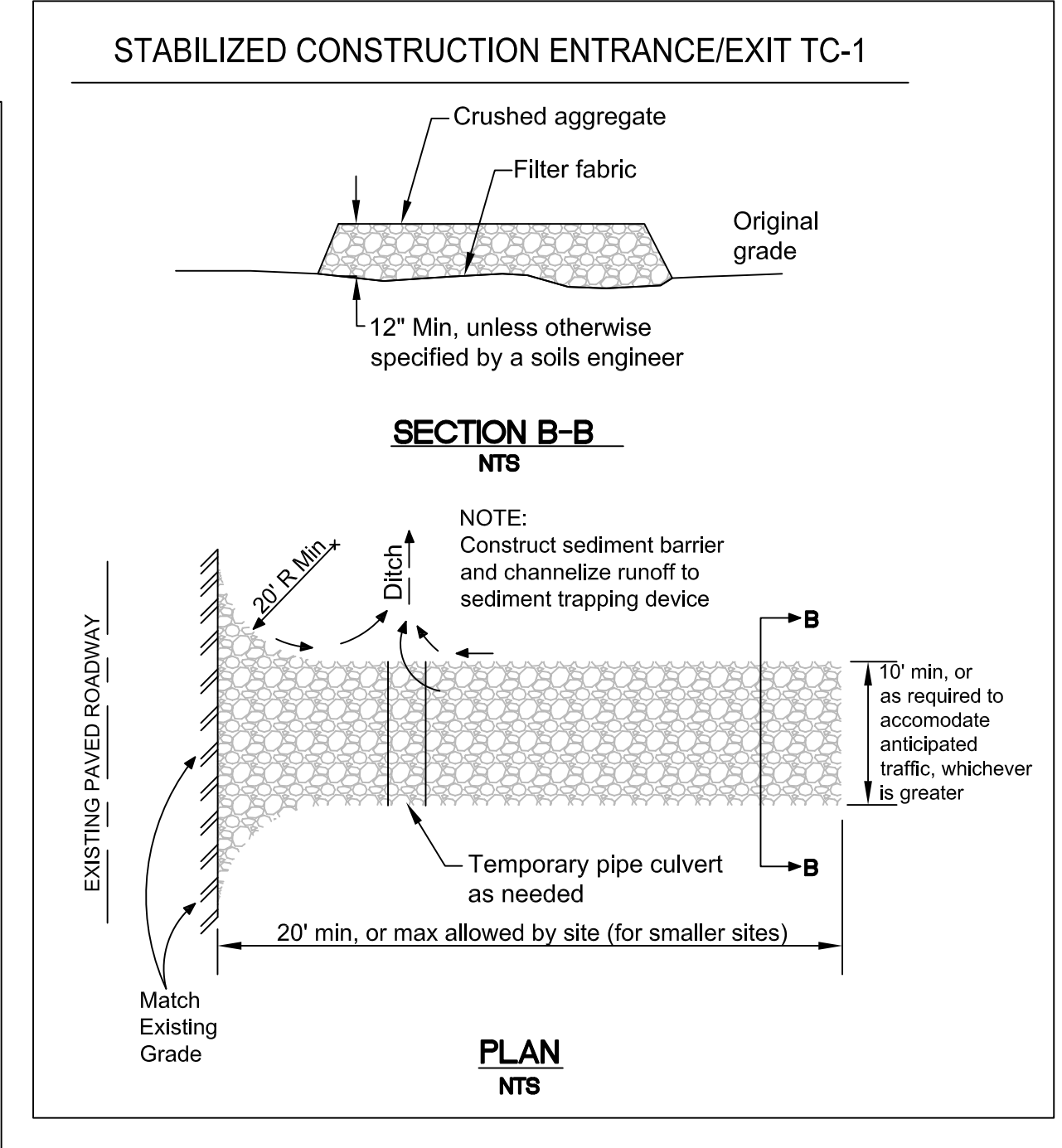
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK
TITLE/QUALIFICATION: ARCHITECT
PHONE: 650-918-7117
PHONE:
E-MAIL: KATIE@FATPENSTUDIOS.COM



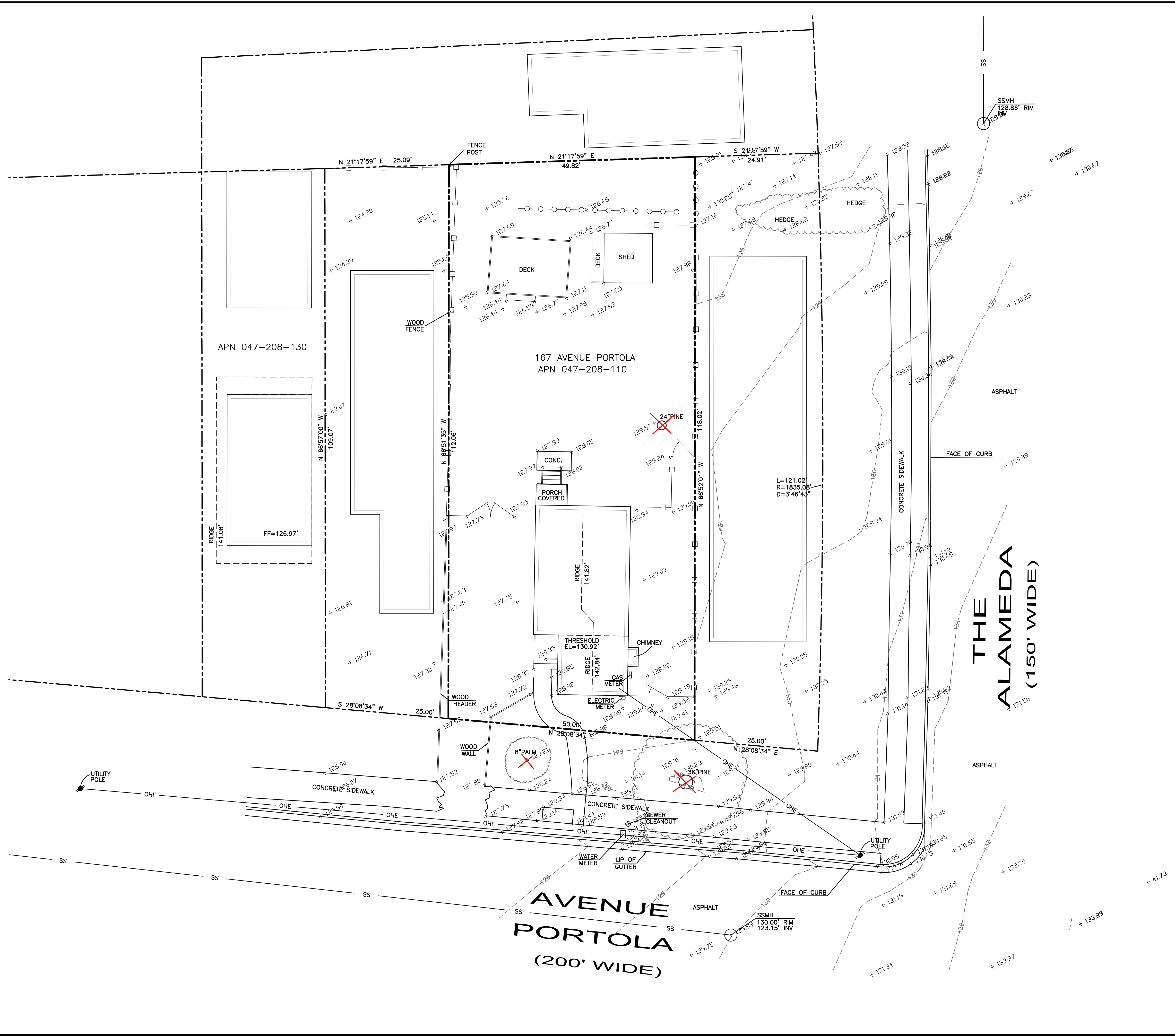
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SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593



DATE: 4-11-24	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
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EROSION AND SEDIMENT CONTROL PLAN
BRADLEY PROPERTY
167 AVENUE PORTOLA
EL GRANADA

SHEET
C-2



APN 047-208-130

167 AVENUE PORTOLA
APN 047-208-110

THE ALAMEDA
(150' WIDE)

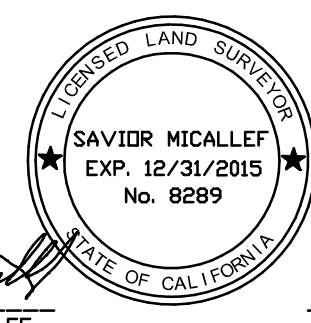
AVENUE PORTOLA
(200' WIDE)

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2022. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO EASEMENTS SHOWN. EASEMENTS OF RECORD MAYBE LISTED IN THE TITLE REPORT.

Saverio Micallef
SAVIR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 708-2423

05-23-22
DATE



NOTE: TREES WITH RED X HAVE BEEN REMOVED SINCE SURVEY WAS COMPLETED

SAVIR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/708-2423

TOPOGRAPHIC SURVEY OF
167 AVENUE PORTOLA
CITY OF EL GRANADA SAN MATEO COUNTY CALIFORNIA

Revisions	
No.	
Date	05-23-22
Scale	1"=20'
Design	SPM
Drawn	SPM
Approved	SPM
Job No.	
Drawing Number:	

