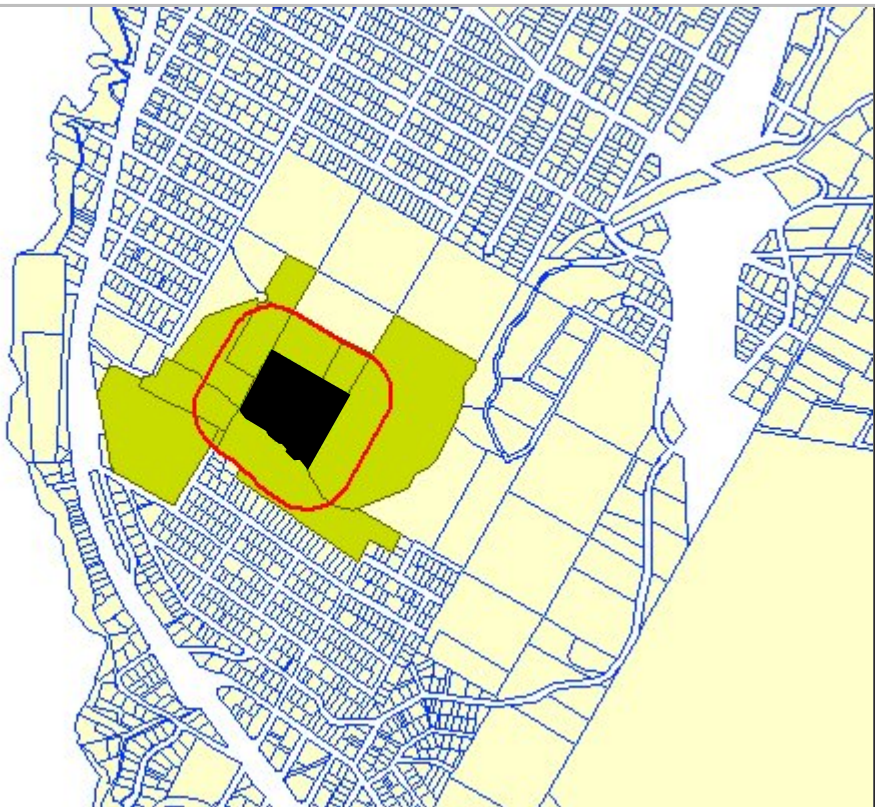


SELECTED PROPERTY

Situs: 1455 Audubon Avenue, Montara

Owner: Bewley Sirje M Tr, P O Box 370453, Montara, CA, 94037-

APN: 036310180



Planning Permit Application Form

Permit Numbers

Primary:

PLN

2010-00079

BLD

Applicant/Owner Information

Applicant: ~~Sirje Bewley~~ Henri Mannik

Mailing Address: ~~P.O. BOX-370453-Montara, CA~~ *see Attached

Zip: 94037

Phone, W: H: 650-728-3188

FAX:

Name of Owner (1): Sirje Bewley

Mailing Address: P.O. BOX 370453, Montara, CA

Zip: 94037

Phone, W:

H: 650-728-3188

Name of Owner (2):

Mailing Address:

Zip:

Phone, W:

H:

Project Information

Project Location (address):

Audubon Ave.
Montara, CA 94037

Assessor's Parcel Numbers:

036 — 310 — 180

Zoning: P.A.D. - C.D.

Parcel/lot size: 8.199 acres

List all elements of proposed project: Please see attached supplement.

List any other permits or approvals already obtained for this project (include date, agency and application/permit numbers):
None.

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

March 15, 2010

Owner's signature:

Applicant's signature:

Planning and Building Division

San Mateo County Planning and Building Division
455 County Center • Second Floor • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX • 650 • 363 • 4849

**Application for a
Planned Agricultural
District Permit**

Companion Page

Applicant's Name: Sirje Bewley Mannik

Primary Permit #: PUN2010-00079

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Planned Agricultural District Permit.

You must also submit:

- ◆ All items indicated on the checklist found on the reverse side of the Planning Permit Application Form.
- ◆ A brief written statement presenting evidence which demonstrates that the project will comply with the

Substantive Criteria for Issuance of a Planned Agricultural Permit.

- ◆ Agricultural Land management Plan for parcels 20 acres or more (See Zoning Regulations 6361C).
- ◆ Master Land Division Plan (for land divisions only; see Zoning Regulations Section 6361A). The plan should show how the parcel will be divided and which parcels will be used for agricultural and non-agricultural uses.

2. Project Information

Parcel/Lot Size: 8.199 acres

Density analysis credits: 1

Density analysis file number:

Application for:

- land division
- land conversion
- lot line adjustment

Prime soils: None acres

Current land use and existing structures:

Vacant lot with no existing structures

Water consumption data associated with proposed land use:
Standard domestic use with water conserving fixtures and appliances.

Assume 60 gallons per bedroom maximum per day: 240 gal per day.
Actual daily domestic use may be 60 to 180 gallons per day.

3. Approval Considerations

To approve this application, the County must find that this project complies with all provisions of the Planned Agricultural District and other applicable regulations. You are strongly encouraged to familiarize yourself with the Planned Agricultural District regulations which are available from the

zoning counter. Of particular importance are the Substantive Criteria for Issuance of a Planned Agricultural Permit, set forth in Section 6355 of the Planned Agricultural District regulations.

Application for a Grading Permit

Land Clearing Companion Page

Grading

Applicant's Name: Sirje-Bewley Mannik

Primary Permit #: PLN 2010-00079

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information - Land Clearing

Land Clearing Operator

Name: _____

Address: _____

Zip: _____

Phone: _____

License #: _____

◆ Area to be cleared: _____ sq. ft.

◆ Average slope of area to be cleared: _____

◆ Type of vegetation to be removed: _____

◆ Disposal Site: _____

◆ Purpose of removal: _____

3. Land Clearing Plan Requirements

The land clearing plans must show:

- (1) Property lines.
- (2) Location of area to be cleared.
- (3) Existing structures
- (4) Erosion control measures.

4. Basic Information - Grading

Grading Operator

Name: _____

Address: _____

Zip: _____

Phone: _____

License #: _____

Geotechnical Consultant

Name: Joel Baldwin, Earth Investigations

Address: P.O. Box 795
Pacifica, CA

Zip: 94044

Phone: 650-557-0262

License #: C. 34386

Civil Engineer

Name: Sherwood Design Engineers
Address: One Union Street
San Francisco, CA
Zip: 94111
Phone: 415-677-7300
License #:

♦ Engineer's estimate of the quantity of materials to be moved:

cut:	917	cubic yards
fill:	1189	cubic yards
Depth of cut:	Varies	4 ft.
Depth of fill:	Varies	8 ft.

♦ Haul site:

♦ Purpose of grading:
Road and patio grading

♦ List Assessor's parcel numbers of any adjacent property owned by the owner or applicant, now or in the past:

5. Grading Plan Requirements

The grading plans, 24"x36", prepared and signed by a civil engineer shall contain the following:

- (1) All of the proposed uses for which the proposed grading is necessary.
- (2) Boundary lines of the site.
- (3) If there is a proposed subdivision, each lot or parcel of land into which the site is proposed to be divided.
- (4) The location of any existing buildings, structures, easements or underground utilities on the property where the work is to be performed and the location of any buildings or structures on adjacent land within 50 feet of the proposed work.
- (5) Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site.
- (6) Elevations, locations, extent and slope of all proposed final grading shown by contours. Location of any rock disposal areas, buttress fills, subdrains, or other special features to be included in the work.
- (7) A statement of the quantities of material to be excavated and/or filled and the amount of such material to be imported to, or exported from, the site.

- (8) Location and nature of known or suspected soil or geologic hazard areas.
- (9) Specifications, cross-sections, profiles, elevations, dimensions and construction details based on accurate field data.
- (10) Construction details for roads, watercourses, culverts, bridges and drainage devices, retaining walls, gabion walls, cribbing, dams, and other improvements existing or to be constructed, together with supporting calculations and maps.
- (11) Approximate boundaries of any areas with a history of flooding.
- (12) Location, width, direction or flow and approximate location of top and toes of banks or any watercourse.
- (13) General location and character of vegetation covering the site, including all trees proposed to be removed and all trees 12" dbh within 20 feet of the area to be disturbed.
- (14) Name and registration number of the registered California civil engineer under whose direction the grading plan is prepared.

Planning and Building Division

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650-363-4161 • FAX 650-363-4849

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Sirje Bewley

Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Certificate of Exemption or Exclusion from Requirement for Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Lime Plaster	Off-white: Bone	<input type="checkbox"/>
b. Trim	Redwood trim and siding	Dark Brown Stain	<input type="checkbox"/>
c. Roof	Composition Shingle	Black, Architectural	<input type="checkbox"/>
d. Chimneys	Lime Plaster	Off-white: Bone	<input type="checkbox"/>
e. Accessory Buildings	Lime Plaster and Vertical Redwood	To match main building	<input type="checkbox"/>
f. Decks/Stairs	Stucco over concrete masonry	Off-white: Bone	<input type="checkbox"/>
g. Retaining Walls	Stucco & Stone over concrete masonry	Off-white stucco.	<input type="checkbox"/>
h. Fences	Wire Mesh or Stucco over concrete masonry	Off-white: Bone	<input type="checkbox"/>
i. Storage Tanks	Steel with earth berms	Berms with living vegetation	<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

Please see attached supplement for explanations.

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

- B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).
 Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: 

Environmental Information Disclosure Form

Planning and Building Department

PLN 2010-00079
BLD _____

Project Address:
Audubon Ave
Montara, CA 94037

Assessor's Parcel No.: 036 — 310 — 180

Zoning District: P.A.D. - C.D.

Name of Owner: Sirje Bewley
Address: P.O. BOX 370453, Montara, CA, 94037
Phone: 650-728-3188

Name of Applicant: Sirje Bewley Mannik
Address: _____
Phone: 650-728-3188

Existing Site Conditions

Parcel size: 8.199 acres

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

The property was used for horse paddocks, and there are no existing structures on the property.

The site consists of gently sloping grasslands on the North side of the lot with a ravine on the South side along Montara Creek. The Southwest corner has a pine grove while the center has coastal chaparral.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed?
X		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>917</u> c.y. Fill: <u>1,189</u> c.y. — <u>2,106cy total</u>
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Excavation for lower level of residence, lower driveway fill, excavation and fill for berm and swale.

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	X	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
X		e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?
<p>Please explain any "Yes" answers:</p> <p style="text-align: center;">There will be grading for the construction of the residence, approach road and site drainage.</p>		

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	X	<p>a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
Yes. 1.20 acre approx.		<p>b. Land disturbance of 1 acre or more of area?</p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Life Bowley
(Applicant may sign)

Date: March 15, 2010

BEWLEY RESIDENCE

Audubon Ave.
Montara, CA 94037
A.P.N. 036-310-180

Architect

HM,a+e

Henri Mannik,
Architecture and Engineering

5429 Telegraph Ave.
Oakland, CA 94609
510 652 1511 p
510 601 7196 f

Consultant

Stamp

Printing Date

Planning Permit	03.18.2010
Coordination	09.12.2011
Planning	09.13.2011
Coordination	10.05.2011
Coordination	10.11.2011
Coordination	07.19.2013
Coordination	08.08.2013
Coordination	10.07.2013
Coordination	10.21.2013
Coordination	11.05.2013
Constraints Map	11.07.2013
Constraints Map	11.25.2013
Coordination	03.19.2014
D.R.Pre-app conf.	03.26.2014
Design Review	08.12.2014
Story Pole	11.14.2014
D.R. coord	06.08.2015
Design Review	07.10.2015

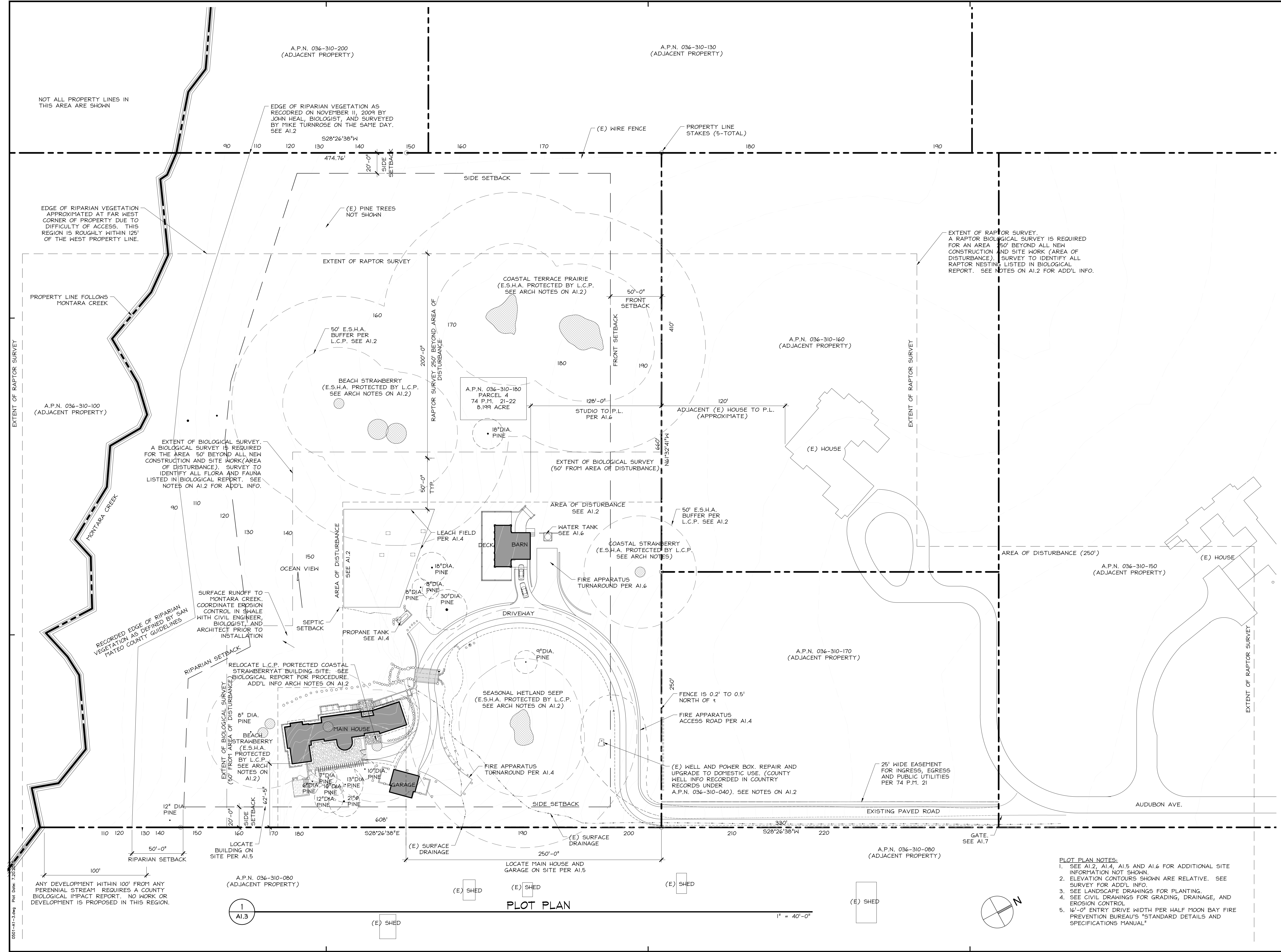
HM,a+e Job Number
2005,01

Sheet Title

PLOT PLAN

Sheet Number

A1.3



NOT ALL PROPERTY LINES IN THIS AREA ARE SHOWN

A.P.N. 036-310-200 (ADJACENT PROPERTY)

A.P.N. 036-310-130 (ADJACENT PROPERTY)

EDGE OF RIPARIAN VEGETATION AS RECORDED ON NOVEMBER 11, 2009 BY JOHN HEAL, BIOLOGIST, AND SURVEYED BY MIKE TURNROSE ON THE SAME DAY. SEE A1.2

EDGE OF RIPARIAN VEGETATION APPROXIMATED AT FAR WEST CORNER OF PROPERTY DUE TO DIFFICULTY OF ACCESS. THIS REGION IS ROUGHLY WITHIN 125' OF THE WEST PROPERTY LINE.

PROPERTY LINE FOLLOWS MONTARA CREEK

A.P.N. 036-310-100 (ADJACENT PROPERTY)

EXTENT OF BIOLOGICAL SURVEY. A BIOLOGICAL SURVEY IS REQUIRED FOR THE AREA 50' BEYOND ALL NEW CONSTRUCTION AND SITE WORK (AREA OF DISTURBANCE). SURVEY TO IDENTIFY ALL FLORA AND FAUNA LISTED IN BIOLOGICAL REPORT. SEE NOTES ON A1.2 FOR ADD'L INFO.

EXTENT OF RAPTOR SURVEY. A RAPTOR BIOLOGICAL SURVEY IS REQUIRED FOR AN AREA 150' BEYOND ALL NEW CONSTRUCTION AND SITE WORK (AREA OF DISTURBANCE). SURVEY TO IDENTIFY ALL RAPTOR NESTING LISTED IN BIOLOGICAL REPORT. SEE NOTES ON A1.2 FOR ADD'L INFO.

COASTAL TERRACE PRAIRIE (E.S.H.A. PROTECTED BY L.C.P. SEE ARCH NOTES ON A1.2)

BEACH STRAWBERRY (E.S.H.A. PROTECTED BY L.C.P. SEE ARCH NOTES ON A1.2)

A.P.N. 036-310-180 PARCEL 4 74 P.M. 21-22 8.1991 ACRE

A.P.N. 036-310-160 (ADJACENT PROPERTY)

EXTENT OF BIOLOGICAL SURVEY (50' FROM AREA OF DISTURBANCE)

AREA OF DISTURBANCE SEE A1.2

COASTAL STRAWBERRY (E.S.H.A. PROTECTED BY L.C.P. SEE ARCH NOTES)

A.P.N. 036-310-150 (ADJACENT PROPERTY)

SURFACE RUNOFF TO MONTARA CREEK. COORDINATE EROSION CONTROL IN SHALE WITH CIVIL ENGINEER, BIOLOGIST, AND ARCHITECT PRIOR TO INSTALLATION

RELOCATE L.C.P. PROTECTED COASTAL STRAWBERRY AT BUILDING SITE. SEE BIOLOGICAL REPORT FOR PROCEDURE. ADD'L INFO ARCH NOTES ON A1.2

SEASONAL WETLAND SEEP (E.S.H.A. PROTECTED BY L.C.P. SEE ARCH NOTES ON A1.2)

FENCE IS 0.2' TO 0.5' NORTH OF r

FIRE APPARATUS ACCESS ROAD PER A1.4

(E) WELL AND POWER BOX. REPAIR AND UPGRADE TO DOMESTIC USE. (COUNTY WELL INFO RECORDED IN COUNTY RECORDS UNDER A.P.N. 036-310-040). SEE NOTES ON A1.2

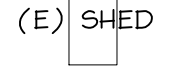
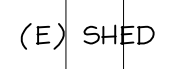
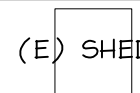
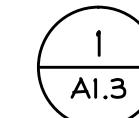
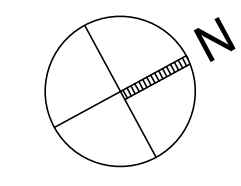
25' WIDE EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES PER 74 P.M. 21

ANY DEVELOPMENT WITHIN 100' FROM ANY PERENNIAL STREAM REQUIRES A COUNTY BIOLOGICAL IMPACT REPORT. NO WORK OR DEVELOPMENT IS PROPOSED IN THIS REGION.

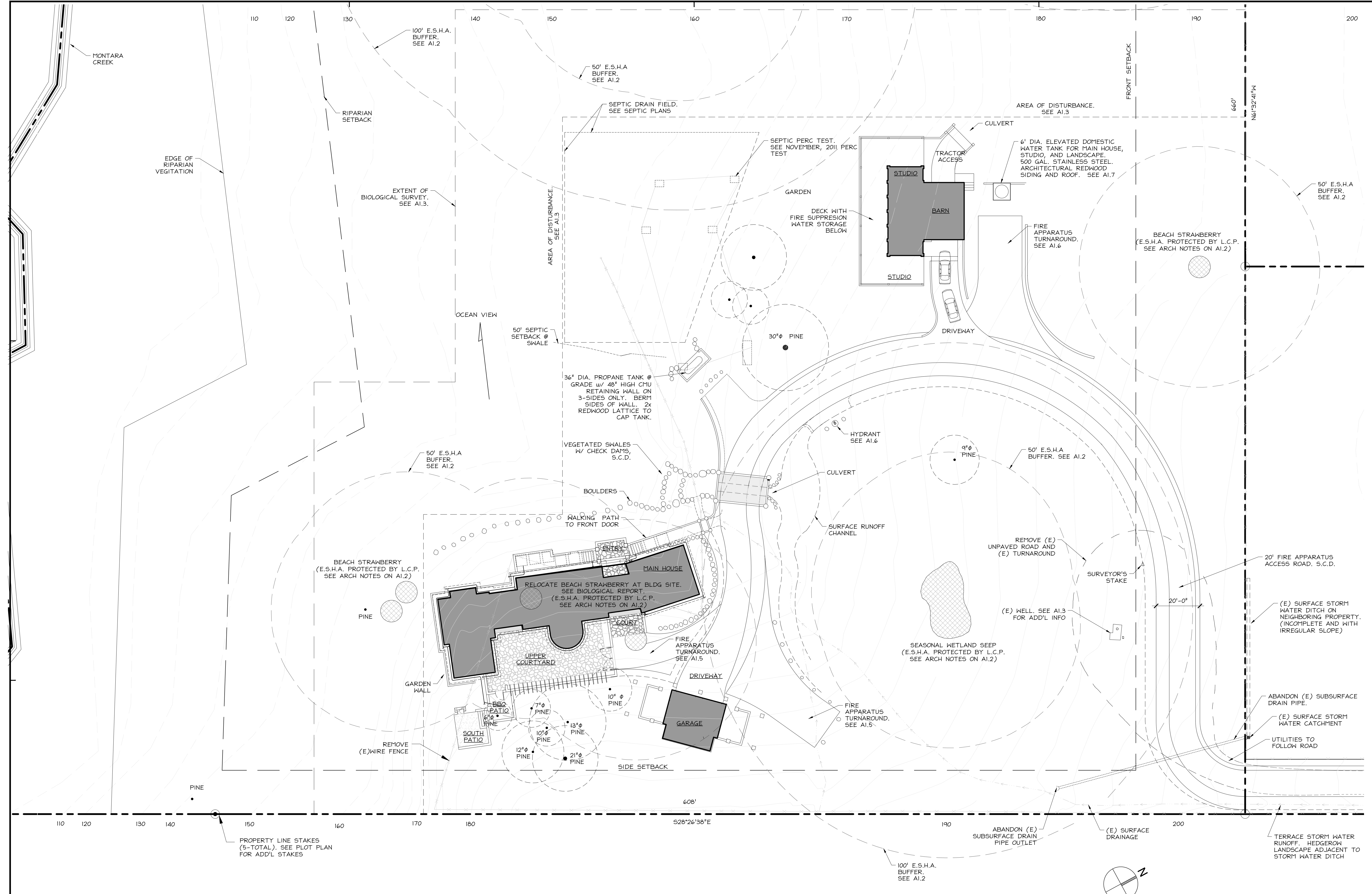
A.P.N. 036-310-080 (ADJACENT PROPERTY)

PLOT PLAN

1" = 40'-0"



0501-A1-A1-3.dwg Plot Date: 7.20.15



Project
BEWLEY RESIDENCE
 Audubon Ave.
 Montara, CA 94037
 A.P.N. 036-310-180

Architect
HM,a+e
 Henri Mannik,
 Architecture and Engineering
 5429 Telegraph Ave.
 Oakland, CA 94609
 510 652 1511 p
 510 601 7196 f

Consultant
 Stamp

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HM,a+e Job Number
 2005,01

Sheet Title
SITE PLAN

Sheet Number

A1.4

0501-A1-4.dwg Plot Date: 7.20.2015

BEWLEY RESIDENCE

Audubon Ave.
Montara, CA 94037
A.P.N. 036-310-180

Architect

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Henri Mannik,
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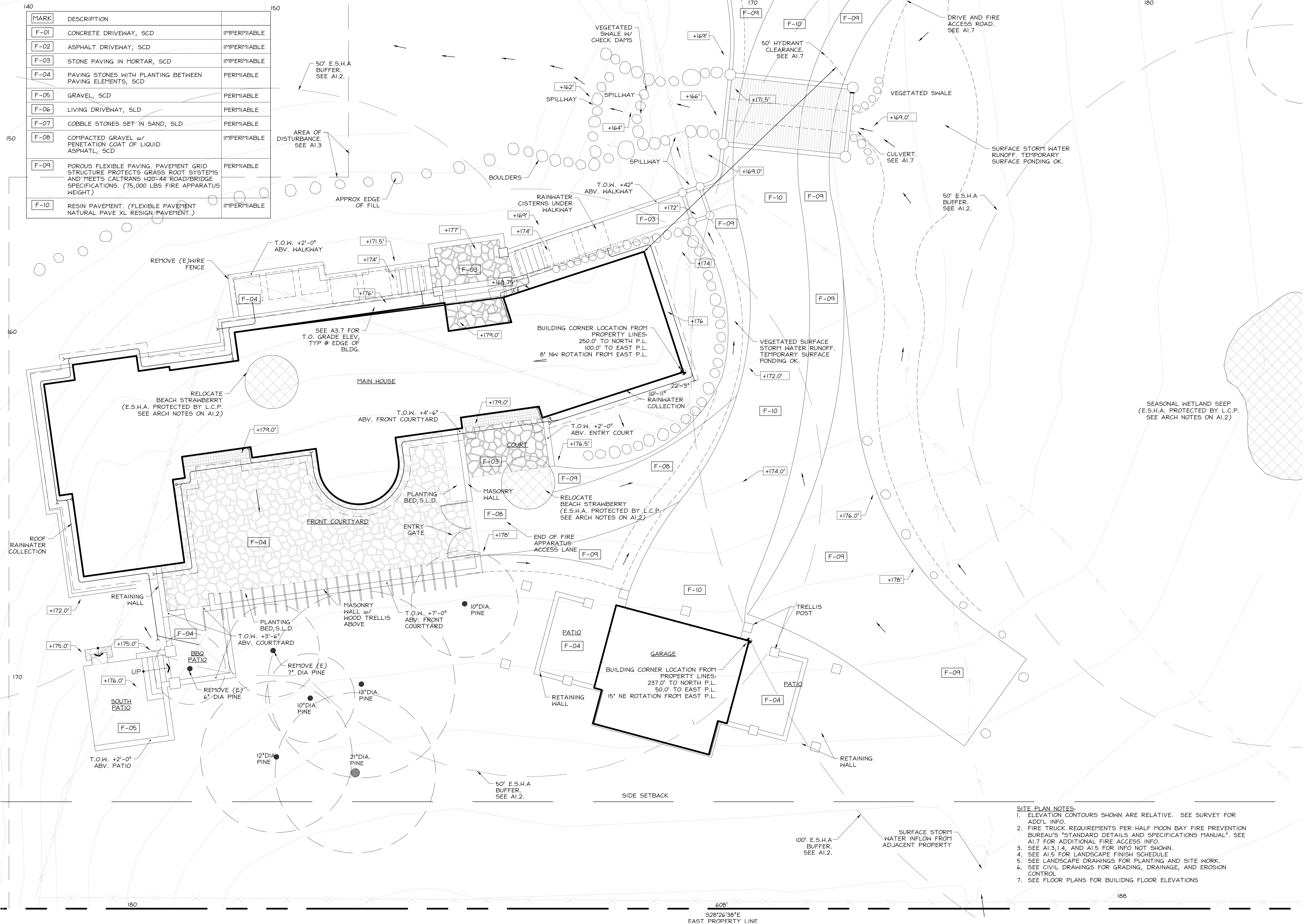
HM,a+e Job Number
2005,01

BUILDING SITE PLAN

Sheet Number

A1.5

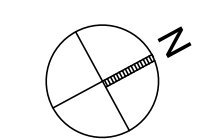
MARK	DESCRIPTION	
F-01	CONCRETE DRIVEWAY, SCD	IMPERMIABLE
F-02	ASPHALT DRIVEWAY, SCD	IMPERMIABLE
F-03	STONE PAVING IN MORTAR, SCD	IMPERMIABLE
F-04	PAVING STONES WITH PLANTING BETWEEN PAVING ELEMENTS, SCD	PERMIABLE
F-05	GRAVEL, SCD	PERMIABLE
F-06	LIVING DRIVEWAY, SLD	PERMIABLE
F-07	COBBLE STONES SET IN SAND, SLD	PERMIABLE
F-08	COMPACTED GRAVEL w/ PENETRATION COAT OF LIQUID ASPHALT, SCD	IMPERMIABLE
F-09	POROUS FLEXIBLE PAVING. PAVEMENT GRID STRUCTURE PROTECTS GRASS ROOT SYSTEMS AND MEETS CALTRANS H20-44 ROAD/BIDGE SPECIFICATIONS. (75,000 LBS FIRE APPARATUS WEIGHT)	PERMIABLE
F-10	RESIN PAVEMENT. (FLEXIBLE PAVEMENT NATURAL PAVE XL RESIN PAVEMENT.)	IMPERMIABLE



- SITE PLAN NOTES:**
- ELEVATION CONTOURS SHOWN ARE RELATIVE. SEE SURVEY FOR ADD'L INFO.
 - FIRE TRUCK REQUIREMENTS PER HALF MOON BAY FIRE PREVENTION BUREAU'S "STANDARD DETAILS AND SPECIFICATIONS MANUAL". SEE A1.7 FOR ADDITIONAL FIRE ACCESS INFO.
 - SEE A1.3, 1.4, AND A1.5 FOR INFO NOT SHOWN.
 - SEE A1.5 FOR LANDSCAPE FINISH SCHEDULE
 - SEE LANDSCAPE DRAWINGS FOR PLANTING AND SITE WORK.
 - SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, AND EROSION CONTROL.
 - SEE FLOOR PLANS FOR BUILDING FLOOR ELEVATIONS

MAIN BUILDING SITE PLAN

1/8" = 1'-0"



1
A1.5

BEWLEY RESIDENCE

Audubon Ave.
Montara, CA 94037
A.P.N. 036-310-180

Architect

HM,a+e

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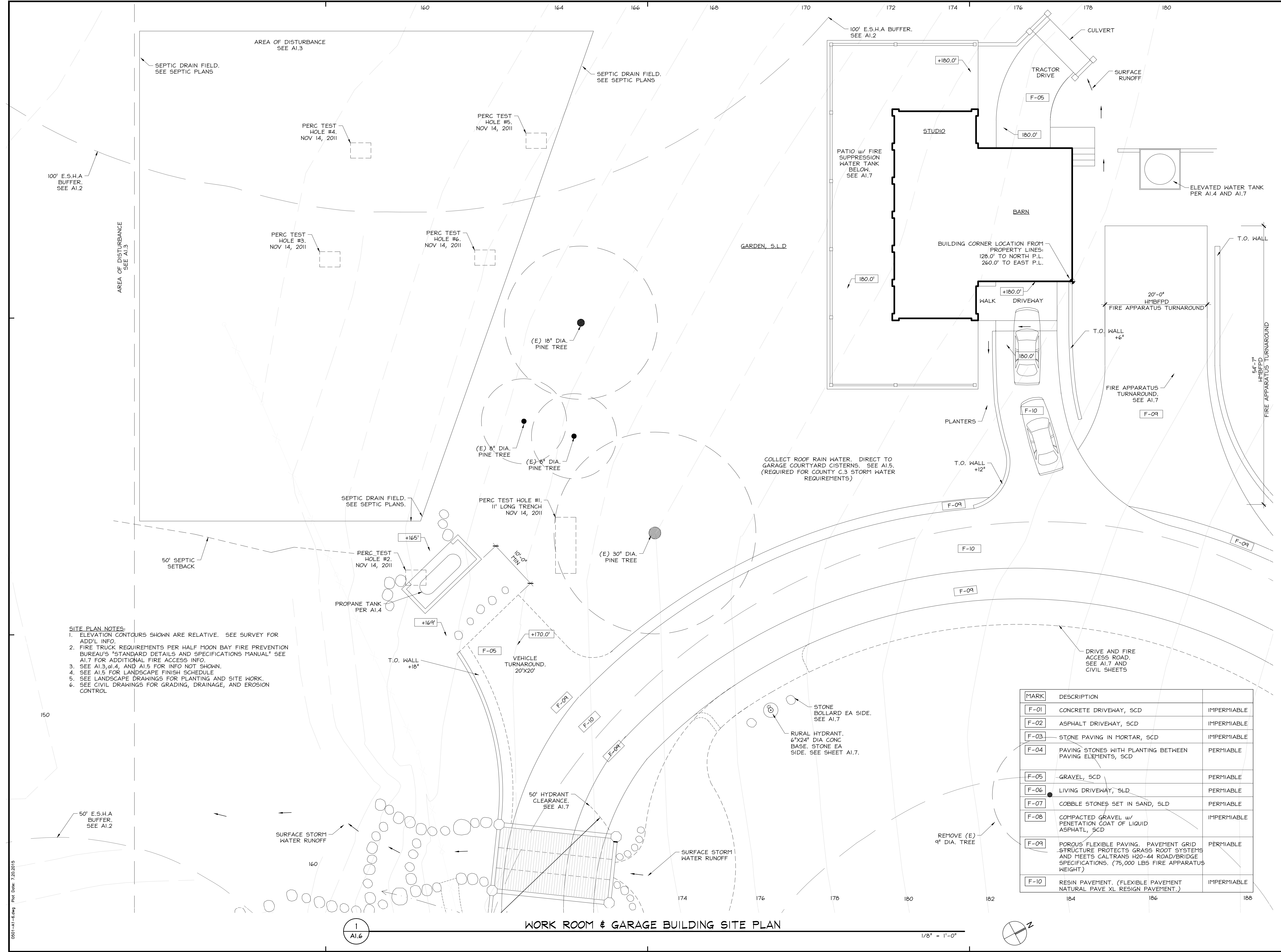
Planning Permit	03.18.2010
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HM,a+e Job Number
2005,01

BUILDING SITE PLAN

Sheet Number

A1.6

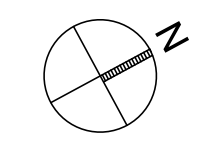


SITE PLAN NOTES:
 1. ELEVATION CONTOURS SHOWN ARE RELATIVE. SEE SURVEY FOR ADD'L INFO.
 2. FIRE TRUCK REQUIREMENTS PER HALF MOON BAY FIRE PREVENTION BUREAU'S "STANDARD DETAILS AND SPECIFICATIONS MANUAL" SEE A1.7 FOR ADDITIONAL FIRE ACCESS INFO.
 3. SEE A1.3, A1.4, AND A1.5 FOR INFO NOT SHOWN.
 4. SEE A1.5 FOR LANDSCAPE FINISH SCHEDULE.
 5. SEE LANDSCAPE DRAWINGS FOR PLANTING AND SITE WORK.
 6. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, AND EROSION CONTROL.

MARK	DESCRIPTION	
F-01	CONCRETE DRIVEWAY, SCD	IMPERMIABLE
F-02	ASPHALT DRIVEWAY, SCD	IMPERMIABLE
F-03	STONE PAVING IN MORTAR, SCD	IMPERMIABLE
F-04	PAVING STONES WITH PLANTING BETWEEN PAVING ELEMENTS, SCD	PERMIABLE
F-05	GRAVEL, SCD	PERMIABLE
F-06	LIVING DRIVEWAY, SLD	PERMIABLE
F-07	COBBLE STONES SET IN SAND, SLD	PERMIABLE
F-08	COMPACTED GRAVEL w/ PENETRATION COAT OF LIQUID ASPHALT, SCD	IMPERMIABLE
F-09	POROUS FLEXIBLE PAVING. PAVEMENT GRID STRUCTURE PROTECTS GRASS ROOT SYSTEMS AND MEETS CALTRANS H20-44 ROAD/BRIDGE SPECIFICATIONS. (75,000 LBS FIRE APPARATUS WEIGHT)	PERMIABLE
F-10	RESIN PAVEMENT. (FLEXIBLE PAVEMENT NATURAL PAVE XL RESIN PAVEMENT.)	IMPERMIABLE

WORK ROOM & GARAGE BUILDING SITE PLAN

1/8" = 1'-0"



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Sheet Title
FIRE ACCESS & SITE DETAILS

Sheet Number

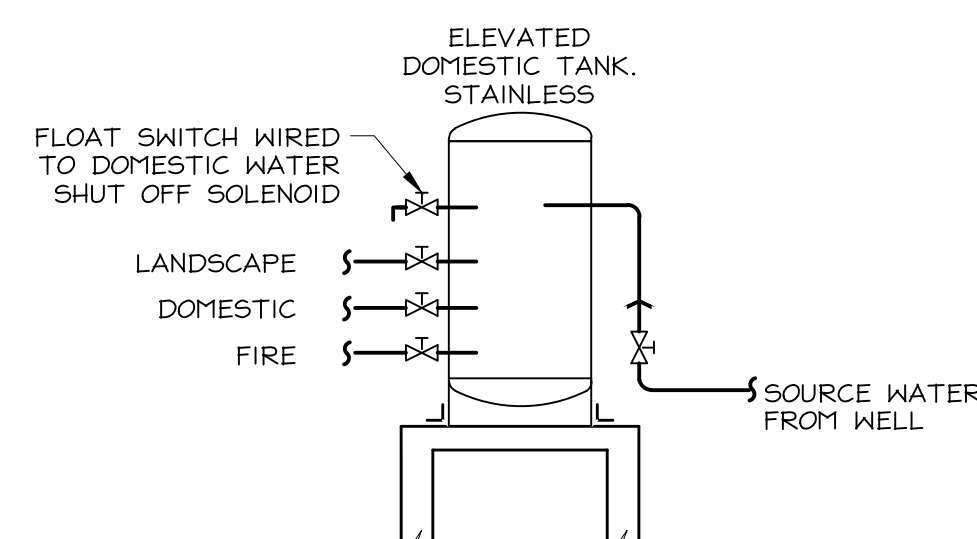
A1.7

WATER TANKS:

SEE A2.5, A1.4

NOTES:

1. A SCREENED VENT 1.5 TIMES THE DIAMETER OF THE OUTLET IS REQUIRED. (e.g. 4" OUTLET=6" VENT).
2. WATER TANK(S) SUPPLYING HYDRANTS SHALL BE LOCATED AT AN ELEVATION WHICH PROVIDES ADEQUATE POSITIVE PRESSURE.
3. WATER TANKS SHALL BE INTERCONNECTED BY USING A MINIMUM PIPE SIZE OF 4 INCH. INTERCONNECTION PIPING AND VALVES MUST BE OF A MATERIAL NOT DAMAGED BY UV EXPOSURE. THE CROSS CONNECTION SHALL ALSO HAVE AN APPROPRIATELY SIZED CONTROL VALVE LOCATED AT EACH TANK.
4. LANDSCAPING WATER SUPPLY SHALL NOT BE STORED IN TANKS PROVIDING WATER FOR FIRE HYDRANTS. THE LANDSCAPING WATER IS IN ADDITION TO THAT REQUIRED FOR FIRE PROTECTION AND A AUTOMATIC ACTIVATED SOLENOID VALVE SHALL BE REQUIRED TO AVOID PRESSURE LOSS IN FIRE PROTECTION WATER SUPPLY DUE TO LARGE DEMAND FROM THE SAME WATER SUPPLY (LANDSCAPING OR AGRICULTURAL IRRIGATION).
5. WATER TANKS USED FOR FIRE PROTECTION SHALL REMAIN FULL AT ALL TIMES, AND SHALL BE FILLED AUTOMATICALLY FROM A RELIABLE WATER SOURCE (e.g. WELL, YEAR ROUND SPRING OR CREEK).
6. WHERE WATER TANKS PROVIDE BOTH DOMESTIC AND FIRE PROTECTION SUPPLY, THE WATER TANK SHALL BE FITTED WITH A FLOAT SWITCH WIRED TO THE DOMESTIC WATER SHUT OFF SOLENOID.
7. CONTROL VALVES SHALL BE PROVIDED FOR ALL HYDRANT INSTALLATIONS AND BE LOCATED AT THE TANK OR IN A LOCATION APPROVED BY THE FIRE MARSHALL.
8. ALL ABOVE GROUND FIRE SPRINKLER OR FIRE HYDRANT WATER PIPING SHALL BE METALLIC.
9. LABEL ALL TANKS, PIPES, & VALVES FOR FUNCTION: "FIRE", "DOMESTIC", OR "LANDSCAPE."
10. SEE WATER SYSTEM PLAN FOR DETAILED DESIGN OF FIRE PROTECTION SYSTEM. THE DETAIL SHOWN IS A SCHEMATIC DRAWING FOR PLANNING APPROVAL. IF THESE DETAILS CONFLICT WITH THE WATER SYSTEM PLAN, THE WATER SYSTEM PLAN SHALL GOVERN.
11. DOMESTIC & FIRE WATER SUPPLY SHALL NOT BE IN SEPARATE TANKS.
12. WATER SUPPLY SHALL BE IN MINIMUM TWO TANKS. ALL FITTINGS SHALL OPERATE IN A MANNER ALLOWING ONE TANK TO REMAIN OPERATING WHILE THE OTHER TANK IS REPAIRED.
13. WATER TANKS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
14. DOMESTIC WATER SHALL BE STORED IN STAINLESS STEEL.



RURAL HYDRANTS:

SEE A1.5

NOTES:

1. HYDRANTS SHALL BE LOCATED NO CLOSER THAN 50' TO ANY BUILDING, NO FURTHER AWAY THAN 150' OF THE PROTECTED STRUCTURE, AND BE LOCATED ON THE FIRE DEPARTMENT ACCESS SIDE OF THE BUILDING.
2. HYDRANT SUPPLY PIPE SHALL BE LISTED AND APPROVED FOR FIRE PROTECTION SERVICE FOR UNDERGROUND PIPE, SUCH AS AWWA C900.
3. PIPES SUPPLYING RURAL HYDRANTS SHALL HAVE A MINIMUM DIAMETER OF NO LESS THAN 4" STANDARD.
4. RURAL HYDRANTS SHALL HAVE AT LEAST ONE 4" OUTLET WITH "NATIONAL HOSE" THREAD STANDARD AND SHALL HAVE A REMOVABLE METALLIC CAP.
5. THE HYDRANT RISER AND ELBOW SHALL BE STEEL. ALL ABOVE GROUND PIPING USED FOR FIRE HYDRANT WATER SUPPLY SHALL BE METALLIC.
6. HYDRANTS SHALL HAVE A CONCRETE PAD. SEE DETAIL.
7. ALL HYDRANTS SHALL BE POSITIVE PRESSURE AND MEET THE REQUIRED FIRE FLOW ON DEMAND. (HYDRANTS REQUIRING PRIMING, SHALL NOT BE CONSIDERED AS A PRIMARY WATER SOURCE).
8. CONCRETE THRUST BLOCKS (WHEN REQUIRED) SHALL BE SIZED IN ACCORDANCE WITH NATIONAL STANDARDS AND SHALL BE PROVIDED AT ALL CHANGES IN PIPE DIRECTION. SEE DETAIL.
9. ALL HYDRANTS SHALL HAVE A 3" DIAMETER MINIMUM PHYSICAL CLEARANCE FROM RETAINING WALLS GUARDPOSTS, ROCKS etc..
10. FLAMMABLE VEGETATION SHALL BE CLEARED FOR A MINIMUM 8' RADIUS AROUND ALL HYDRANTS REGARDLESS OF TYPE.
11. PERMANENT GUARD POSTS OR BOLLARDS SHALL BE INSTALLED TO PROTECT EXPOSED FIRE HYDRANTS FROM VEHICULAR DAMAGE.
12. HYDRANTS SHALL NOT BE OBSTRUCTED BY PARKING OR IN ANY OTHER MANNER. "NO PARKING" SIGNS MAY BE REQUIRED.
13. HYDRANT LOCATION SHALL BE IDENTIFIED BY THE INSTALLATION OF BLUE REFLECTIVE MARKERS.
14. RURAL HYDRANTS SHALL HAVE A PERMANENT SIGN AFFIXED, RED IN COLOR WITH WHITE 1" INCH LETTERS STATING "WET DRAFT HYDRANT...GALLONS", WITH THE GALLONS OF WATER AVAILABLE TO THE HYDRANT PROVIDED, SHALL BE PAINTED RED AND HAVE A MINIMUM 2" BLUE REFLECTIVE BAND AROUND THE TOP OF THE PIPE JUST BELOW THE VALVE.

CULVERT:

SEE GARAGE COURTYARD ON A1.5

NOTES:

1. WHEN A CULVERT IS USED AS A PART OF EMERGENCY ACCESS, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH AASHTO HB-17. THE CULVERT SHALL BE DESIGNED FOR A LIVE LOAD SUFFICIENT TO CARRY THE IMPOSED LOADS OF FIRE APPARATUS AS STATED HEREIN.
2. WEIGHT: EVERY PRIVATE CULVERT (BRIDGE) HEREAFTER CONSTRUCTED OR RE-CONSTRUCTED DUE TO DAMAGE, DETERIORATION, OR OBSOLESCENCE SHALL BE DESIGNED TO SUPPORT AN IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS. VEHICLE LOADS SHALL BE POSTED AND DATED AT BOTH ENTRANCES TO BRIDGES. (HS20-44 HIGHWAY LOADING)
3. WIDTH: ALL CULVERTS (BRIDGES) MUST BE A MINIMUM OF 20 FEET CLEAR WIDTH. ONE-WAY CULVERTS (BRIDGES), AND CULVERTS (BRIDGES) WITH LESS THAN 20' OF CLEAR WIDTH, REQUIRE A TURNOUT AT BOTH ENDS TO THE BRIDGE.

GATES:

SEE A1.3

NOTES:

1. GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ROADWAY THEY SERVE.
2. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 13 1/2 FEET OF VERTICAL CLEARANCE.
3. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK FOR THE FIRE DEPARTMENT ACCESS.
4. ELECTRIC GATES SHALL BE PROVIDED WITH A KNOX GATE SWITCH AND AUTOMATICALLY OPEN DURING POWER FAILURES UNLESS EQUIPPED WITH MANUAL OVERRIDE CAPABILITY (WHEN AUTHORIZED BY COASTSIDE FIRE DIST.).
5. GATES PROVIDING FIRE ACCESS TO A DRIVEWAY OR OTHER ROADWAY SHALL BE LOCATED AT LEAST 35 FEET FROM THE PRIMARY ROAD OR STREET AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ADJOINING ROADWAY.
6. CONTACT COASTSIDE FIRE DISTRICT FOR KNOX BOX APPLICATION.

EMERGENCY ACCESS ROADS

SEE A1.4, A1.6, AND CIVIL DRAWINGS

NOTES:

1. EMERGENCY ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED MINIMUM WIDTH OF 20'-0".
2. WHERE HYDRANTS ARE LOCATED, THE ROAD SHALL BE A MINIMUM OF 26 FEET WIDE FOR A LENGTH OF 20 FEET ON EACH SIDE OF THE HYDRANT (40 FEET TOTAL LENGTH).
3. EMERGENCY ACCESS ROADS SHALL HAVE 13'-6" FEET OF VERTICAL CLEARANCE.
4. EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS AND SHALL HAVE A MINIMUM OF 2" ASPHALT SURFACE PROVIDING ALL-WEATHER DRIVING CAPABILITIES. SEE CIVIL DETAILS.
5. GRADES OF LESS THAN 15% SHALL BE SURFACED WITH A MINIMUM CLASS 2 AGGREGATE BASE WITH 95% COMPACTION AND AN ASPHALT SURFACE. U.O.N.
6. GRADES OF 15% TO 20% SHALL REQUIRE A NON-SKID ASPHALT OR CONCRETE SURFACE, OR EQUIVALENT, U.O.N.
7. GRADES 15% TO 20% SHALL BE LIMITED TO 150 FT. IN LENGTH.
8. THE CENTERLINE TURNING RADIUS FOR EMERGENCY APPARATUS ACCESS ROADS SHALL BE 35 FEET.
9. DEAD-END EMERGENCY ACCESS EXCEEDING 150 FT SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.
10. TURNAROUNDS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE NO GREATER THAN EIGHT PERCENT (8%). THE LONGITUDINAL SLOPE IS DEFINED AS THE SLOPE CORRESPONDING TO THE LONG AXIS OF A VEHICLE AS IT TRAVELS INTO, OUT OF, AND THROUGH A TURNAROUND. THIS SLOPE SHALL BE MAINTAINED BEGINNING AT AND ENDING AT THE POINT OF TANGENCY OF THE EDGE OF THE PAVEMENT CURVES FOR THE TURNAROUND.
11. THE CROSS SLOPE PERPENDICULAR TO THE LONGITUDINAL SLOPE SHALL NOT EXCEED FIVE PERCENT (5%).
12. ROAD GRADES SHALL NOT EXCEED 20%.
13. GRADES 15% TO 20% SHALL BE LIMITED TO 150 FT. IN LENGTH.
14. 20-26 FEET ROAD WIDTH-NO PARKING ON EITHER SIDE OF THE ROADWAY.
15. 26-35 FEET ROAD WIDTH-PARKING IS ALLOWED ON ONLY ONE SIDE OF ROADWAY.
16. 36 FEET ROAD WIDTH-PARKING IS NOT RESTRICTED.
17. POLES, FENCES, STONES, OR VISIBLE MARKERS SHALL INDICATE THE EDGE OF FIRE LANES.
18. PROVIDE ALLOWANCE FOR ALL SIGNS AND MARKERS.

BRIDGE:

NO BRIDGES USED. CULVERTS ONLY USED.

NOTES:

1. BRIDGES SHALL MEET ALL CULVERT REQUIREMENTS.
2. CERTIFICATION: EVERY PRIVATE BRIDGE PROVIDING FIRE APPARATUS ACCESS HEREAFTER CONSTRUCTED OR RE-CONSTRUCTED SHALL BE ENGINEERED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND APPROVED BY THE FIRE MARSHALL. CERTIFICATION THAT THE BRIDGE COMPLIES WITH STRUCTURAL DESIGN STANDARDS MUST BE PROVIDED TO THE FIRE CHIEF.
3. RE-CERTIFICATION: EVERY PRIVATE BRIDGE SHALL BE RE-CERTIFIED EVERY TEN (10) YEARS OR WHENEVER DEEMED NECESSARY BY THE FIRE MARSHALL.

BUILDING FIRE PROTECTION:

SEE PLANS AND DETAILS

NOTES:

1. THE BUILDING SHALL BE FULLY PROTECTED WITH A MODIFIED NFPA 13D RESIDENTIAL RISK SPRINKLER SYSTEM AS REQUIRED BY THE CODE.
2. PROVIDE DRAFT STOPS AND FIRE BLOCKING AS REQUIRED BY CBC.
3. SMOKE AND CARBON MONOXIDE ALARMS SHOWN ARE CONNECTED TO THE BUILDING'S ELECTRICAL SYSTEM. ALARMS SHALL HAVE BATTERY BACKUP.
4. PROVIDE SMOKE ALARMS IN EACH BEDROOM. NOTIFY ARCH IF ANY BEDROOMS DO NOT HAVE AN ALARM.
5. INTERCONNECT SMOKE ALARMS IN NEW CONSTRUCTION AND IN REMODELS. WITH REMODELS, INTERCONNECTION TO EXISTING BEDROOM ALARMS IS NOT REQUIRED IF FINISHES NEED TO BE REMOVED, U.O.N.
6. FIRE BLOCKS SHALL BE 2X NOMINAL LUMBER, 3/4" PLYWOOD, 5/8" GYPSUM WALL BOARD. BATT INSULATION OR MINERAL WOOL INSULATION MAY BE USED AS NOTED.
7. FIRE BLOCK ALL STUD BAYS AND VERTICAL WALL CAVITIES WITHIN STRUCTURAL WALLS, PARTITION WALLS, STAIR STRINGERS, AND FURRED WALLS. PROVIDE BLOCKING AT THE FLOOR AND CEILING.
8. FIRE BLOCK IF WALLS EXCEED 10' IN HEIGHT, ADD BLOCKING AT 10' O.C.
9. VERTICAL FIRE BLOCK AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL CAVITIES SUCH AS, CRAWL SPACE TO WALL, WALL TO CEILING, SOFFITS AND DROPPED CEILINGS.
10. FIRE BLOCK AT VENT, PIPE, DUCT, CHIMNEY, AND FIREPLACE OPENINGS.
11. FIRE BLOCK AT CONCEALED OPENINGS BETWEEN FLOORS.
12. PROVIDE DRAFTSTOPS AT ALL OPEN CONCEALED SPACES OR CAVITIES BETWEEN USABLE STACKED HABITABLE SPACES. IN THESE AREAS SUCH AS, OPEN WEB FLOOR JOIST OR TRUSSES, INSTALL DRAFTSTOPS AT THE FOLLOWING CONDITIONS:
 - a. AREAS GREATER THAN 1000 SQUARE FEET
 - b. AT EACH JOIST 30'O.C., AT EDGES OF KITCHEN
 - c. AT GARAGE WALLS
 - d. AT UTILITY ROOMS WITH EQUIPMENT USING COMBUSTIBLE FUELS.
 - e. PROVIDE DRAFTSTOPS IN SOFFIT AREAS GREATER THAN 500 SQUARE FEET.
13. DRAFTSTOPS SHALL BE 2X LUMBER, SHEET METAL, 3/4" PLYWOOD, OR 5/8" GYPSUM WALL BOARD.

WATER TANK CAPACITIES:

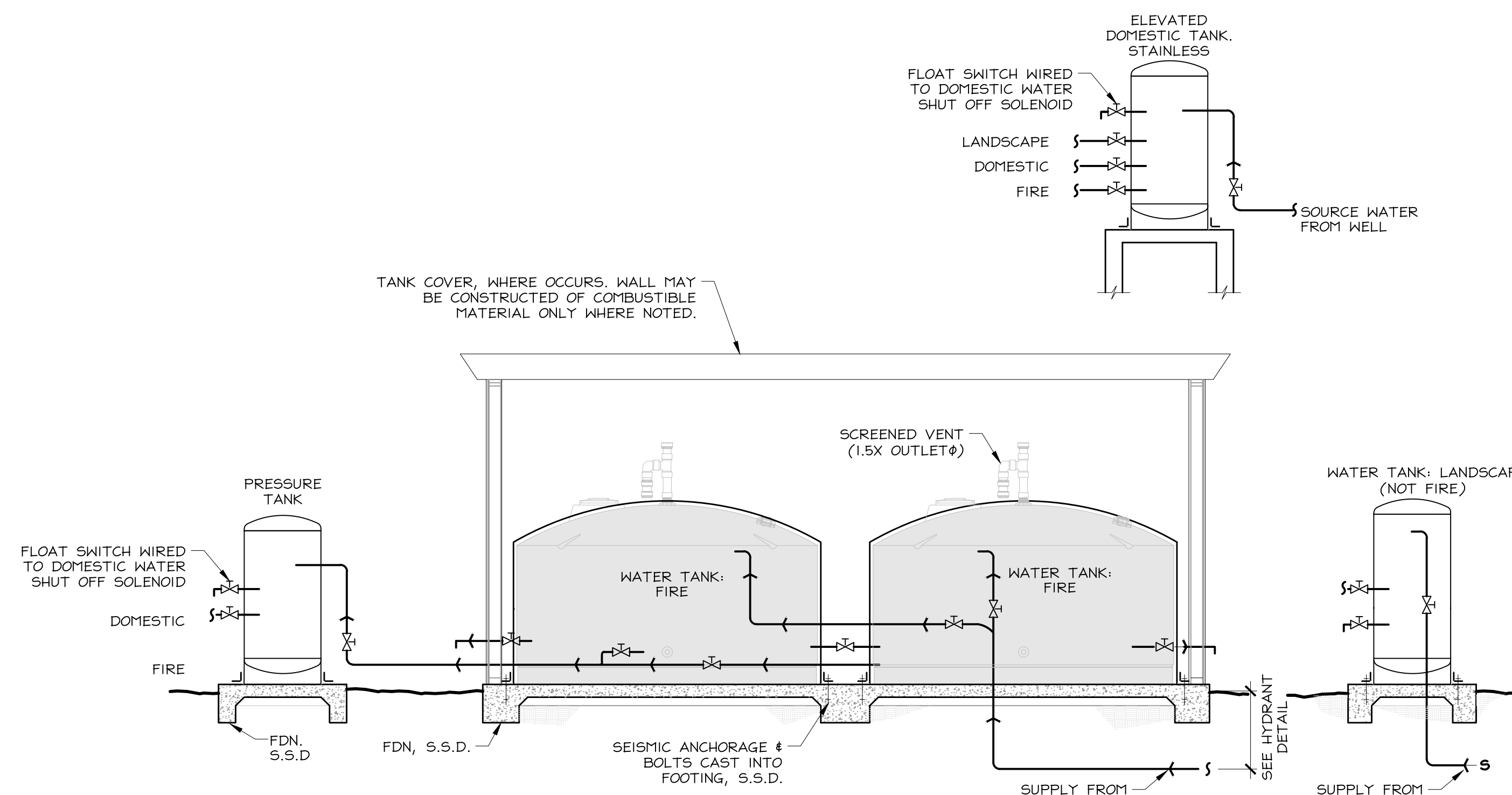
SEE A2.5 FOR LOCATION.

SEE A3.11, A3.12, A3.13.

SEE A1.4

NOTES:

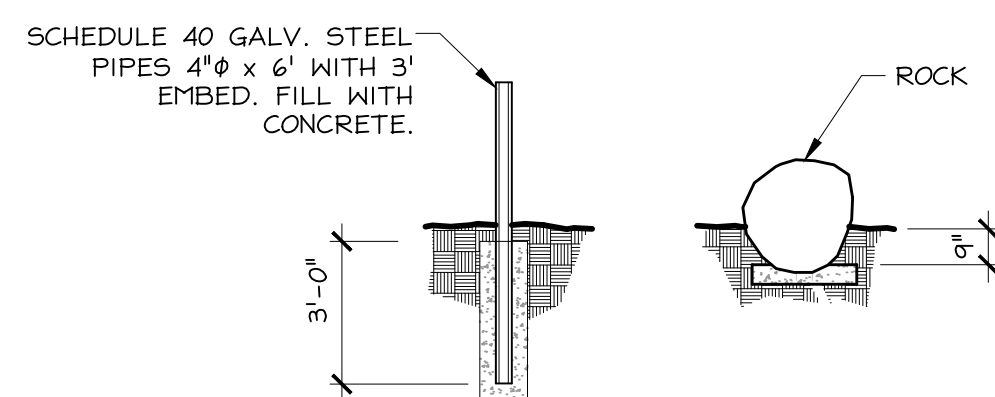
- 10,000 GALLONS FOR FIRE SUPPRESSION.
 - 4 - 2,500 GALLON TANKS. PLASTIC, ABV GRADE, "TUNA CAN". LOCATED UNDER STUDIO DECK. GRID 1-4/ LINES-B,D,F,H
- 2,000 GALLONS FOR SPRINKLER
 - 2 - 1,000 GALLON TANKS. PLASTIC, ABV GRADE, "TUNA CAN". LOCATED UNDER STUDIO DECK. GRID LINE-L, APPROX
- 500 GALLONS FOR DOMESTIC AND LANDSCAPE.
 - 1-ELEVATED TANK NORTH OF BARN, GRID LINE-D STAINLESS STEEL (300 GALLONS FOR DOMESTIC PER DAY PER PLANING PERMIT)



WATER TANKS SCHEMATIC

1/4" = 1'-0"

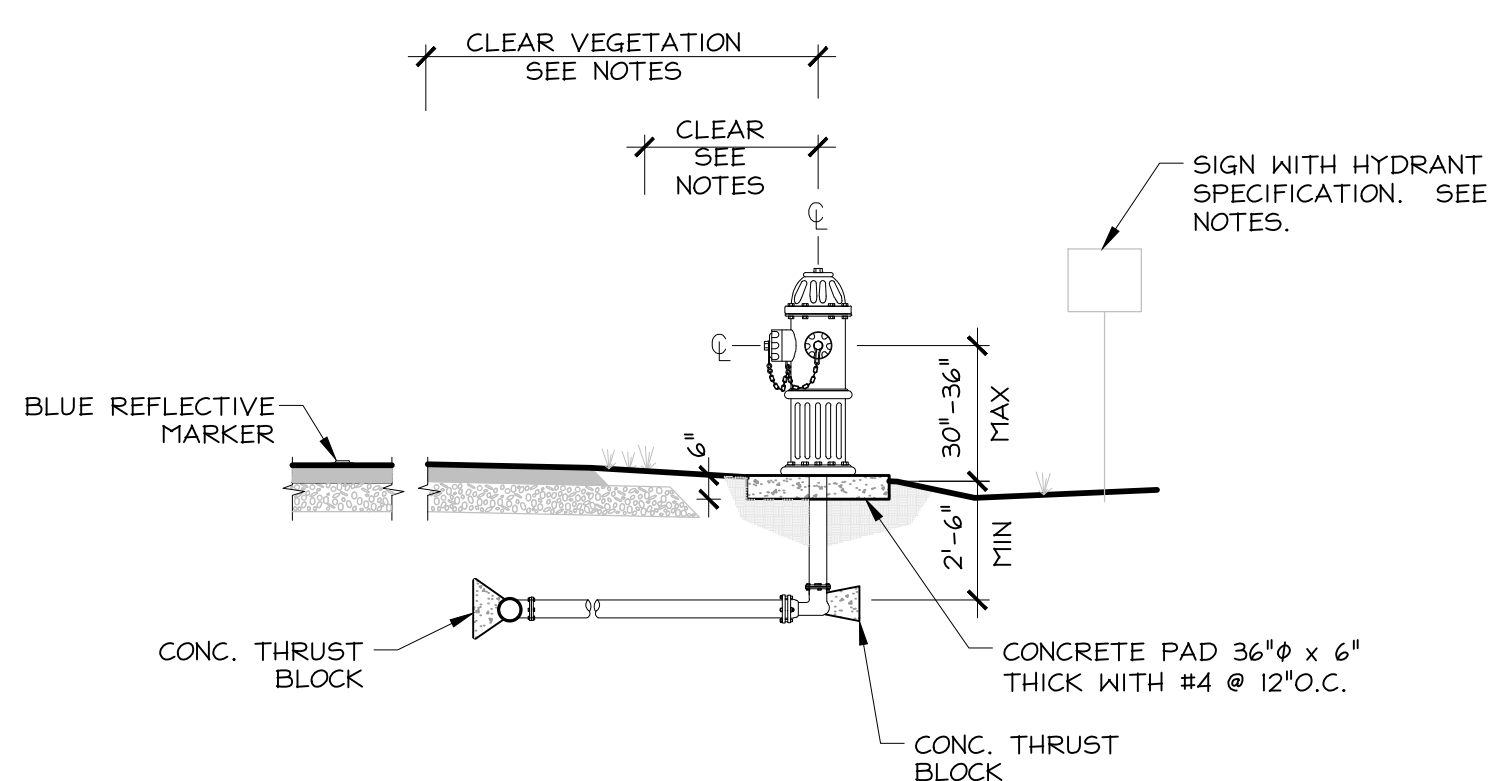
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A1.7



GUARD POSTS

1/4" = 1'-0"

2
A1.7



FIRE HYDRANT

1/4" = 1'-0"

1
A1.7

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SHEET TITLE LIGHTING SITE PLAN

Sheet Number

E1.4

- ELECTRICAL FIXTURE LEGEND**
- STAIR.1
 - WALL.LOW.W.1
 - WALL.LOW.M.2
 - WALL.SCONCE.E.1
 - WALL.SCONCE.D.1
 - WALL.SCONCE.G.2
 - WALL.GOOSE.1
 - PATH.1
 - PATH.2
 - POST.1
 - POST.2
 - TRELLIS.1

NOTES:
1. SEE COUNTY DESIGN REVIEW SUBMITTAL FOR LIGHTING SCHEDULE AND DETAILS ON SELECTED EXTERIOR LIGHT FIXTURES.

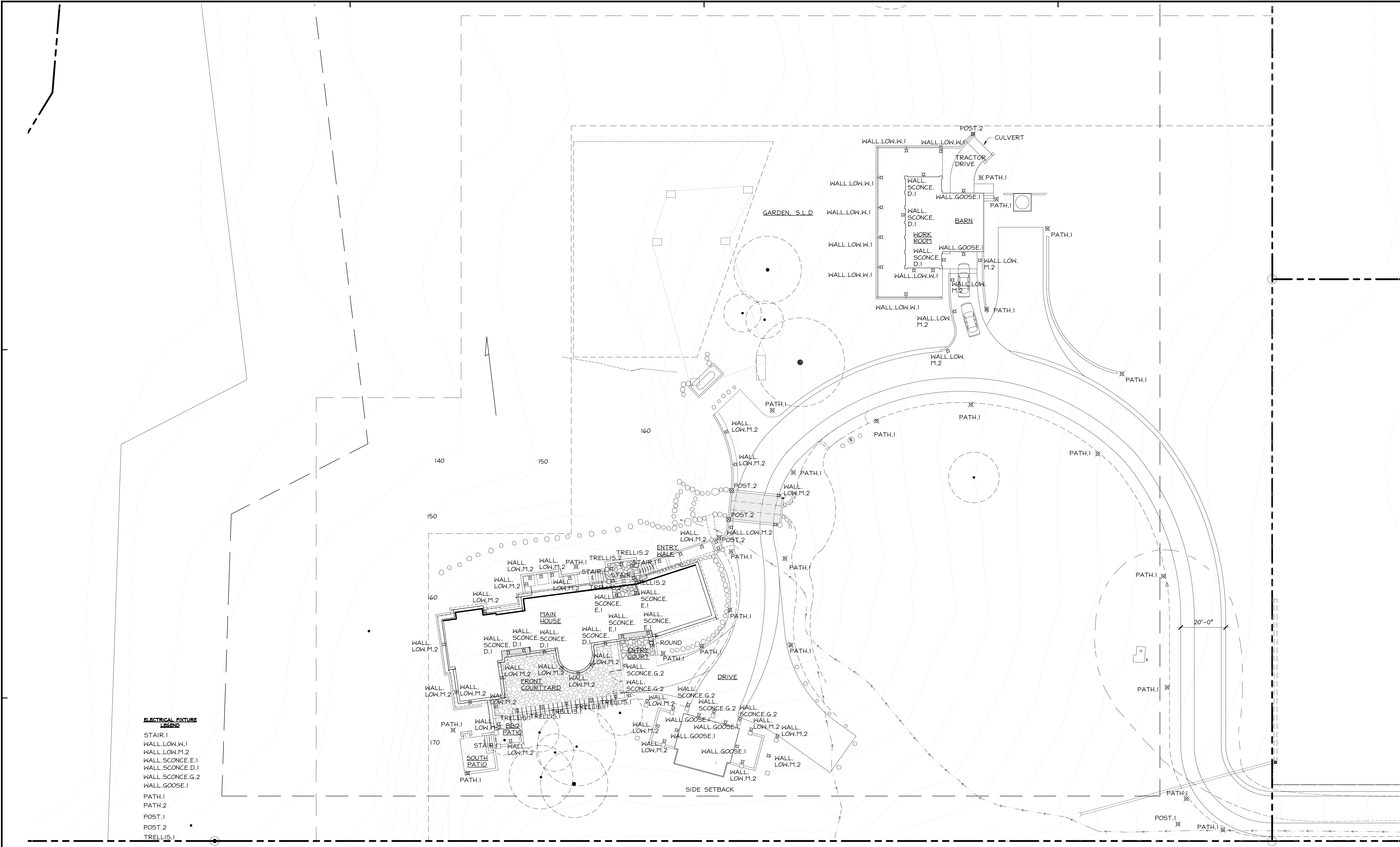
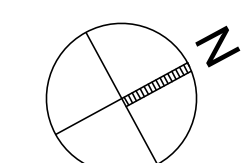
- ELECTRICAL LEGEND**
- ⊗ LANDSCAPE LIGHT FIXTURE
 - ⊗ WALL SCONCE
 - ⊗ STEP LIGHT

1
E1.4

SITE LANDSCAPE LIGHTING PLAN DARKSKY COMPLIANCE

1" = 20'-0"

- SITE PLAN NOTES:**
- SEE A1.3, A1.4, A1.5, AND A1.6 FOR INFO NOT SHOWN.
 - SEE PROJECT MANUAL FOR LIGHTING FIXTURE SCHEDULE.
 - EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT.
 - SEE BUILDING ELEVATIONS IN A3 SERIES FOR ADDITIONAL LIGHT FIXTURES ATTACHED TO THE BUILDING THAT ARE NOT SHOWN ON ELECTRICAL SITE PLAN.
 - SEE SHEET A1.2 AND NOTE SECTION, "BIOLOGICAL MITIGATION" FOR REQUIREMENTS ON ARCHITECTURAL COPPER AND BMPs REGARDING COPPER FINISHES.
 - NO FACTORY PATINA OR ON SITE PATINA ON COPPER. (SEE A1.2 FOR INFO. ON ACID WASH AND REQ'D BMPs) ALLOW COPPER TO PATINA NATURALLY.
 - SEE S.M. COUNTY ZONING REGULATIONS FOR LIGHTING REQUIREMENTS. SECTION: 6565.20(F).4



PLANT LIST

TREES:

Key	Qty.	Size	Name	Common Name	Growth Rate	Ave. Size	Decid./Evrgrm	Calif. Native	Coast
T1	8	15 Gal.	Cupressus macrocarpa	Monterey Cypress	Fast	40' ht. X 40'	Evergreen	X	X
T2	4	15 Gal.	Cupressus macrocarpa 'citiolora'	Lemon Yellow Cypress	Slow	20' ht. x 8'	Evergreen	X	X
T3	5	15 Gal.	Quercus agrifolia	Coast Live Oak	Moderate	50' ht. X 50'	Evergreen	X	X

SHRUBS:

No.	Qty.	Size	Name	Common Name	Growth Rate	Ave. Size	Decid./Evrgrm	Calif. Native	Coast
S1	36	1 Gal.	Artemisia californica 'Montara'	California Sagebrush var. Montara	Moderate	3' ht. x 3'	Evergreen	X	X
S2	20	1 Gal.	Baccharis pilularis 'Pidgeon Point'	Dwarf Coyote Brush Pidgeon Point	Moderate	1' ht. x 6'	Evergreen	X	X
S3	12	5 Gal.	Carpenteria californica 'Elizabeth'	Bush Anemone	Moderate	5' ht. x 5'	Evergreen	X	X
S4	13	1 Gal.	Ceanothus 'Concha'	Ceanothus	Moderate	6' ht. x 6'	Evergreen	X	X
S5	12	1 Gal.	Erigeron glaucus	Beach Aster / Seaside Daisy	Moderate	1' ht. x 3'	Evergreen	X	X
S6	37	1 Gal.	Mimulus aurantiacus	Monkey Flower	Moderate	4' ht. x 4 ft.	Deciduous	X	
S7	16	5 Gal.	Myrica californica	Pacific Wax Myrtle	Moderate	20' ht x 10 ft.	Evergreen	X	X
S8	21	5 Gal.	Rhamnus californica 'Mound San Bruno'	Coffeeberry	Moderate	5' ht x 5 ft.	Evergreen	X	X
S9	33	1 Gal.	Rhamnus californica 'Sea View'	Coffeeberry	Moderate	1' ht x 6 ft.	Evergreen	X	X
S10	18	1 Gal.	Zauschneria (Epilobium) californica Mexican California Fuchsia		Moderate	2' ht x 2 ft.	Evergreen	X	X

PERENNIALS:

No.	Qty.	Size	Name	Common Name	Growth Rate	Ave. Size	Decid./Evrgrm	Calif. Native	Coast
P1	40	1 Gal.	Achillea millefolium californica	Common Western	Moderate	2' ht. X 2'	Evrgrm/Decid	X	X
P2	40	1 Gal.	Iris douglasiana	Douglas Iris	Fast	18" ht. x 2'	Evergreen	X	X
P3	40	1 Gal.	Sisyrinchium bellum 'Californian Skies'	Blue-Eyed Grass	Moderate	1' ht x 1 ft.	Perennial	X	X
P4	40	1 Gal.	Sisyrinchium californicum	Yellow-Eyed grass	Moderate	1' ht x 1 ft.	Perennial	X	X

GRASSES: Hydroseed

No.	Qty.	Size	Name	Common Name	Growth Rate	Ave. Size	Decid./Evrgrm	CA Native	Coast
G1	11,000	SF	Danthonia californica	California Oatgrass	Moderate	2' ht. x 3'	Evergreen	X	X
G2 G3 = 50/50 Mix = 12,000 SF									
G2	6,000	SF	Festuca californica	California Fescue	Moderate	2' ht. x 3'	Evergreen	X	X
G3	6,000	SF	Stipa (Nassella) pulchra	Purple Needle Grass	Moderate	2' ht. x 3'	Evergreen/Per.	X	X

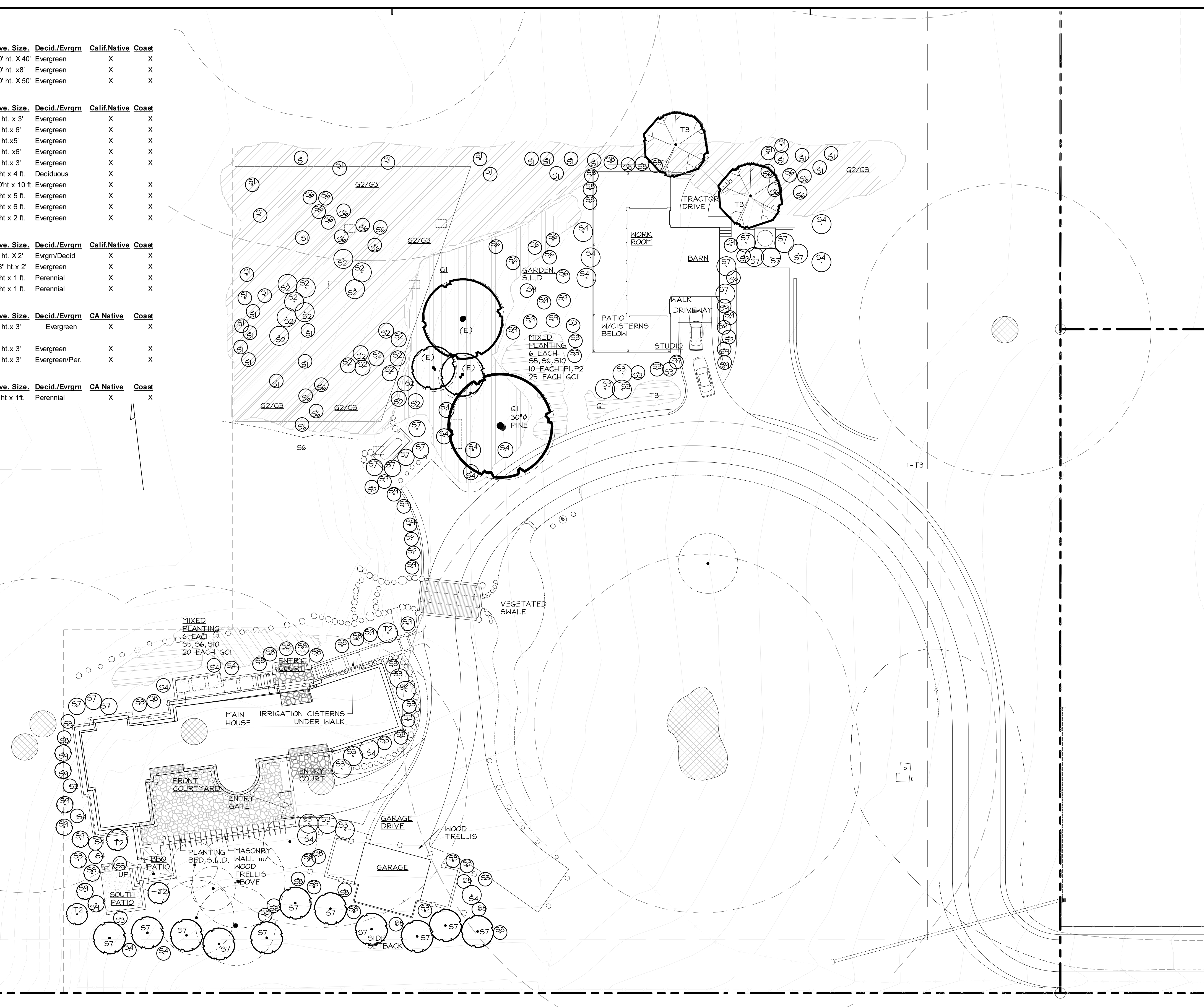
GROUNDCOVERS:

No.	Qty.	Size	Name	Common Name	Growth Rate	Ave. Size	Decid./Evrgrm	CA Native	Coast
GC1	160	4"	Fragaria chiloensis	Beach Strawberry	Moderate	4' ht x 1ft.	Perennial	X	X

NOTES:

GENERAL:

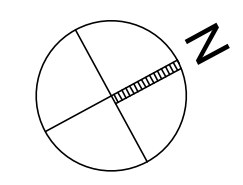
1. THIS PLAN IS FOR LANDSCAPE WORK ONLY. IT IS GENERALLY SCHEMATIC AND INDICATIVE OF THE WORK TO BE PERFORMED. PLANS ARE NOT FULLY DETAILED OR SPECIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL MATERIALS, AND EQUIPMENT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING ON SITE CONDITIONS; PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, STRUCTURES. REVIEW ANY DISCREPANCIES WITH ARCHITECT/OWNER.
3. ALL WORK AND MATERIALS SHALL MEET OR EXCEED ALL APPLICABLE BUILDING CODES AS PER THE CURRENT UNIFORM BUILDING CODE OR EXISTING STATE AND LOCAL REGULATIONS.
4. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
5. THE OWNER OR THEIR REPRESENTATIVE SHALL APPROVE MATERIALS SUBSTITUTION.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND PAY ALL APPLICABLE FEES.
7. CONTRACTOR TO FURNISH ALL LABOR, MATERIALS, AND SUPPLIES TO PERFORM ALL OPERATIONS IN CONNECTION WITH AND REASONABLY INCIDENTAL TO THE COMPLETE INSTALLATION OF THE PROJECT.
8. CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF SLEEVES UNDER HARDSURFACE AREAS ETC.
9. DO NOT WILLFULLY INSTALL ANY SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS THE FIELD CONDITIONS WILL NOT ALLOW FOR DESIGN INTENT. NOTIFY THE LANDSCAPE ARCHITECT OR OWNER OF SUCH DEVIATIONS.
10. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS REQUIRED SHOULD NOTIFICATION NOT HAVE BEEN PROVIDED AND APPROVED BY THE ARCHITECT, OWNER OR THEIR REPRESENTATIVE.
11. DURING CONSTRUCTION THE SITE WILL BE NEATLY KEPT AS PRACTICAL TO NOT DISTURB NORMAL USAGE OF THE SURROUNDING AREAS BY THE OWNER.
12. CONTRACTOR SHALL REMOVE ANY FALL EXCESS MATERIALS, OR DEBRIS FROM THE SITE.



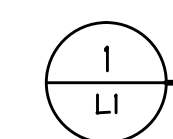
- NOTES:**
1. PLANTING AREA 28,000 SQ.FT.
 2. IRRIGATE WITH RAINWATER.
 3. IRRIGATE WITH GRAY WATER.

LANDSCAPE PLAN

1" = 20'-0"



THE DRAWINGS ON THIS SHEET (OR COPIES OF THEM, HOWEVER EXECUTED) AND THE DESIGN CONCEPTS CONVEYED BY THEM ARE AND SHALL REMAIN THE EXCLUSIVE PROPERTY OF THE DESIGNER WHETHER THE PROJECT FOR WHICH THEY WERE CREATED IS EXECUTED OR NOT. THEY MAY NOT BE USED IN WHOLE OR IN PART BY ANY PERSON OR BUSINESS ENTITY OR ANY OTHER PROJECT NOR EXTENSIONS OF THIS PROJECT WITHOUT APPROPRIATE COMPENSATION TO, AND WRITTEN PERMISSION FROM THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR IDEAS NOT EXECUTED BY, OR UNDER THE DIRECT SUPERVISION OF, BLUE SKY DESIGNS, INC.



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510 601 7196 f

Consultant

Blue Sky
DESIGNS, INC.

CUSTOM LANDSCAPE ENVIRONMENTS
Landscape Contractor's License #C27-436094
General Contractor's License #B-436094
Landscape Architect's License #LA-4205
495 Purisimo Way, Half Moon Bay, CA 94019
(650) 726-5990 FAX (650) 726-2353

Stamp

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Coordination	09.12.2011
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Design Review	07.10.2015

HM,a+e Job Number
2005,01

Sheet Title
LANDSCAPE PLAN

Sheet Number

L1

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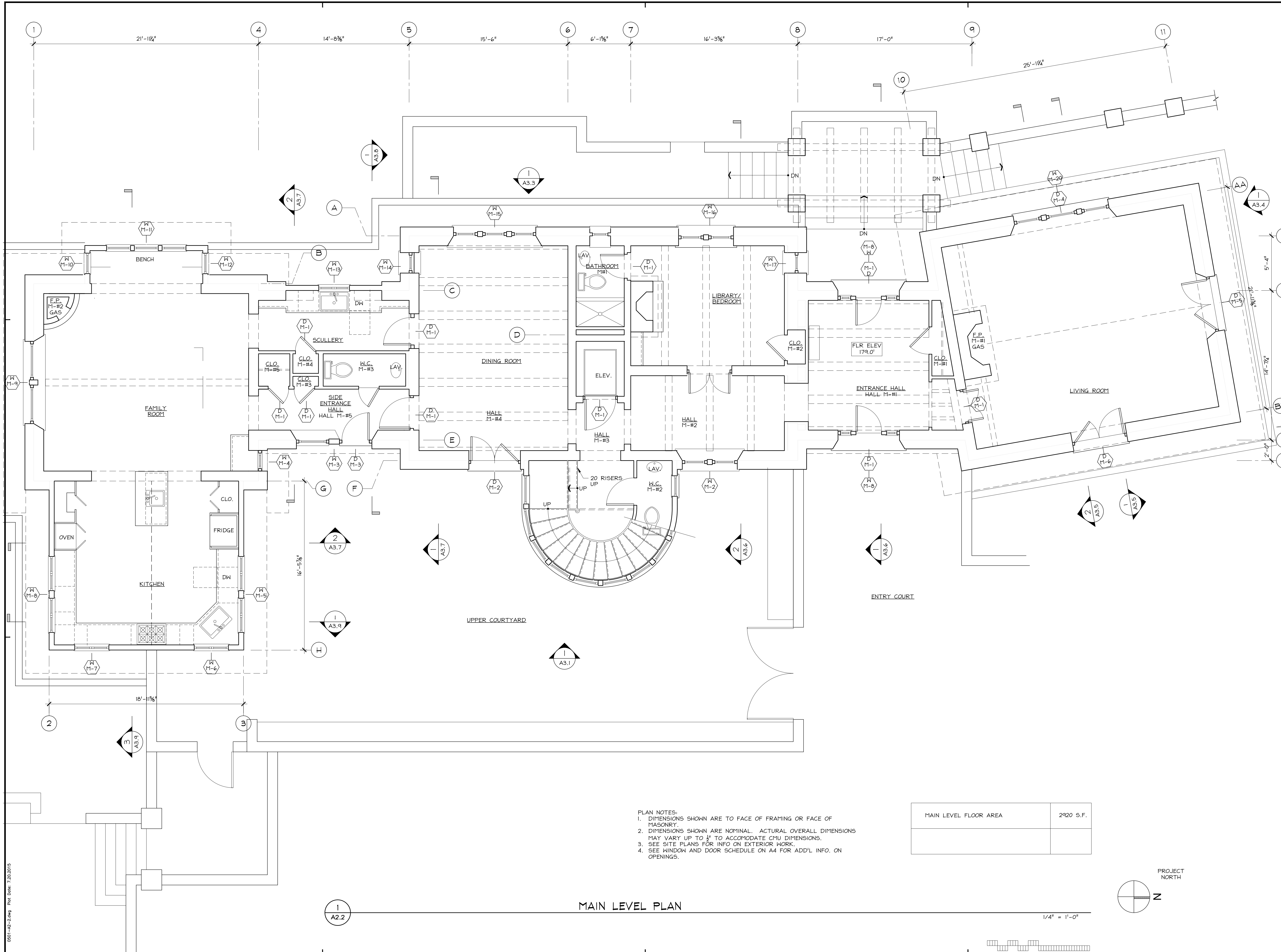
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HM,a+e Job Number
2005,01

Sheet Title MAIN LEVEL PLAN

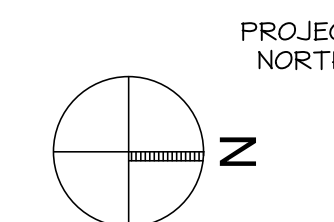
Sheet Number

A2.2



PLAN NOTES:
 1. DIMENSIONS SHOWN ARE TO FACE OF FRAMING OR FACE OF MASONRY.
 2. DIMENSIONS SHOWN ARE NOMINAL. ACTUAL OVERALL DIMENSIONS MAY VARY UP TO 1/8" TO ACCOMMODATE CMU DIMENSIONS.
 3. SEE SITE PLANS FOR INFO ON EXTERIOR WORK.
 4. SEE WINDOW AND DOOR SCHEDULE ON A4 FOR ADD'L INFO. ON OPENINGS.

MAIN LEVEL FLOOR AREA	2920 S.F.



MAIN LEVEL PLAN

1/4" = 1'-0"

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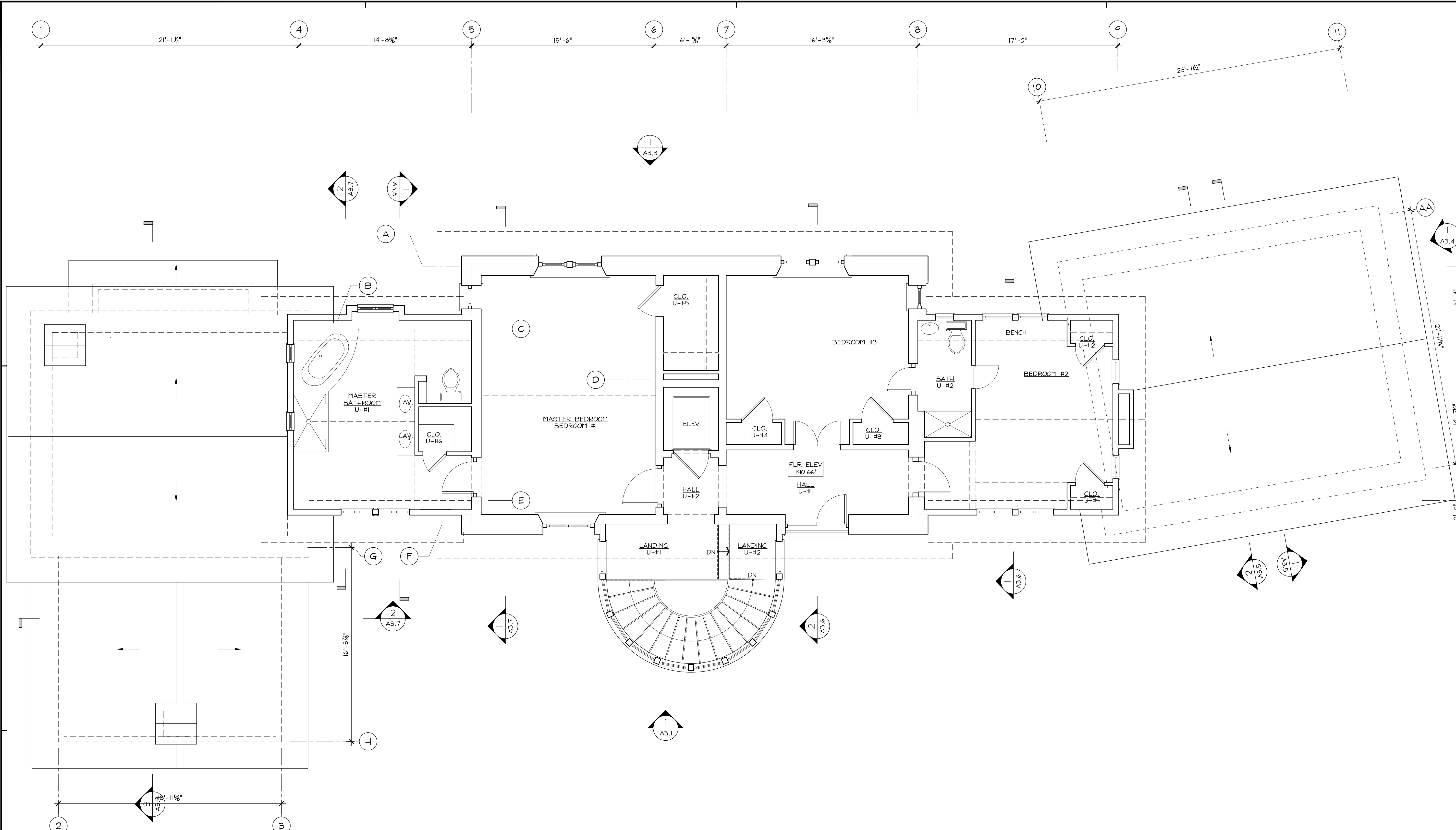
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2005,01

UPPER LEVEL PLAN

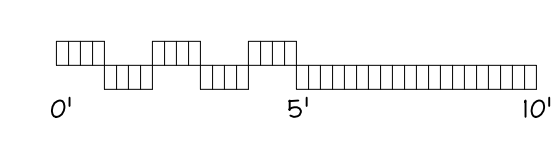
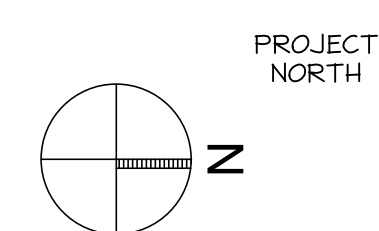
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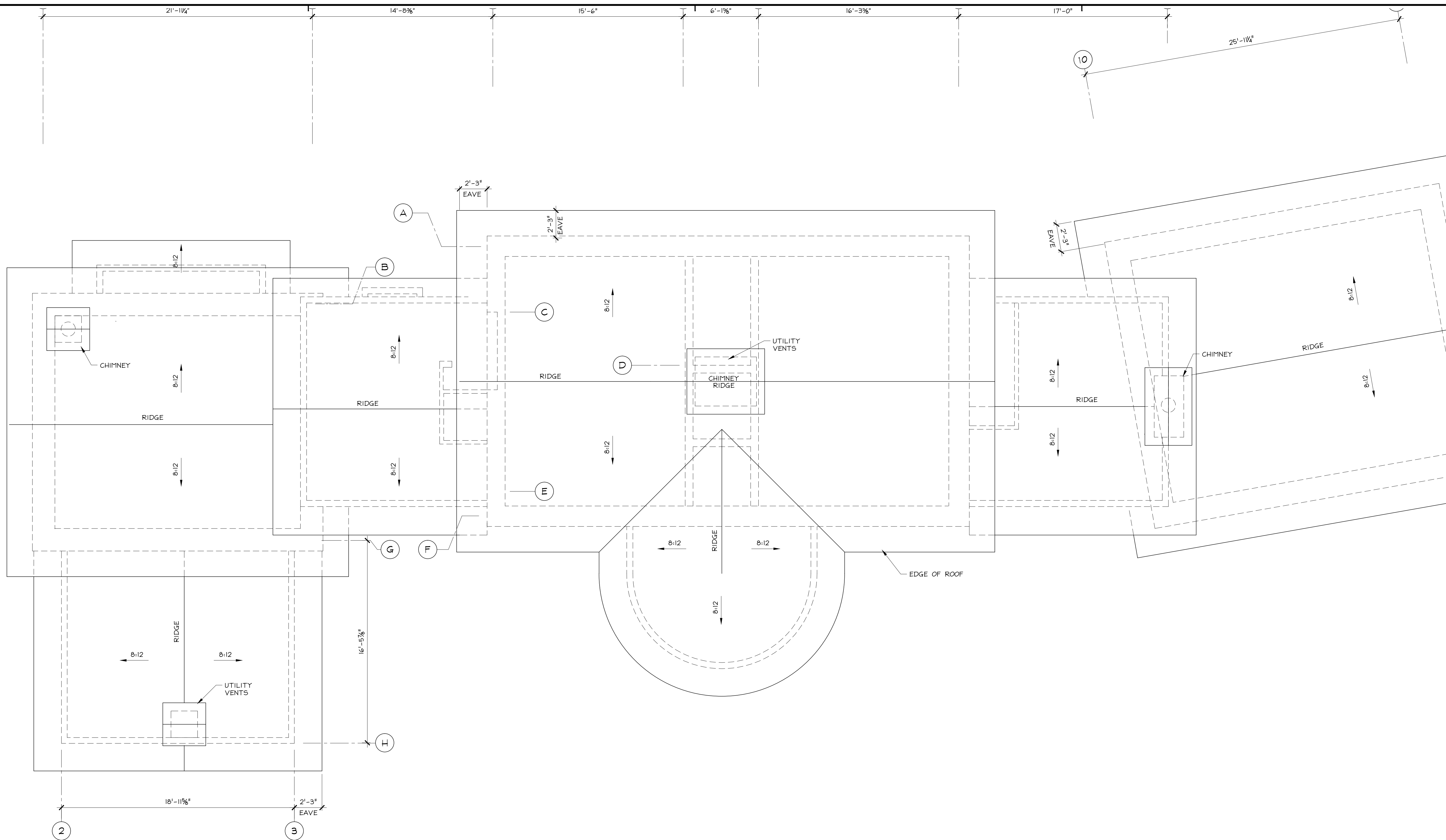
- PLAN NOTES:
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 2. DIMENSIONS SHOWN ARE NOMINAL. ACTUAL OVERALL DIMENSIONS MAY VARY UP TO 1/2" TO ACCOMMODATE CMU DIMENSIONS.
 3. SEE SITE PLANS FOR INFO ON EXTERIOR WORK.
 4. SEE WINDOW AND DOOR SCHEDULE ON A4 FOR ADD'L INFO. ON OPENINGS.

UPPER FLOOR AREA	1580 S.F.



UPPER LEVEL PLAN

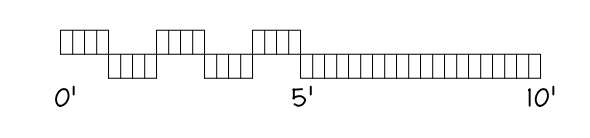
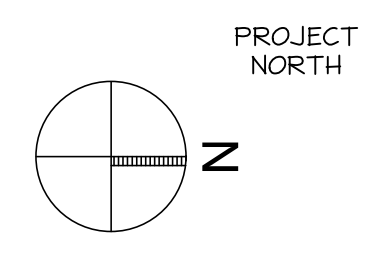
1/4" = 1'-0"



1
A2.4

ROOF PLAN

1/4" = 1'-0"



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Sheet Title
ROOF PLAN

Sheet Number
A2.4

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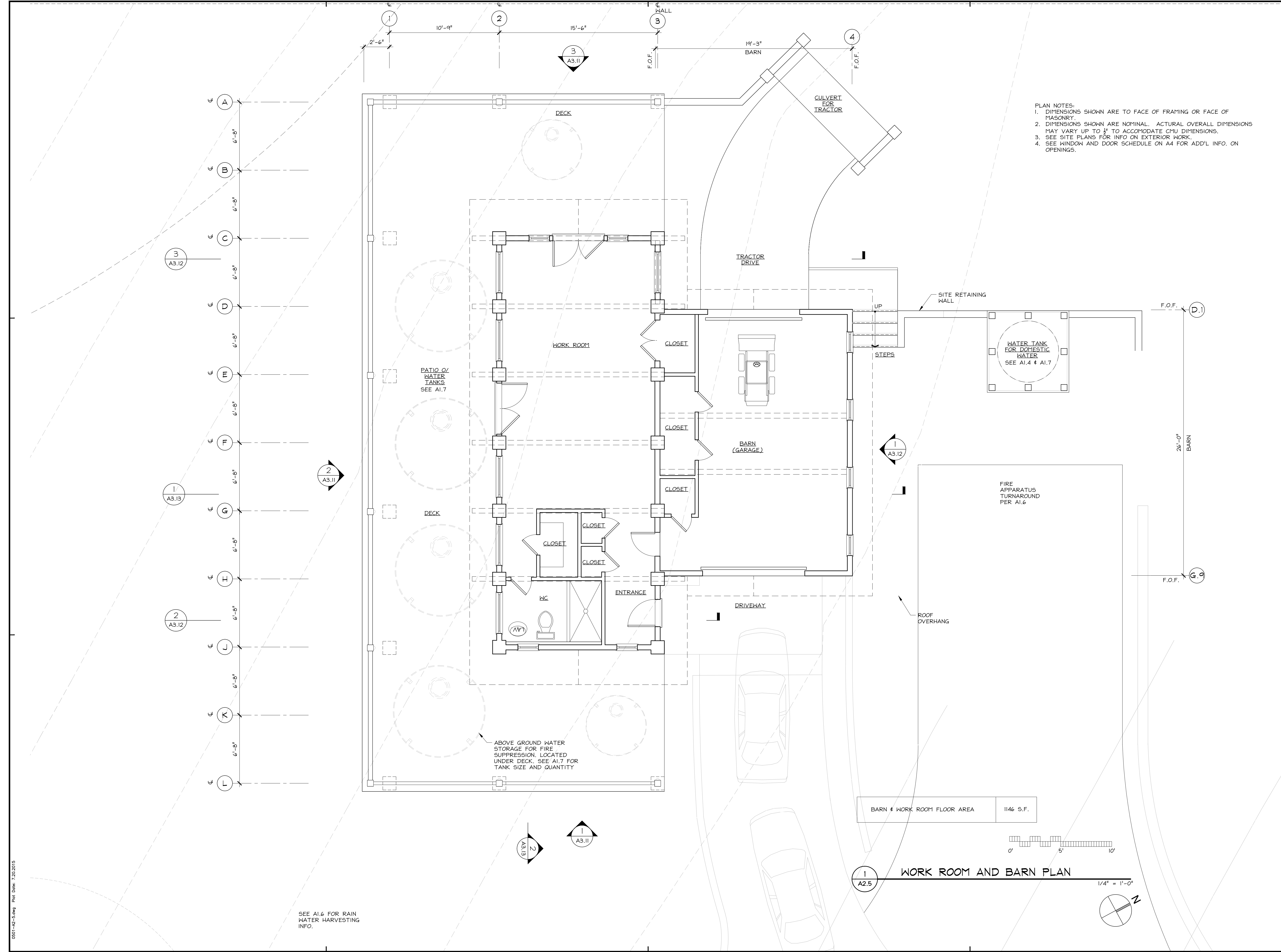
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2005,01

Sheet Title BARN PLAN

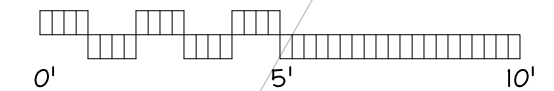
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A2.5



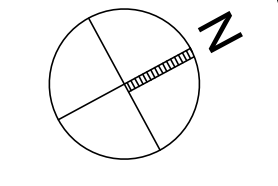
PLAN NOTES:
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 3. SEE SITE PLANS FOR INFO ON EXTERIOR WORK.
 4. SEE WINDOW AND DOOR SCHEDULE ON A4 FOR ADD'L INFO. ON OPENINGS.

BARN & WORK ROOM FLOOR AREA	1146 S.F.
-----------------------------	-----------



1 A2.5 WORK ROOM AND BARN PLAN

1/4" = 1'-0"



SEE A1.6 FOR RAIN WATER HARVESTING INFO.

Project

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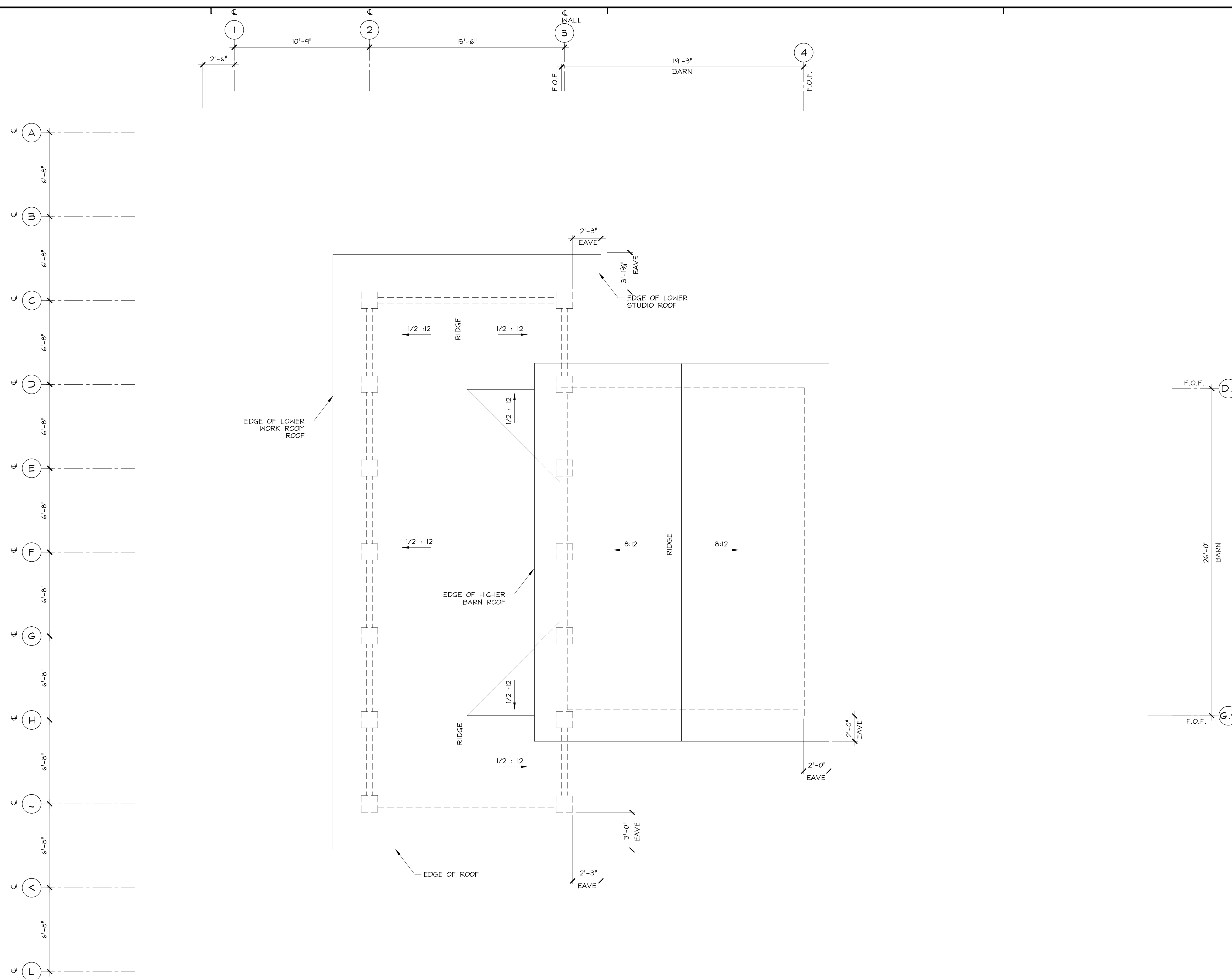
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2005,01

Sheet Title ROOF PLAN BARN

Sheet Number

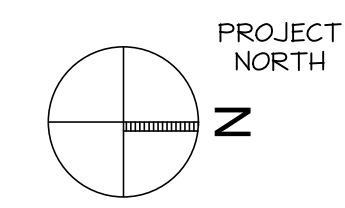
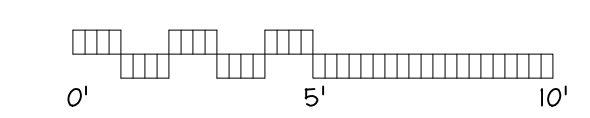
A2.6



1
A2.6

ROOF PLAN - BARN

1/4" = 1'-0"



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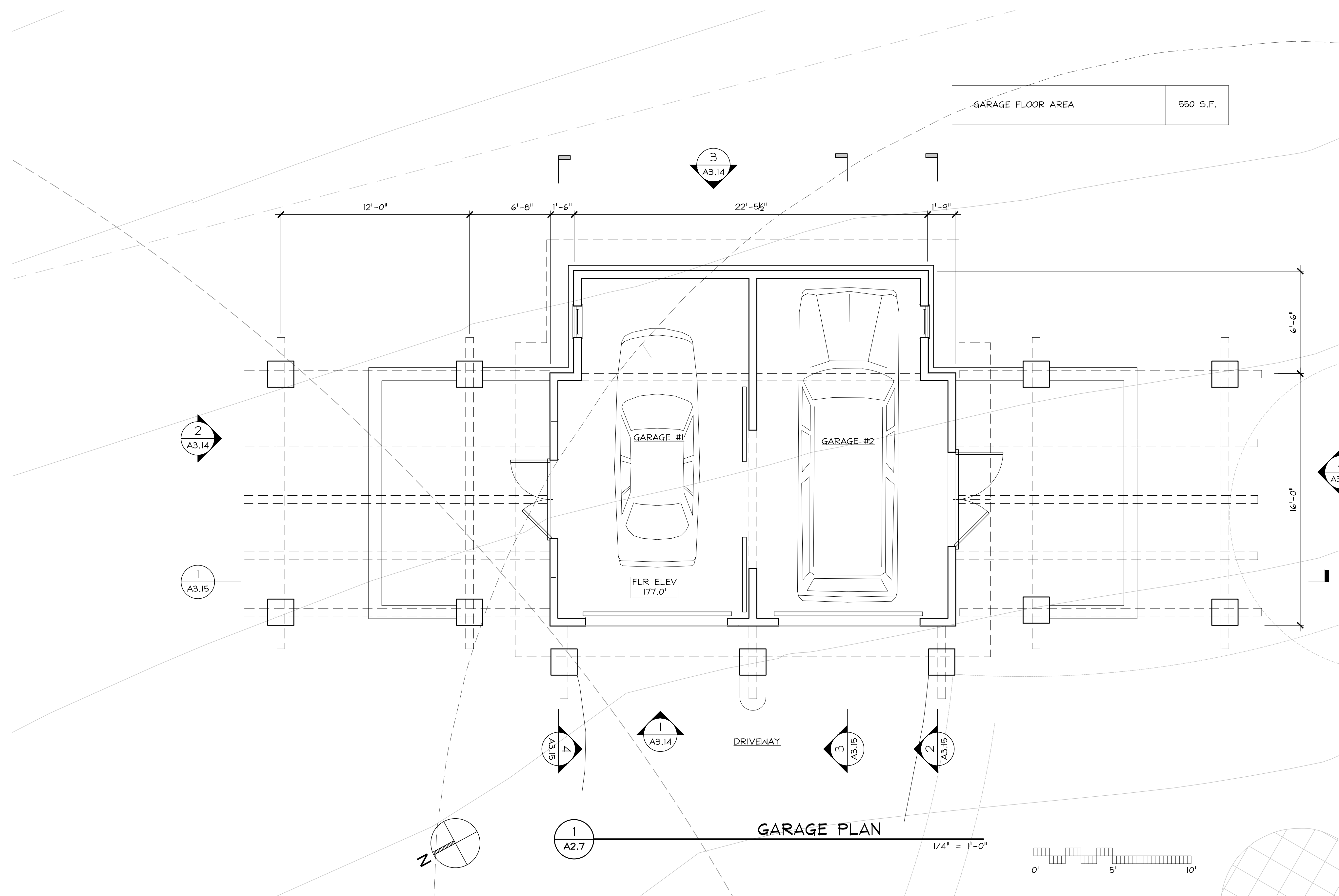
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2005,01

GARAGE PLAN

Sheet Number

A2.7



Project

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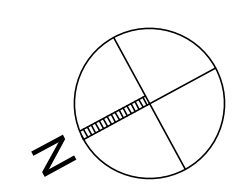
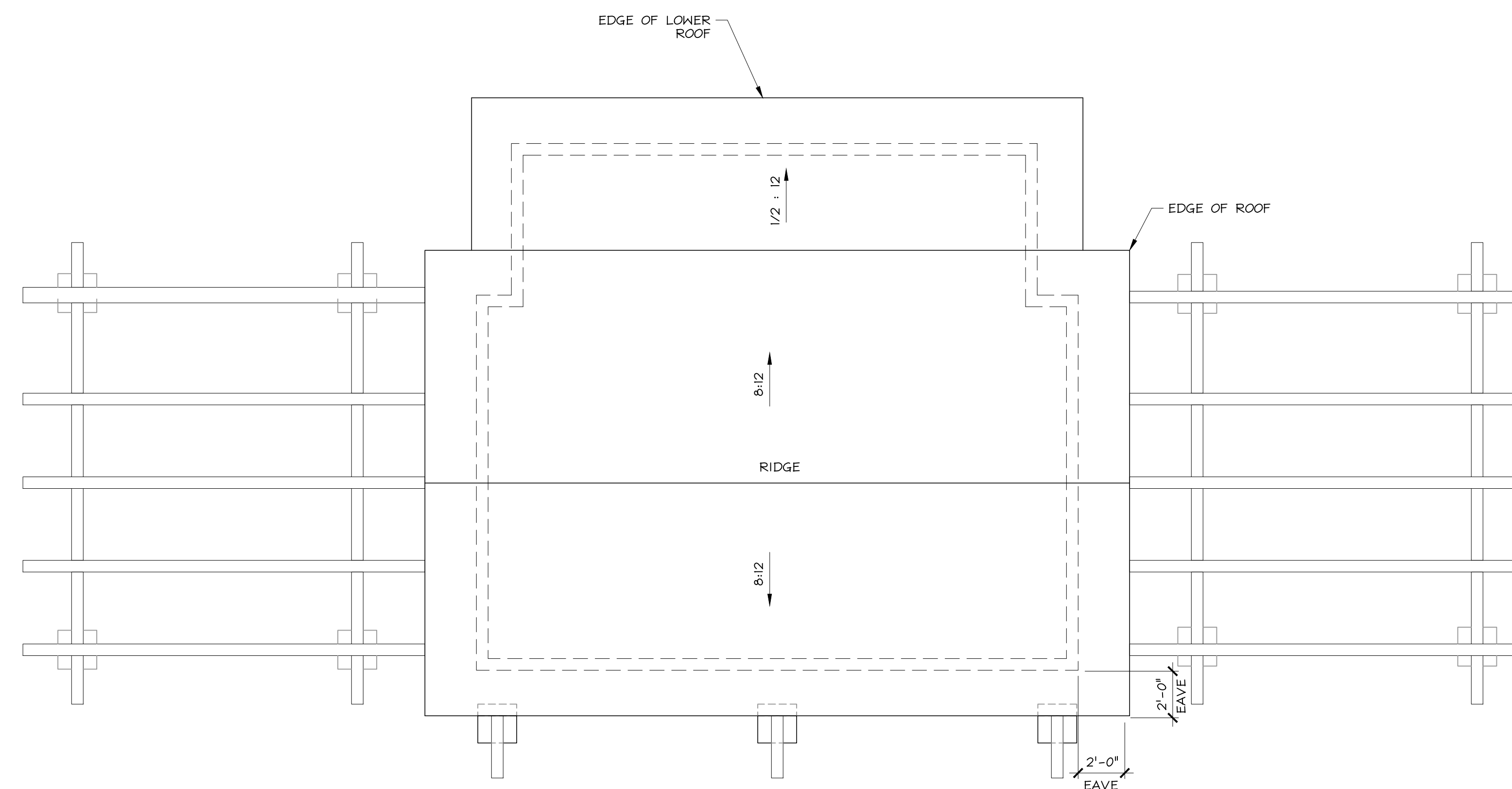
HM,a+e Job Number
2005,01

Sheet Title
**GARAGE
ROOF PLAN**

Sheet Number

A2.8

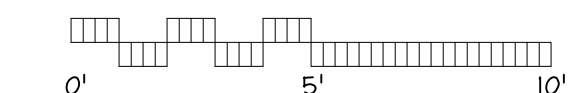
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1
A2.8

GARAGE ROOF PLAN

1/4" = 1'-0"



0501-A2-8.dwg Plot Date: 7.20.2015

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HM,a+e Job Number
2005,01

SHEET TITLE EAST ELEVATION

Sheet Number

A3.1

ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY		08. OPENINGS		26. LIGHTING	
04-01	CMU wall or Concrete wall	08-01	Wood or fiberglass windows	26-01	Wall Sconce. Hooded down light
05. METALS		09. FINISHES		26-02	Wall Fixture. Opaque reflector. down light
05-01	Steel guardrail	09-01	Stone veneer	26-03	Wall Sconce. Solid metal. Down light Low wattage
06. WOOD, PLASTICS, COMPOSITES		09-02	Dark brown wood stain	26-04	Solid metal. Down light Low wattage. Path light
06-01	Wood siding. Redwood or Cement Board	09-03	Paint. Ocean blue	26-05	Down light Low wattage. Fixture hidden in trellis framing
06-02	Wood trim. Redwood	09-04	Dark bronze paint		
06-03	Wood roof framing. Doug Fir	09-05	Cement Stucco. Off-white	32. EXTERIOR IMPROVEMENTS	
06-04	Wood trellis. Reclaimed. Natural oil finish	10. SPECIALTIES		32-01	Exterior paving. See A1.5
07. THERMAL & MOISTURE PROTECTION		10-01	Gas fireplace chimney	32-02	Landscaping boulder
07-01	Composite shingle. Black. Tamko Lamarite Slate	23. HVAC			
		23-01	Exhaust and vent stacks		
		23-02	Solar hot water panels		



GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

EAST ELEVATION ENTRY

1/4" = 1'-0"

0501-A3-1.dwg Plot Date: 7.20.2015

1
A3.1

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Design Review	07.10.2015

HM,a+e Job Number
2005,01

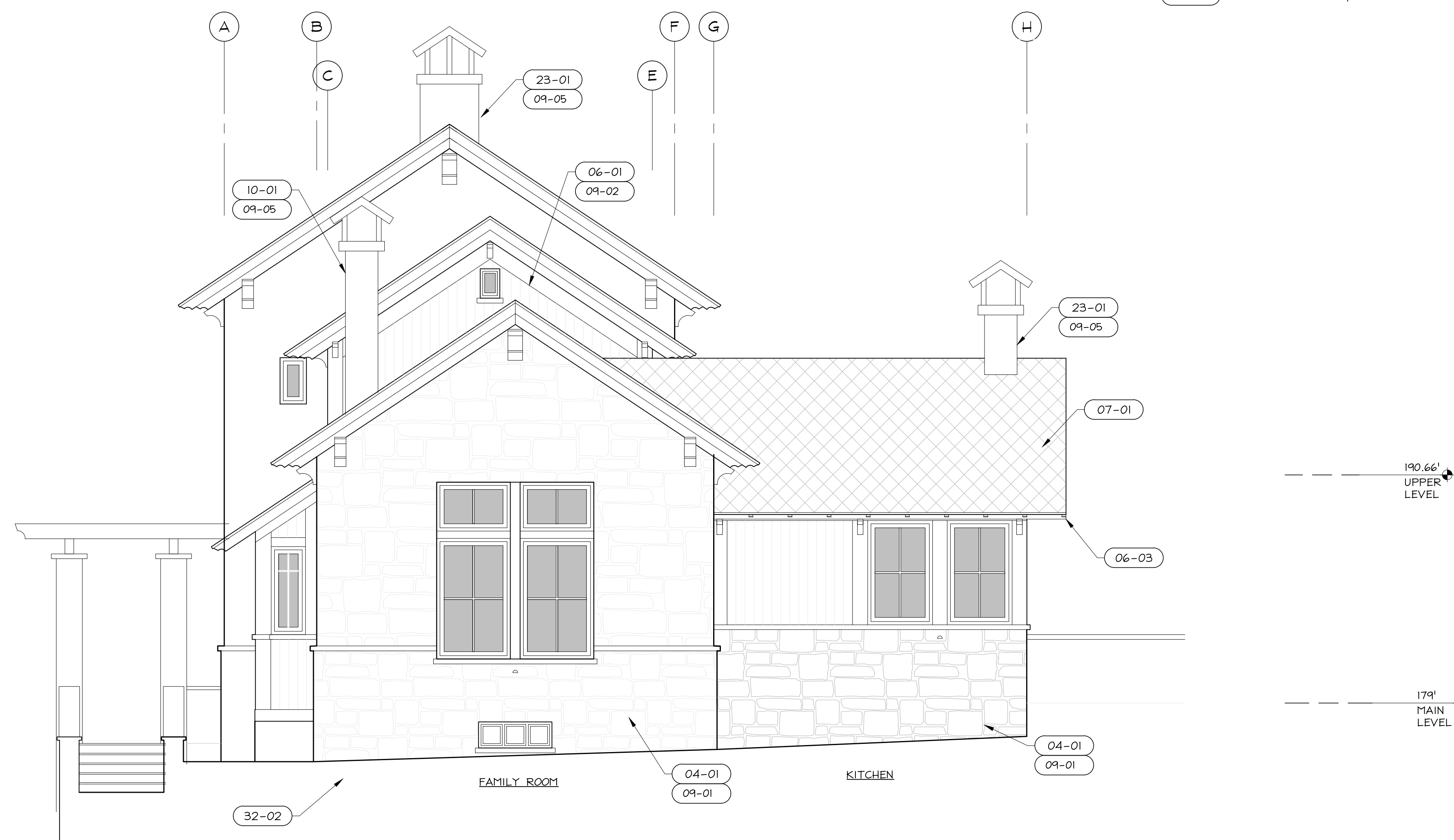
SOUTH ELEVATION

Sheet Number

A3.2

ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY		08. OPENINGS		26. LIGHTING	
04-01	CMU wall or Concrete wall	08-01	Wood or fiberglass windows	26-01	Wall Sconce. Hooded down light
05. METALS		09. FINISHES		26-02	Wall Fixture. Opague reflector. down light
05-01	Steel guardrail	09-01	Stone veneer	26-03	Wall Sconce. Solid metal. Down light Low wattage
06. WOOD, PLASTICS, COMPOSITES		09-02	Dark brown wood stain	26-04	Solid metal. Down light Low wattage. Path light
06-01	Wood siding. Redwood or Cement Board	09-03	Paint. Ocean blue	26-05	Down light Low wattage. Fixture hidden in trellis framing
06-02	Wood trim. Redwood	09-04	Dark bronze paint		
06-03	Wood roof framing. Doug Fir	09-05	Cement Stucco. Off-white	32. EXTERIOR IMPROVEMENTS	
06-04	Wood trellis. Reclaimed. Natural oil finish	10. SPECIALTIES		32-01	Exterior paving. See A1.5
07. THERMAL & MOISTURE PROTECTION		10-01	Gas fireplace chimney	32-02	Landscaping boulder
07-01	Composite shingle. Black. Tamko Lamarrite Slate	23. HVAC			
		23-01	Exhaust and vent stacks		
		23-02	Solar hot water panels		



GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

1
A3.2

SOUTH ELEVATION FAMILY ROOM AND KITCHEN

1/4" = 1'-0"

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HM,a+e Job Number
2005,01

Sheet Title
WEST ELEVATION

Sheet Number

A3.3

ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY		08. OPENINGS		26. LIGHTING	
04-01	CMU wall or Concrete wall	08-01	Wood or fiberglass windows	26-01	Wall Sconce. Hooded down light
05. METALS		09. FINISHES		26-02	Wall Fixture. Opaque reflector. down light
05-01	Steel guardrail	09-01	Stone veneer	26-03	Wall Sconce. Solid metal. Down light Low wattage
06. WOOD, PLASTICS, COMPOSITES		09-02	Dark brown wood stain	26-04	Solid metal. Down light Low wattage. Path light
06-01	Wood siding. Redwood or Cement Board	09-03	Paint. Ocean blue	26-05	Down light Low wattage. Fixture hidden in trellis framing
06-02	Wood trim. Redwood	09-04	Dark bronze paint		
06-03	Wood roof framing. Doug Fir	09-05	Cement Stucco. Off-white	32. EXTERIOR IMPROVEMENTS	
06-04	Wood trellis. Reclaimed. Natural oil finish			32-01	Exterior paving. See A1.5
07. THERMAL & MOISTURE PROTECTION		10. SPECIALTIES		32-02	Landscaping boulder
07-01	Composite shingle. Black. Tamko Lamarite Slate	10-01	Gas fireplace chimney		
		23. HVAC			
		23-01	Exhaust and vent stacks		
		23-02	Solar hot water panels		



NOTES:
1. ELEVATION DOES NOT SHOW BUILDING SKEWED.

GENERAL ELEVATION NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
2. SEE ROOF PLAN FOR ROOF SLOPES.
3. SEE ELEVATIONS FOR FINISH NOTES.

WEST ELEVATION SIDE OF BUILDING

1
A3.3

1/4" = 1'-0"

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Consultant

Stamp

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Planning Permit	03.18.2010
Coordination	09.12.2011
Planning	09.13.2011
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Coordination	10.11.2011
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Design Review	07.10.2015

HM,a+e Job Number
2005,01

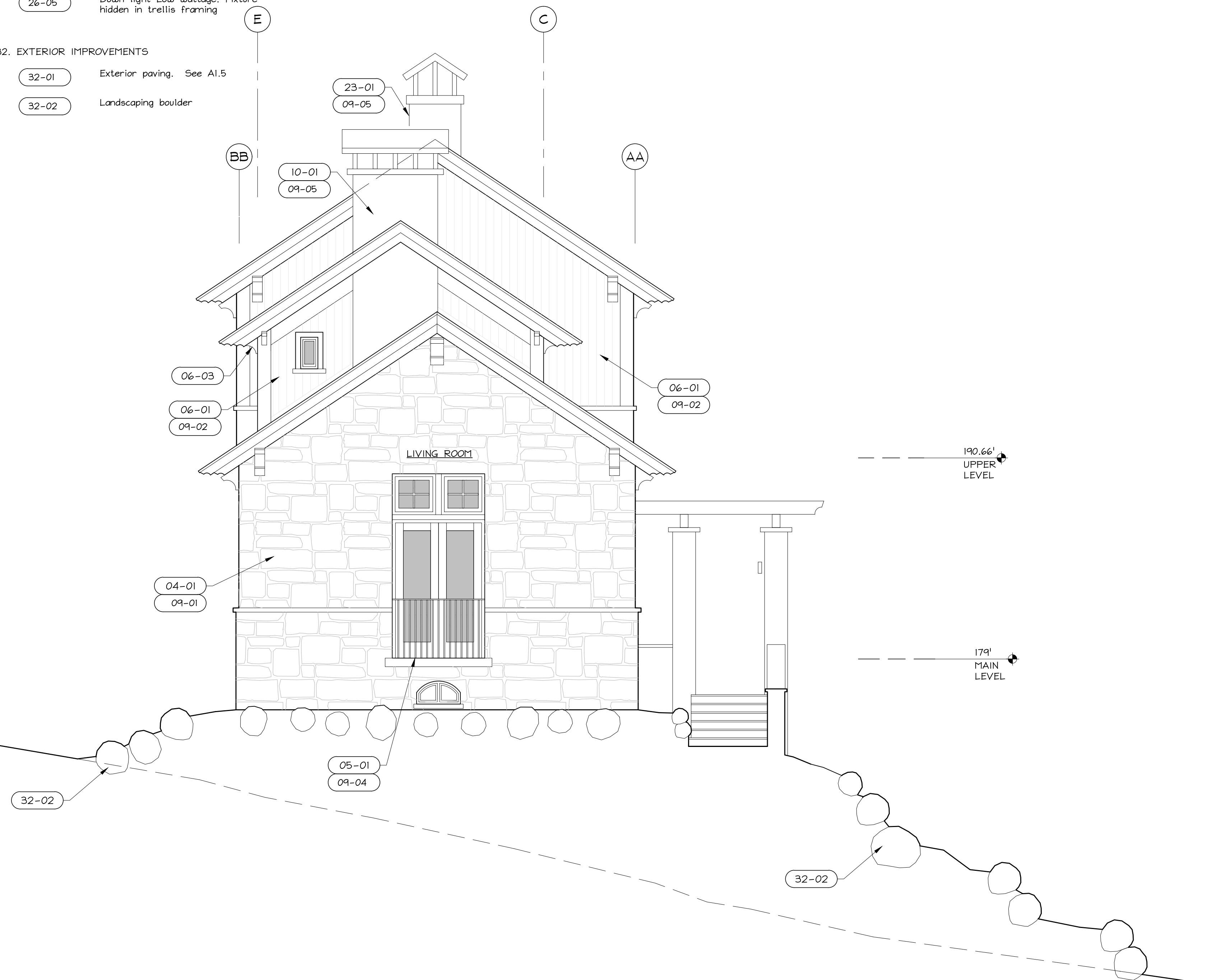
NORTH ELEVATION

Sheet Number

A3.4

ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY		08. OPENINGS		26. LIGHTING	
04-01	CMU wall or Concrete wall	08-01	Wood or fiberglass windows	26-01	Wall Sconce. Hooded down light
05. METALS		09. FINISHES.		26-02	Wall Fixture. Opaque reflector. down light
05-01	Steel guardrail	09-01	Stone veneer	26-03	Wall Sconce. Solid metal. Down light. Low wattage
06. WOOD, PLASTICS, COMPOSITES		09-02	Dark brown wood stain	26-04	Solid metal. Down light. Low wattage. Path light
06-01	Wood siding. Redwood or Cement Board	09-03	Paint. Ocean blue	26-05	Down light. Low wattage. Fixture hidden in trellis framing
06-02	Wood trim. Redwood	09-04	Dark bronze paint		
06-03	Wood roof framing. Doug Fir	09-05	Cement Stucco. Off-white	32. EXTERIOR IMPROVEMENTS	
06-04	Wood trellis. Reclaimed. Natural oil finish			32-01	Exterior paving. See A1.5
07. THERMAL & MOISTURE PROTECTION		10. SPECIALTIES		32-02	Landscaping boulder
07-01	Composite shingle. Black. Tamko Lamarite Slate	10-01	Gas fireplace chimney		
		23. HVAC			
		23-01	Exhaust and vent stacks		
		23-02	Solar hot water panels		



NOTES:
1. ELEVATION DOES NOT SHOW BUILDING SKEWED.

GENERAL ELEVATION NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
2. SEE ROOF PLAN FOR ROOF SLOPES.
3. SEE ELEVATIONS FOR FINISH NOTES

1
A3.4

NORTH ELEVATION LIVING ROOM

1/4" = 1'-0"

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Design Review	07.10.2015

HM,a+e Job Number
2005,01

LIVING ROOM SECTION

Sheet Number

A3.5



1. NOTES:
NS ARE FOR REFERENCE. SEE
JAL FLOOR ELEVATIONS.
FOR ROOF SLOPES.
FOR FINISH NOTES

2
A3.5

LIVING ROOM SECTION
LOOKING SOUTH

1/4" = 1'-0"

GENERAL ELEVATION NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE
PLANS FOR ACTUAL FLOOR ELEVATIONS.
2. SEE ROOF PLAN FOR ROOF SLOPES.
3. SEE ELEVATIONS FOR FINISH NOTES

1
A3.5

LIVING ROOM SECTION
LOOKING NORTH

1/4" = 1'-0"

Project

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Design Review	07.10.2015

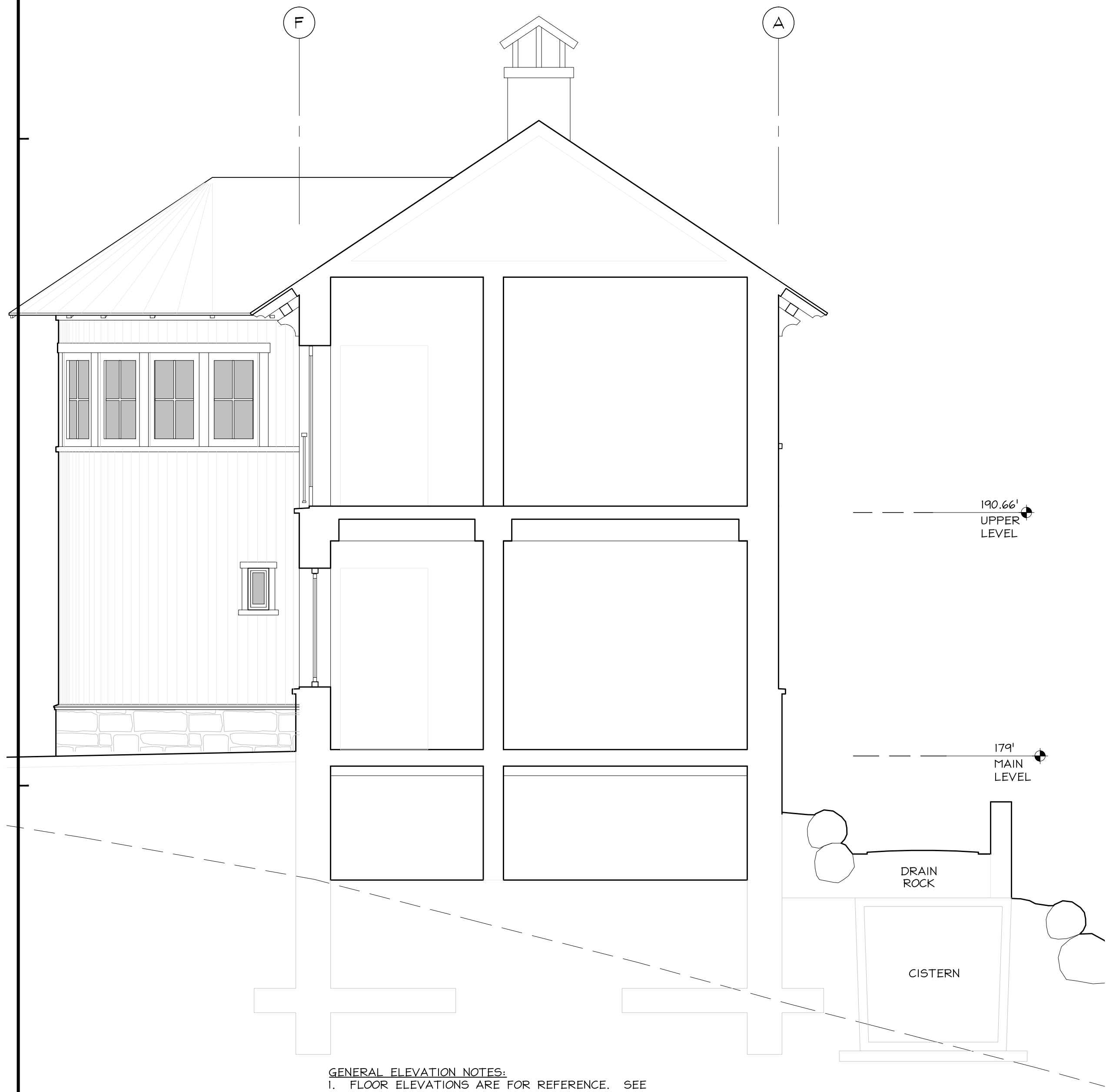
HM,a+e Job Number
2005,01

Sheet Title

STAIR SECTIONS

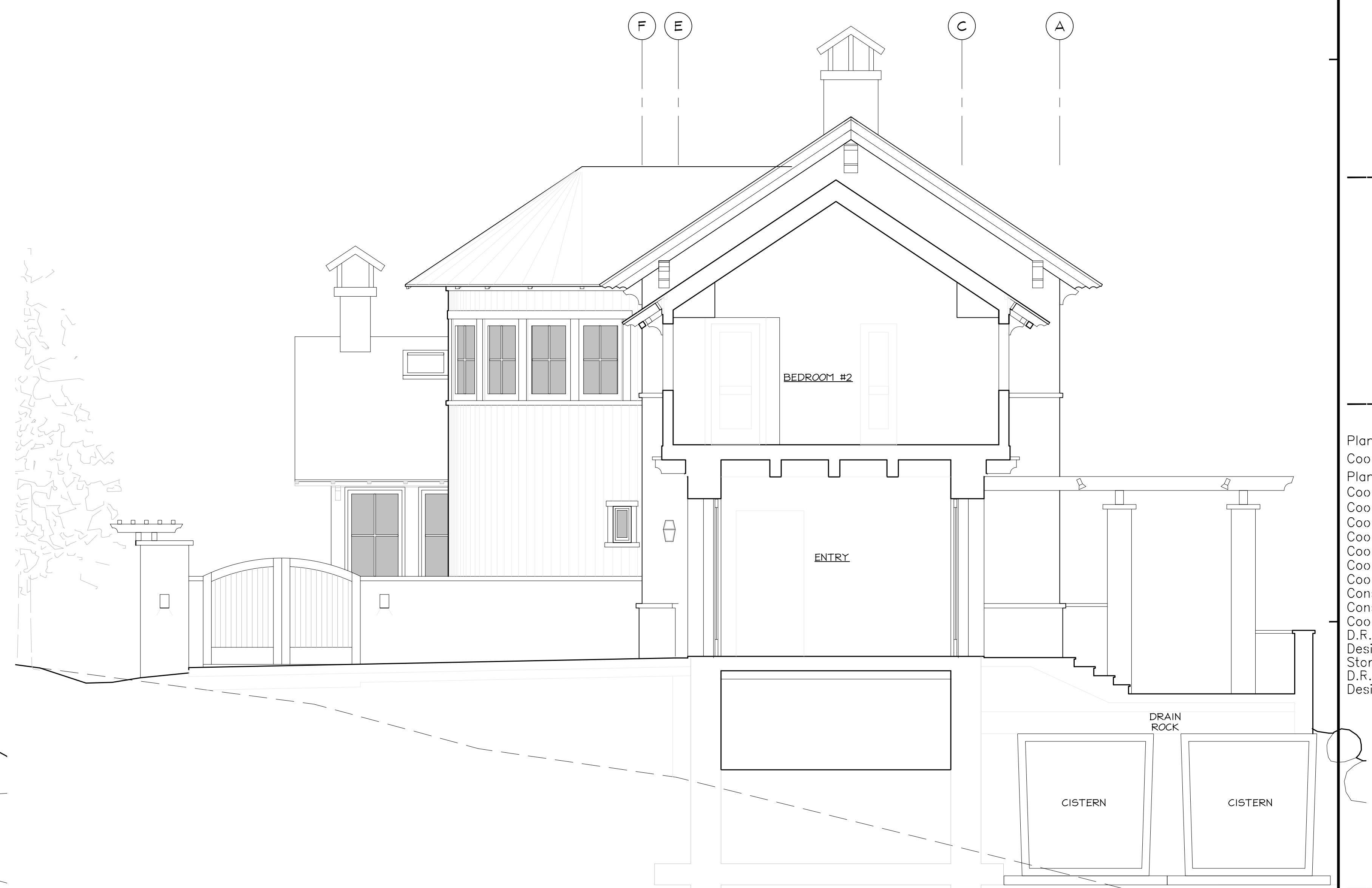
Sheet Number

A3.6



GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

2
A3.6 **BEDROOM SECTION**
LOOKING SOUTH 1/4" = 1'-0"



GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

1
A3.6 **ENTRY HALL SECTION**
LOOKING SOUTH 1/4" = 1'-0"

**BEWLEY
RESIDENCE**

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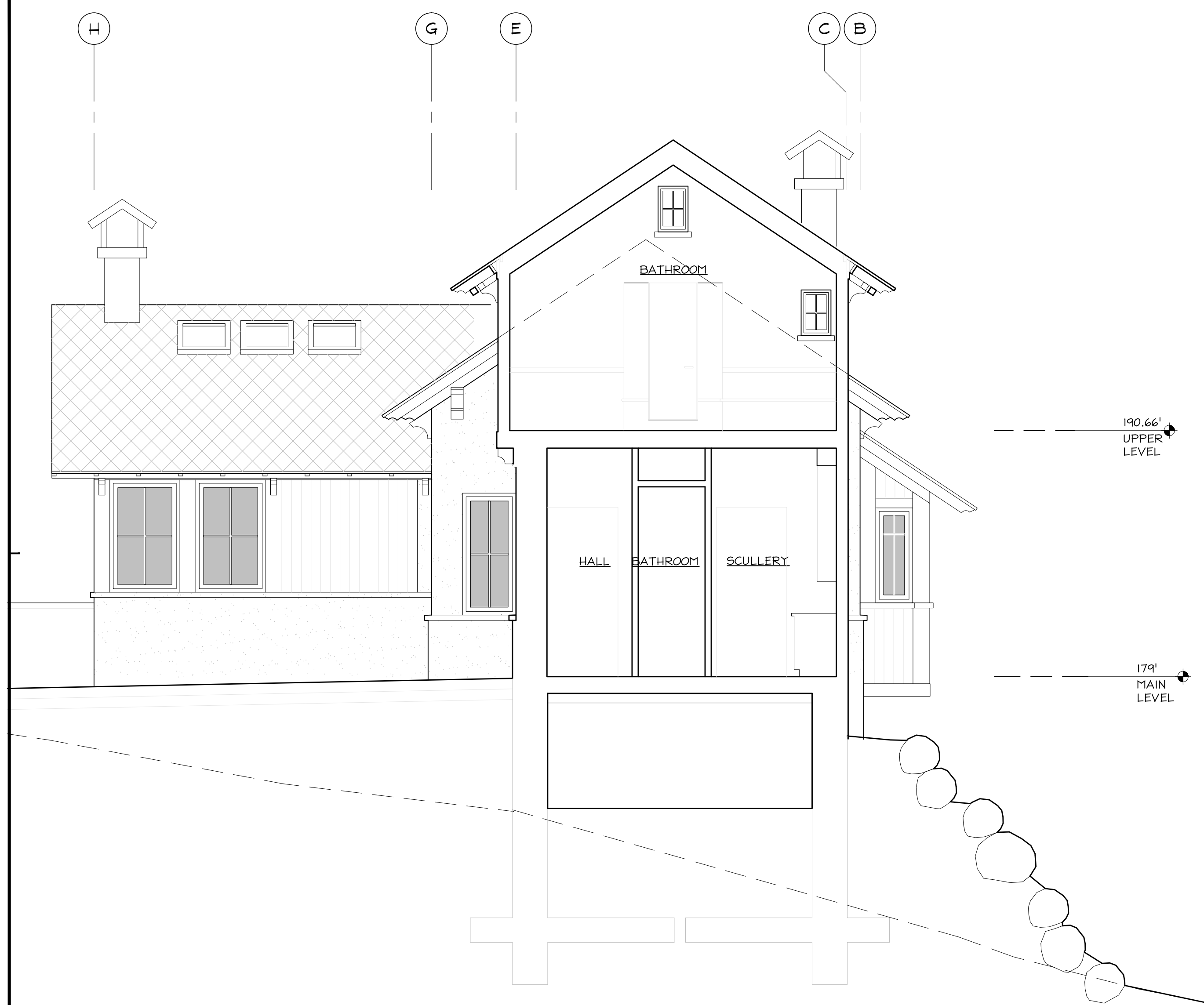
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Design Review	07.10.2015

HM,a+e Job Number
2005,01

Sheet Title
**DINING ROOM &
MASTER BEDROOM
SECTIONS**

Sheet Number

A3.7

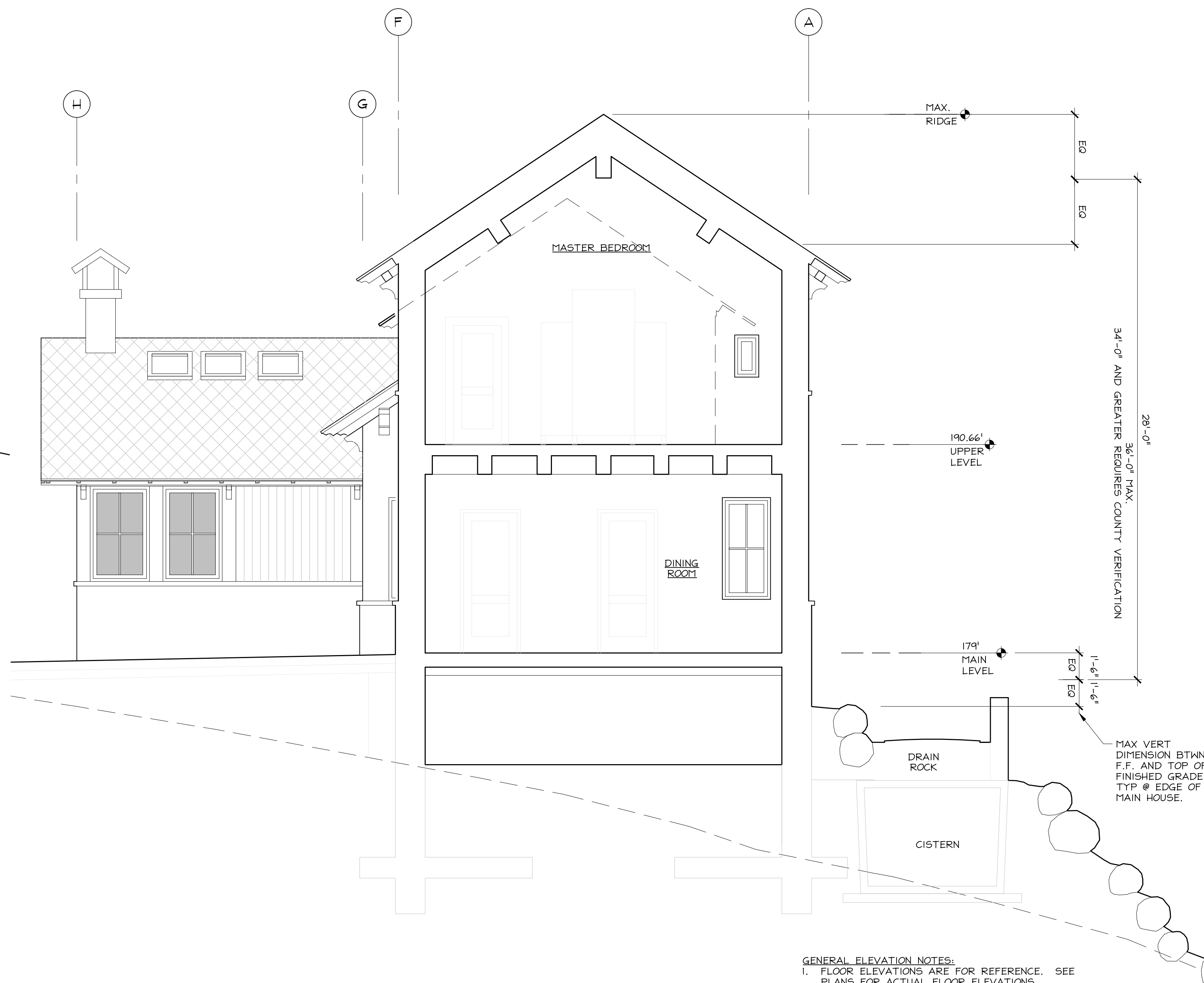


GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

2
A3.7

**MASTER BEDROOM SECTION
LOOKING SOUTH**

1/4" = 1'-0"



GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

1
A3.7

**DINING ROOM SECTION
LOOKING SOUTH**

1/4" = 1'-0"

Project

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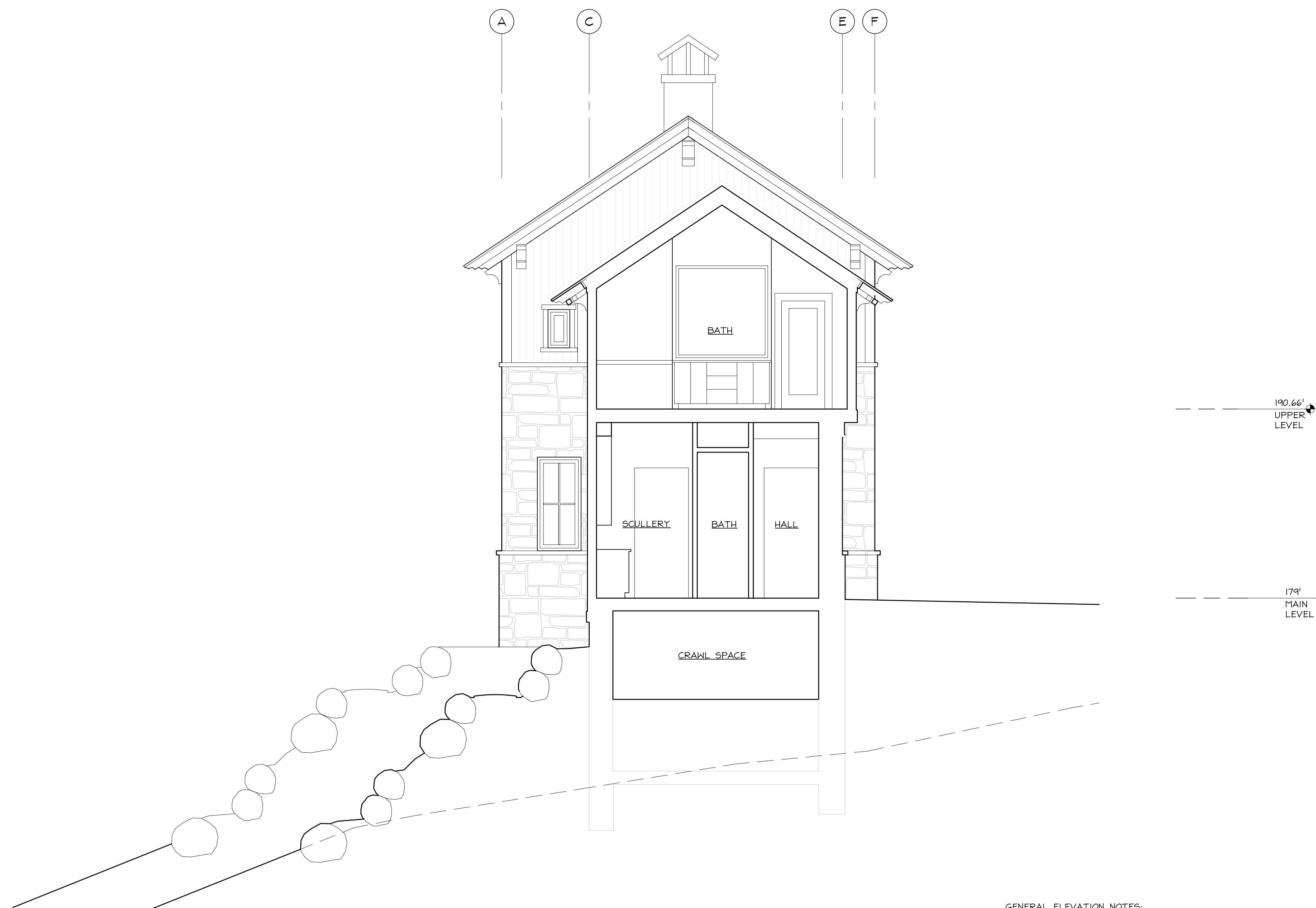
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HM,a+e Job Number
2005,01

Sheet Title
**MASTER
BEDROOM
SECTION**

Sheet Number

A3.8



GENERAL ELEVATION NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE ELEVATIONS FOR FINISH NOTES

MASTER BATHROOM SECTION
LOOKING NORTH

1/4" = 1'-0"

1
A3.8

**BEWLEY
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HM,a+e Job Number
2005,01

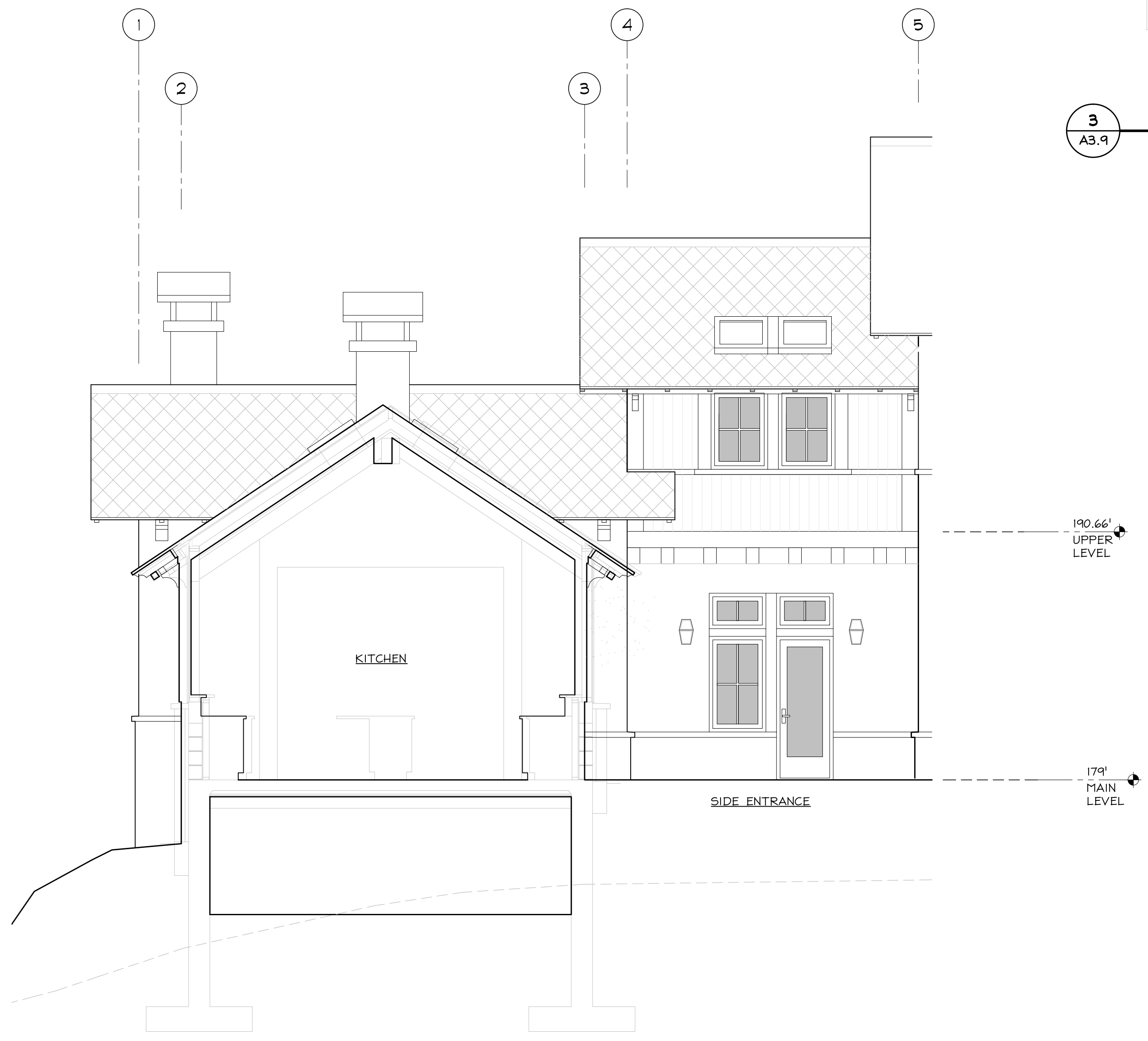
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Sheet Number

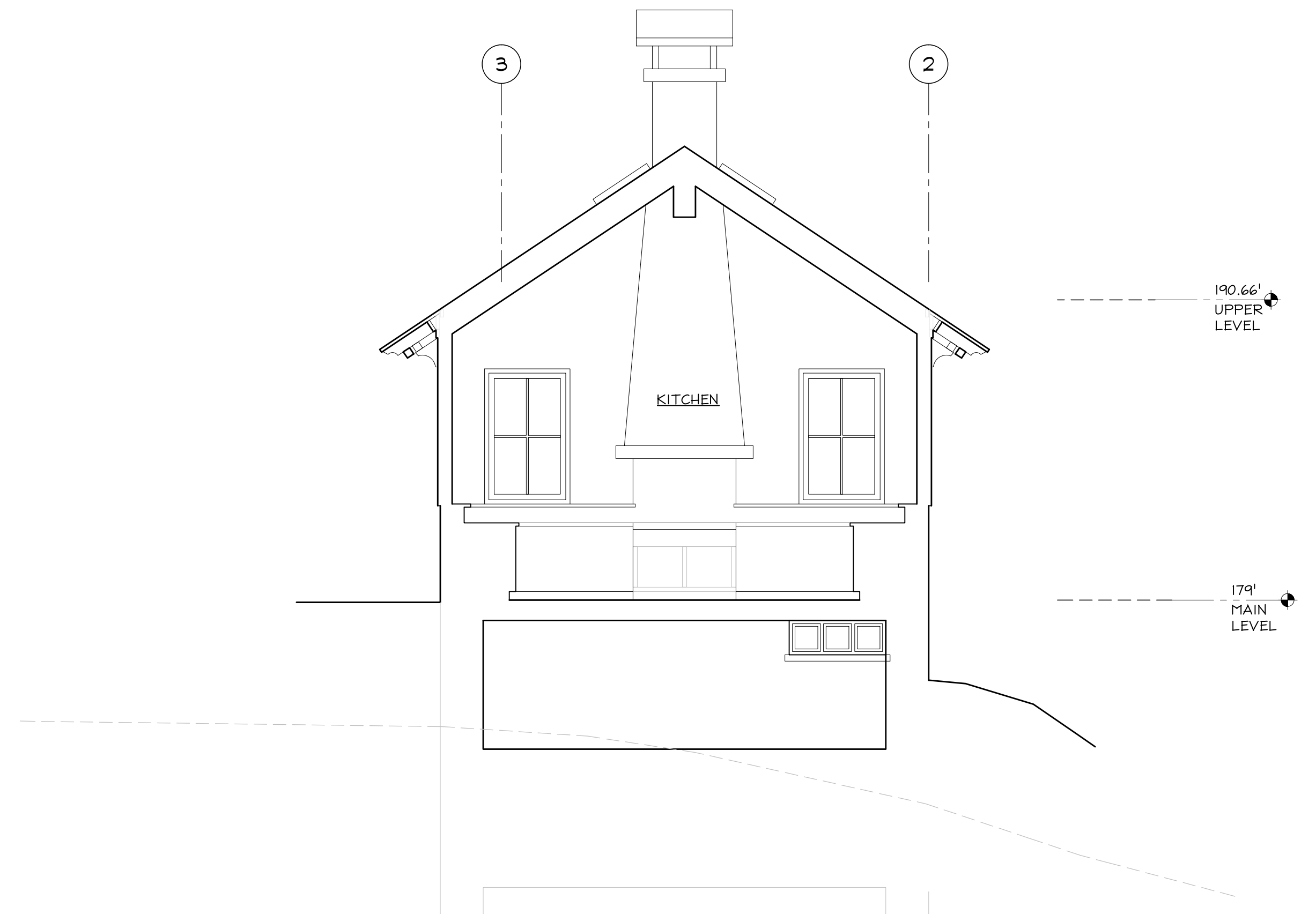
A3.9



3
A3.9
**KITCHEN AND FAMILY ROOM SECTION
LOOKING SOUTH**
1/4" = 1'-0"



2
A3.9
**KITCHEN SECTION
LOOKING WEST**
1/4" = 1'-0"



1
A3.9
**KITCHEN SECTION
LOOKING EAST**
1/4" = 1'-0"

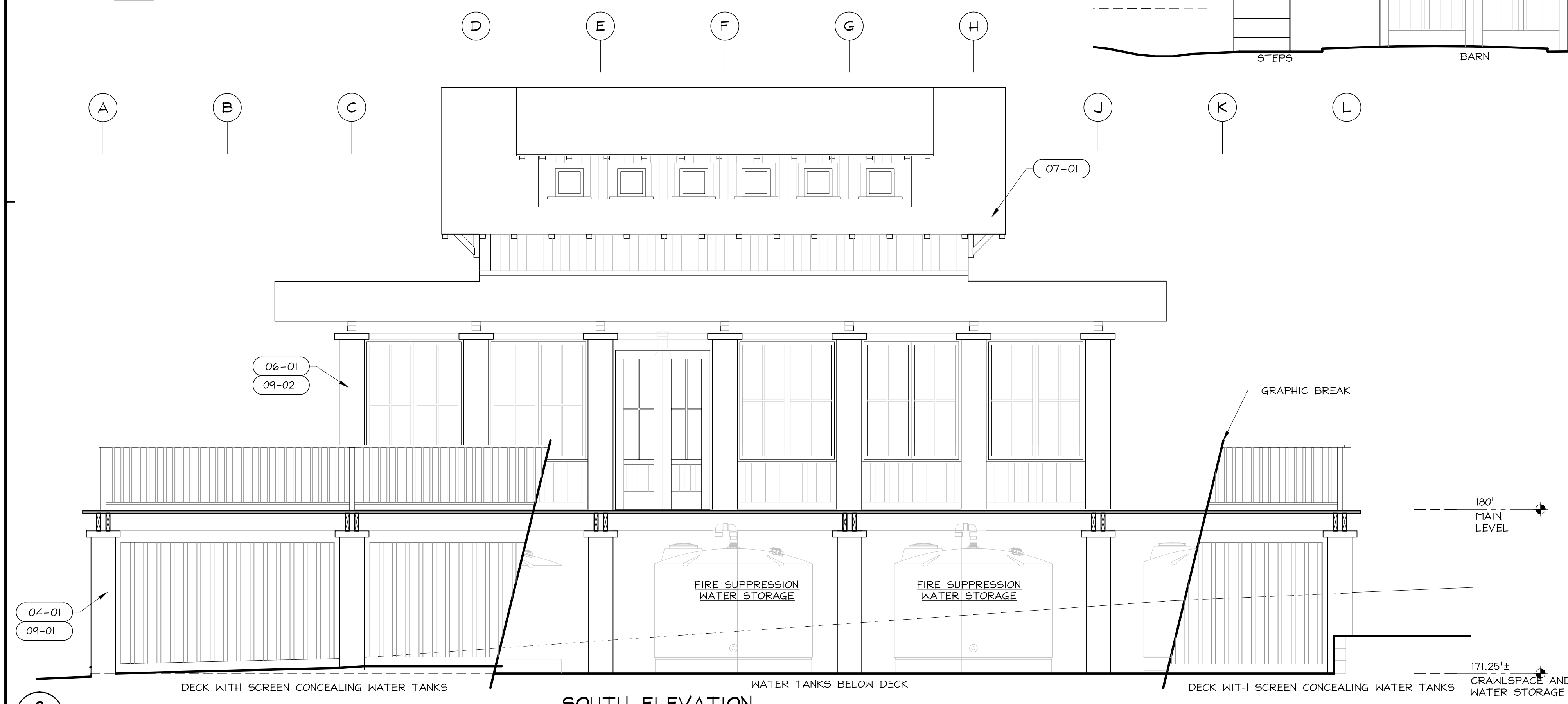
KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY	
04-01	CMU wall
05. METALS	
05-01	Steel guardrail
06. WOOD, PLASTICS, COMPOSITES	
06-01	Wood siding. Redwood
06-02	Wood trim. Redwood
06-03	Wood roof framing. Doug Fir
06-04	Wood trellis. Reclaimed. Natural oil finish
07. THERMAL & MOISTURE PROTECTION	
07-01	Composite shingle. Black. Tarko Lamarrite Slate

KEY (C.S.I.#-ITEM#)	DESCRIPTION
08. OPENINGS	
08-01	Wood or fiberglass windows
09. FINISHES.	
09-01	Plaster over concrete masonry. Lime. Off-white
09-02	Dark brown wood stain
09-03	Paint. Ocean blue
09-04	Dark bronze paint
09-05	Cement Stucco. Off-white
10. SPECIALTIES	
10-01	Gas fireplace chimney

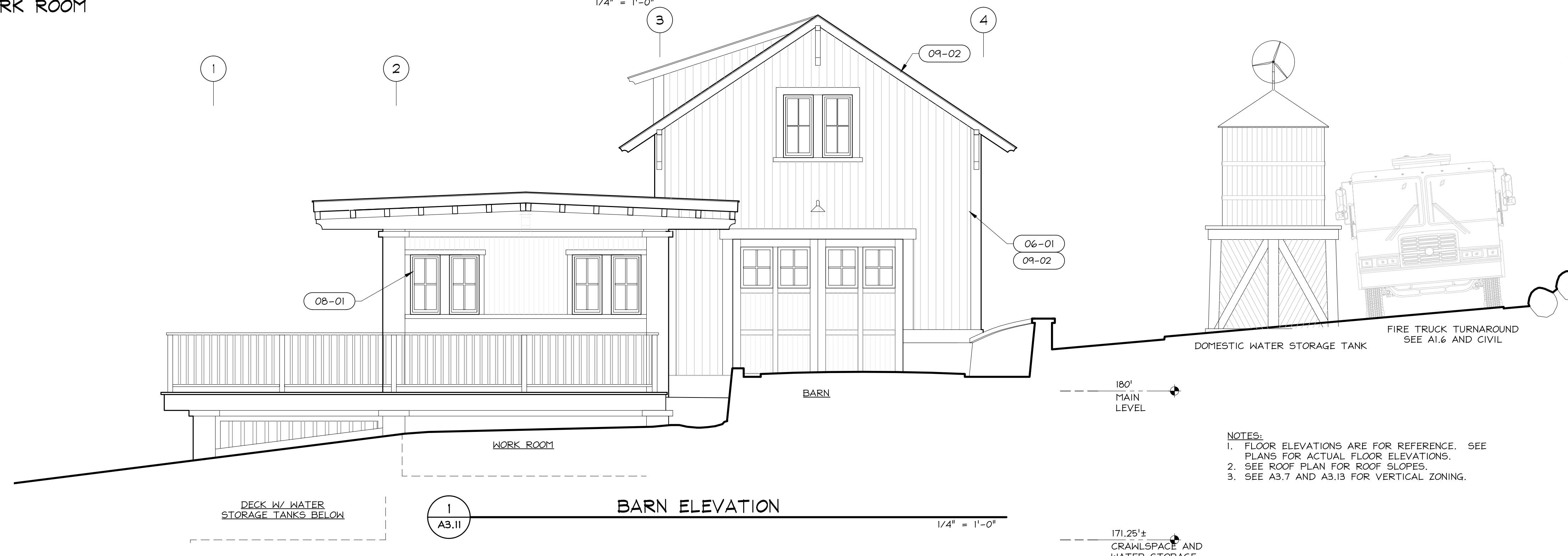
KEY (C.S.I.#-ITEM#)	DESCRIPTION
23. HVAC	
23-01	Exhaust and vent stacks
23-02	Solar hot water panels
26. LIGHTING	
26-01	Wall Sconce. Hooded down light
26-02	Wall Fixture. Opaque reflector. down light
32. EXTERIOR IMPROVEMENTS	
32-01	Exterior paving. See A1.5



3
A3.11
**WEST ELEVATION
WORK ROOM & BARN**
1/4" = 1'-0"



2
A3.11
**SOUTH ELEVATION
WORK ROOM**
1/4" = 1'-0"



1
A3.11
BARN ELEVATION
1/4" = 1'-0"

NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
2. SEE ROOF PLAN FOR ROOF SLOPES.
3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

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Design Review	07.10.2015

HM,a+e Job Number
2005,01

Sheet Title
BARN ELEVATIONS

Sheet Number
A3.11

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HM,a+e Job Number
2005.01

Sheet Title

STUDIO ELEVATIONS

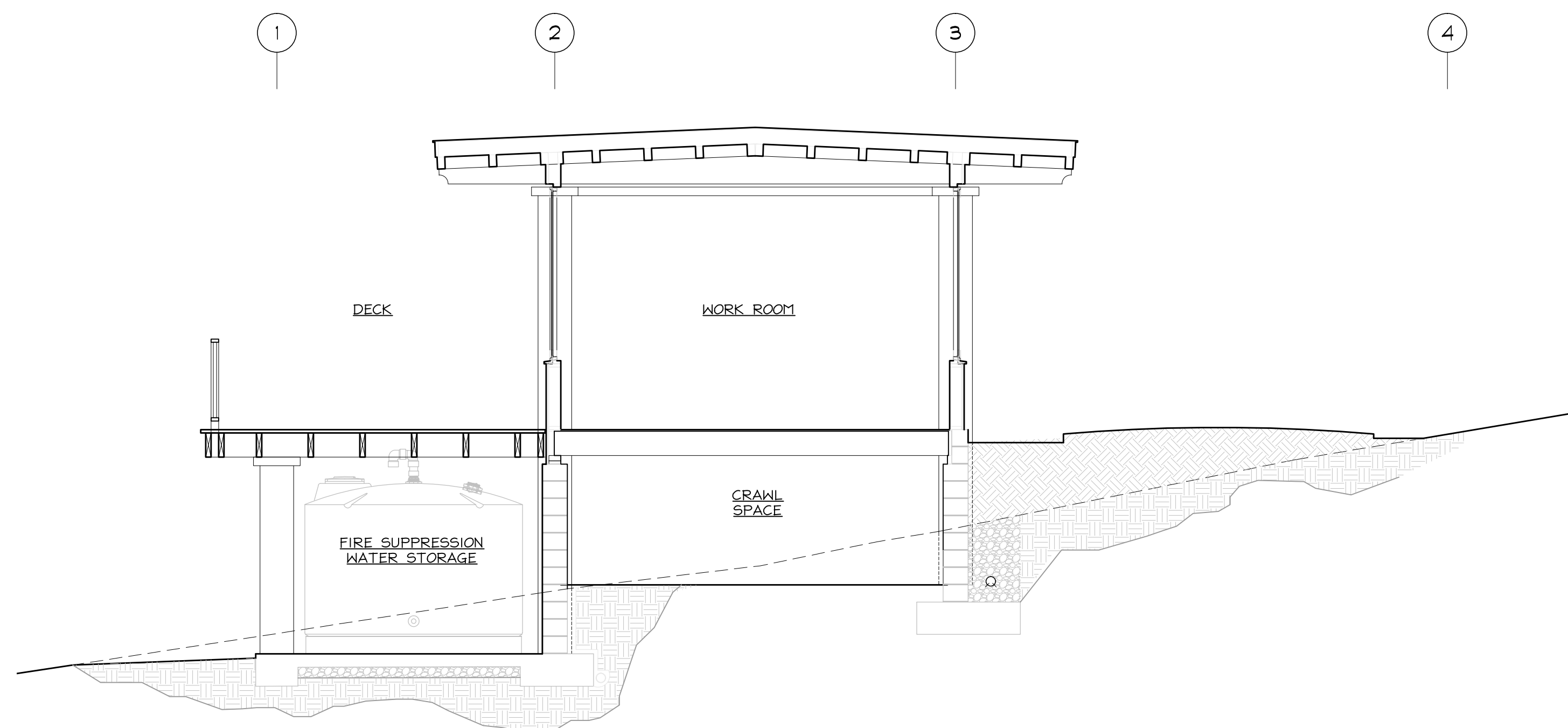
Sheet Number

A3.12

ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04-01	CMU wall	08-01	Wood or fiberglass windows
05-01	Steel guardrail	09-01	Plaster over concrete masonry. Lime. Off-white
06-01	Wood siding. Redwood	09-02	Dark brown wood stain
06-02	Wood trim. Redwood	09-03	Paint. Ocean blue
06-03	Wood roof framing. Doug Fir	09-04	Dark bronze paint
06-04	Wood trellis. Reclaimed. Natural oil finish	09-05	Cement Stucco. Off-white
07-01	Composite shingle. Black. Tamko Lamarite Slate	10-01	Gas fireplace chimney

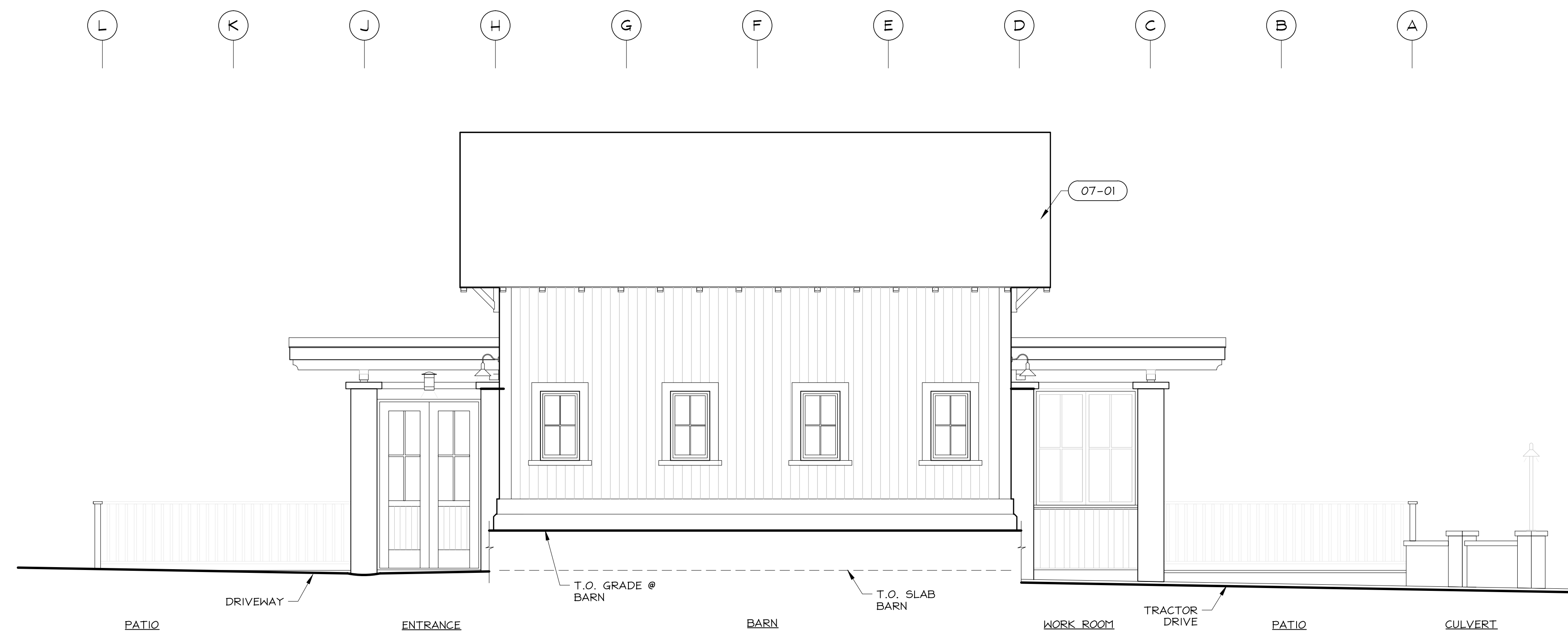
KEY (C.S.I.#-ITEM#)	DESCRIPTION
23-01	Exhaust and vent stacks
23-02	Solar hot water panels
26-01	Wall Sconce. Hooded down light
26-02	Wall Fixture. Opaque reflector. down light
32-01	Exterior paving. See A1.5



3
A3.12

WORK ROOM SECTION

1/4" = 1'-0"



1
A3.12

NORTH ELEVATION

1/4" = 1'-0"

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HM,a+e Job Number
2005.01

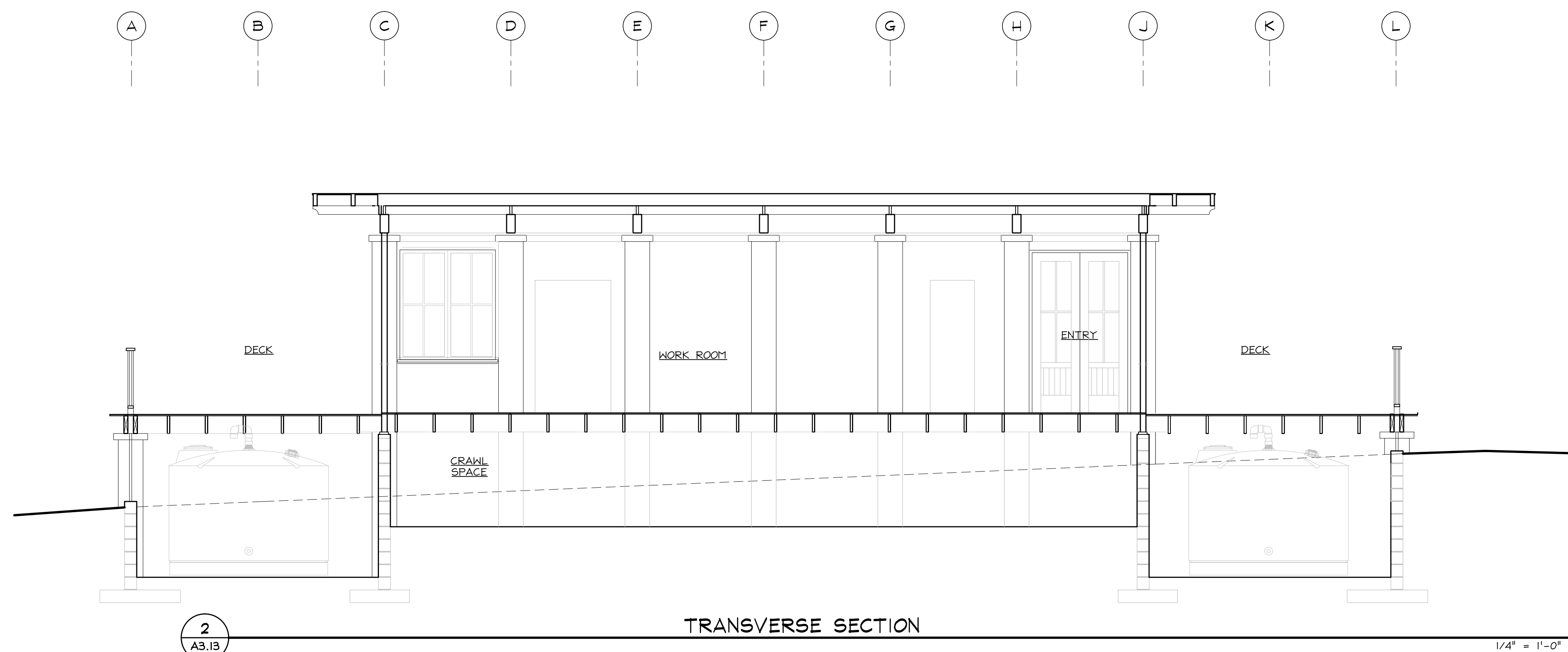
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BARN ELEVATIONS

Sheet Number

A3.13

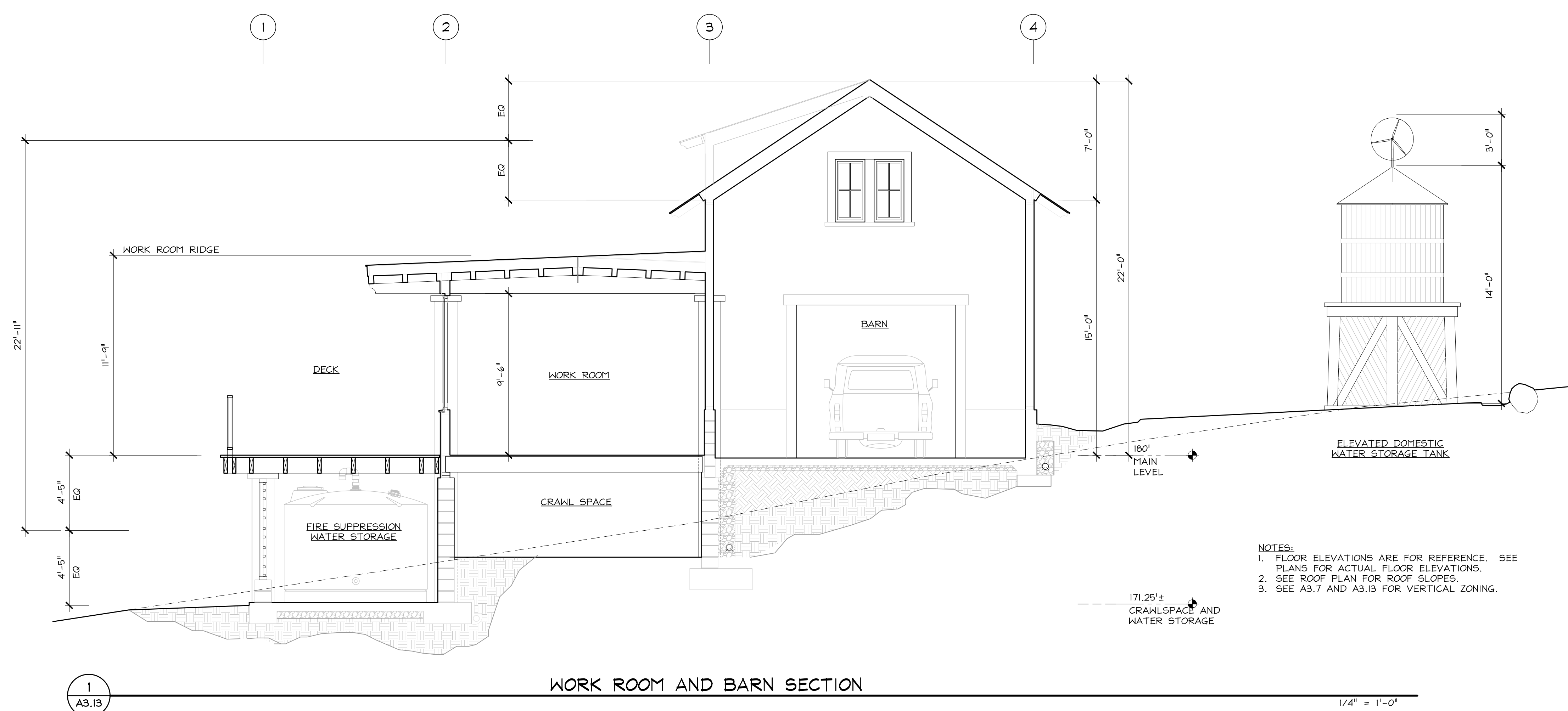
ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY	CMU wall	08. OPENINGS	Wood or fiberglass windows
05. METALS	Steel guardrail	09. FINISHES.	Plaster over concrete masonry. Lime, Off-white
06. WOOD, PLASTICS, COMPOSITES	Wood siding. Redwood		Dark brown wood stain
	Wood trim. Redwood		Paint. Ocean blue
	Wood roof framing. Doug Fir		Dark bronze paint
	Wood trellis. Reclaimed. Natural oil finish		Cement Stucco. Off-white
07. THERMAL & MOISTURE PROTECTION	Composite shingle. Black. Tamko Lamarrite Slate	10. SPECIALTIES	Gas fireplace chimney
KEY (C.S.I.#-ITEM#)	DESCRIPTION		
23. HVAC	Exhaust and vent stacks		
	Solar hot water panels		
26. LIGHTING	Wall Sconce. Hooded down light		
	Wall Fixture. Opaque reflector. down light		
32. EXTERIOR IMPROVEMENTS	Exterior paving. See A1.5		



TRANSVERSE SECTION

1/4" = 1'-0"



WORK ROOM AND BARN SECTION

1/4" = 1'-0"

- NOTES:
1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 2. SEE ROOF PLAN FOR ROOF SLOPES.
 3. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

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Consultant

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Design Review	07.10.2015

HM,a+e Job Number
2005.01

Sheet Title

GARAGE ELEVATIONS

Sheet Number

A3.14

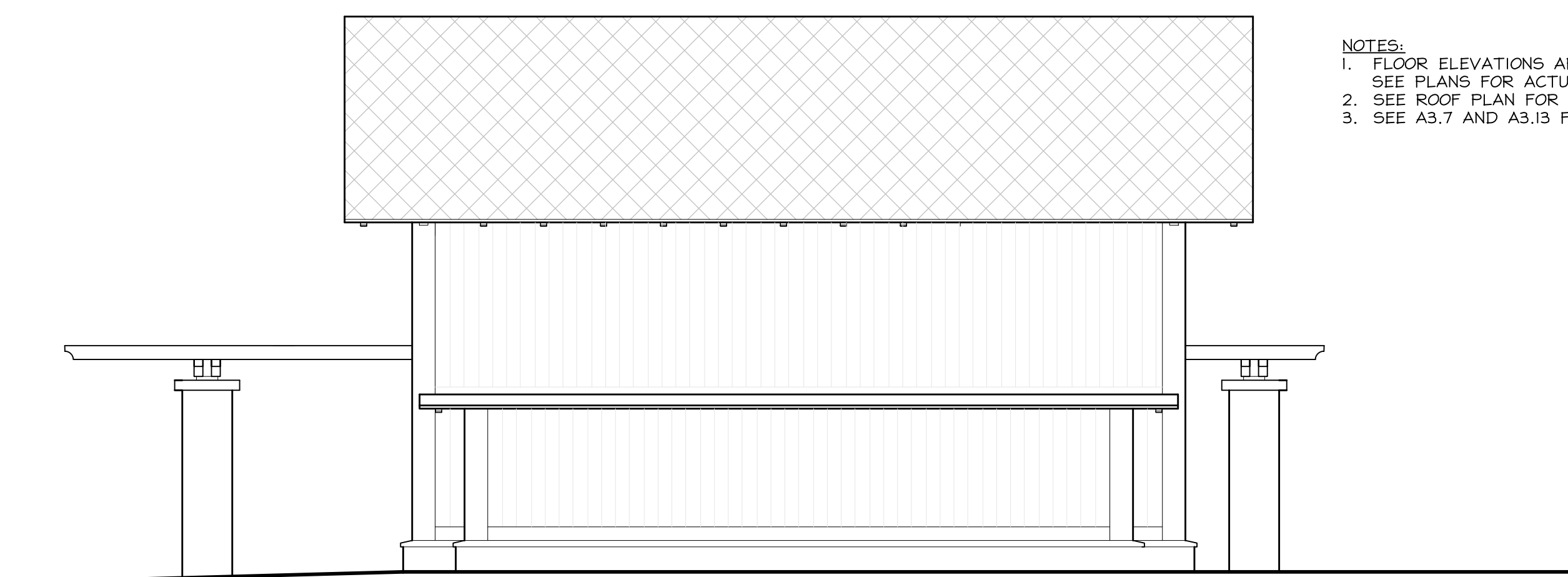
ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY	CMU wall	08. OPENINGS	Wood or fiberglass windows	23. HVAC	Exhaust and vent stacks
05. METALS	Steel guardrail	09. FINISHES	Plaster over concrete masonry. Lime. Off-white	26. LIGHTING	Solar hot water panels
06. WOOD, PLASTICS, COMPOSITES	Wood siding. Redwood		Dark brown wood stain		Wall Sconce. Hooded down light
	Wood trim. Redwood		Paint. Ocean blue		Wall Fixture. Opaque reflector. down light
	Wood roof framing. Doug Fir		Dark bronze paint	32. EXTERIOR IMPROVEMENTS	Exterior paving. See A1.5
07. THERMAL & MOISTURE PROTECTION	Wood trellis. Reclaimed. Natural oil finish	10. SPECIALTIES	Cement Stucco. Off-white		
	Composite shingle. Black. Tamko Lamarite Slate		Gas fireplace chimney		



NOTES:
 1. FLOOR ELEVATIONS ARE FOR REFERENCE.
 2. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 3. SEE ROOF PLAN FOR ROOF SLOPES.
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

4 SOUTH ELEVATION GARAGE 1/4" = 1'-0"



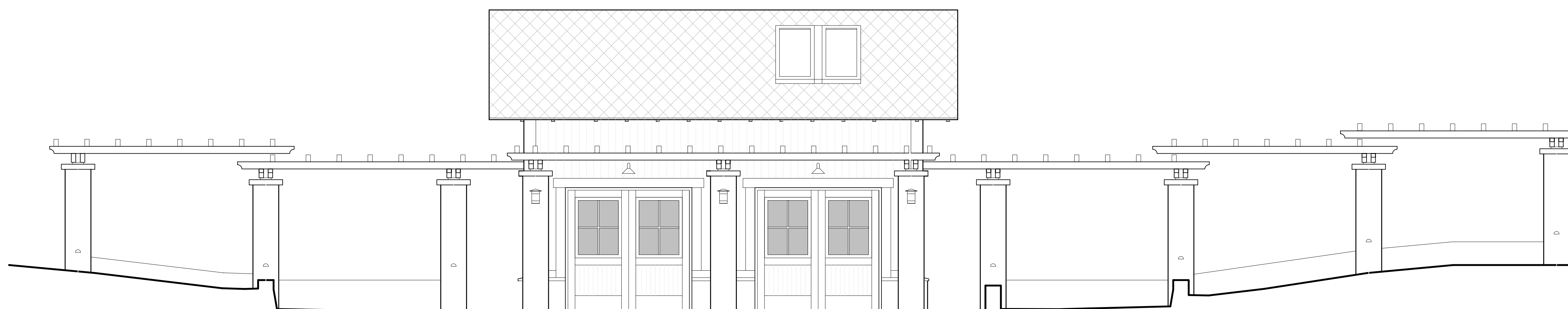
NOTES:
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 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

3 EAST ELEVATION GARAGE 1/4" = 1'-0"



NOTES:
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 2. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 3. SEE ROOF PLAN FOR ROOF SLOPES.
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

2 NORTH ELEVATION GARAGE 1/4" = 1'-0"



NOTES:
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 2. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.
 3. SEE ROOF PLAN FOR ROOF SLOPES.
 4. SEE A3.7 AND A3.13 FOR VERTICAL ZONING.

1 WEST ELEVATION GARAGE 1/4" = 1'-0"

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Coordination	08.08.2013
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Coordination	11.05.2013
Constraints Map	11.07.2013
Constraints Map	11.25.2013
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Design Review	07.10.2015

HM,a+e Job Number
2005.01

Sheet Title
GARAGE ELEVATIONS

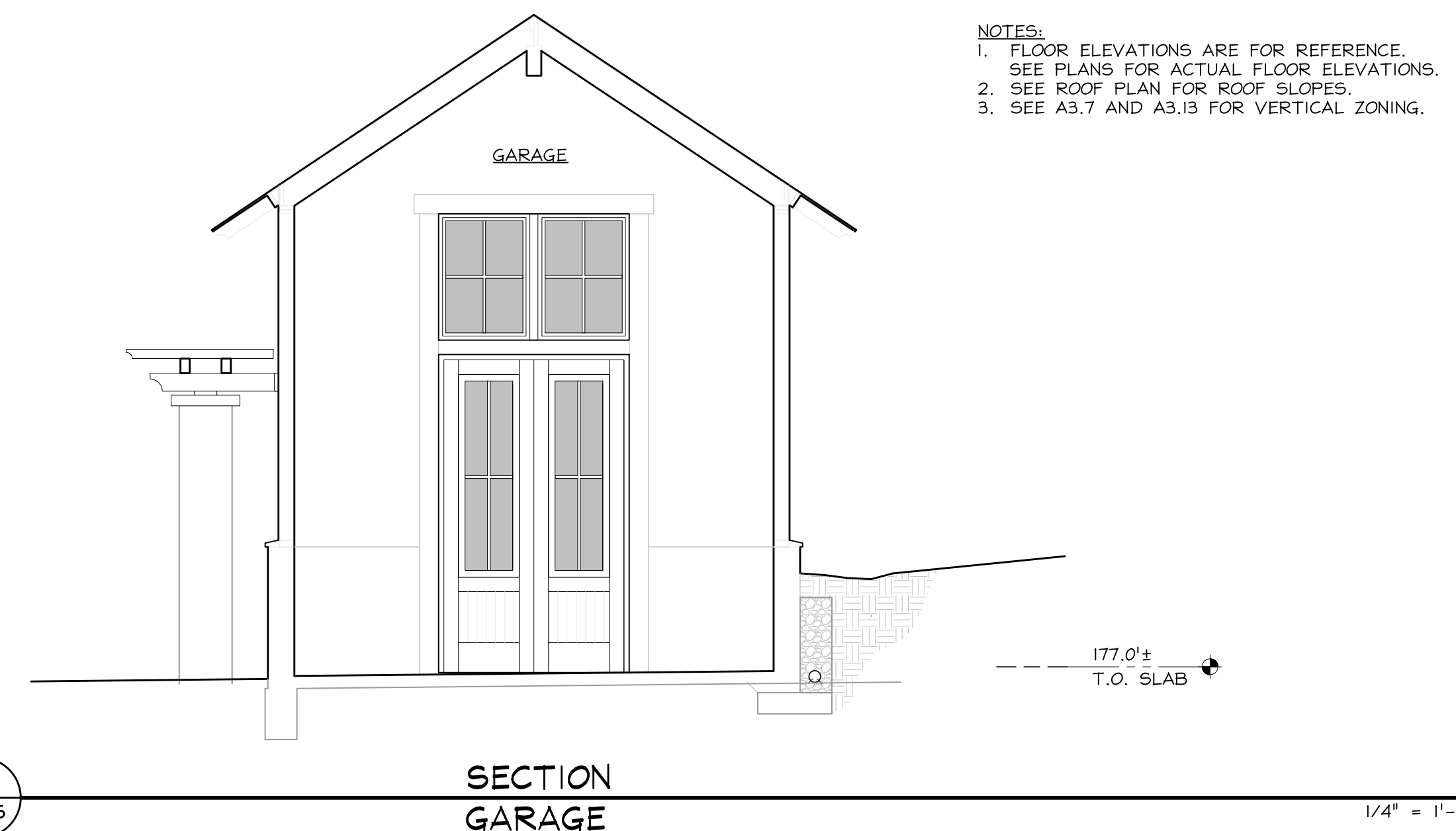
Sheet Number

A3.15

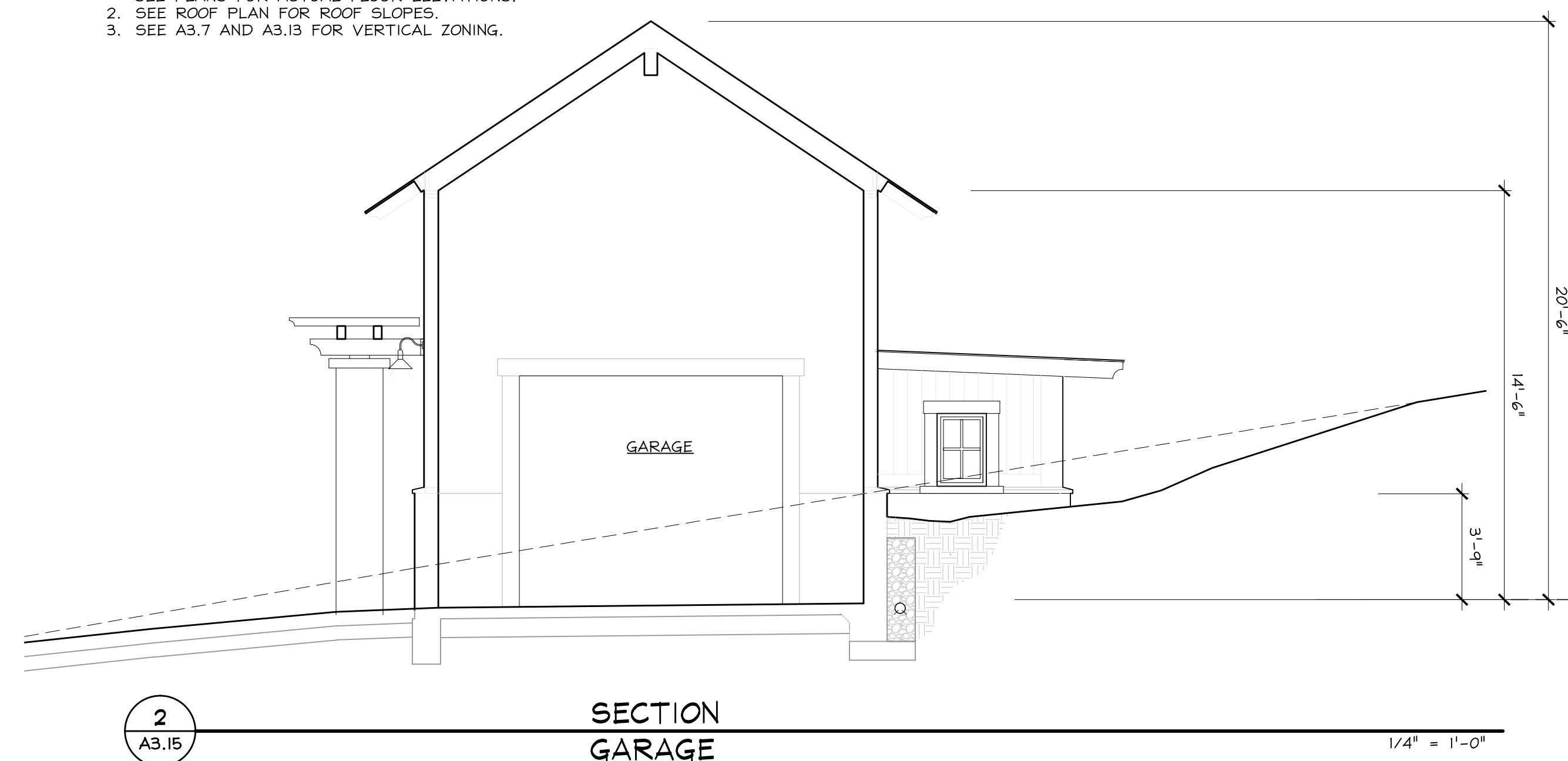
ELEVATION NOTES

KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION	KEY (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY	CMU wall	08. OPENINGS	Wood or fiberglass windows	23. HVAC	Exhaust and vent stacks
05. METALS	Steel guardrail	09. FINISHES	Plaster over concrete masonry. Lime. Off-white	26. LIGHTING	Solar hot water panels
06. WOOD, PLASTICS, COMPOSITES	Wood siding. Redwood		Dark brown wood stain		Wall Sconce. Hooded down light
	Wood trim. Redwood		Paint. Ocean blue		Wall Fixture. Opaque reflector. down light
	Wood roof framing. Doug Fir		Dark bronze paint	32. EXTERIOR IMPROVEMENTS	Exterior paving. See A1.5
07. THERMAL & MOISTURE PROTECTION	Wood trellis. Reclaimed. Natural oil finish	10. SPECIALTIES	Cement Stucco. Off-white		
	Composite shingle. Black. Tamko Lamarite Slate		Gas fireplace chimney		

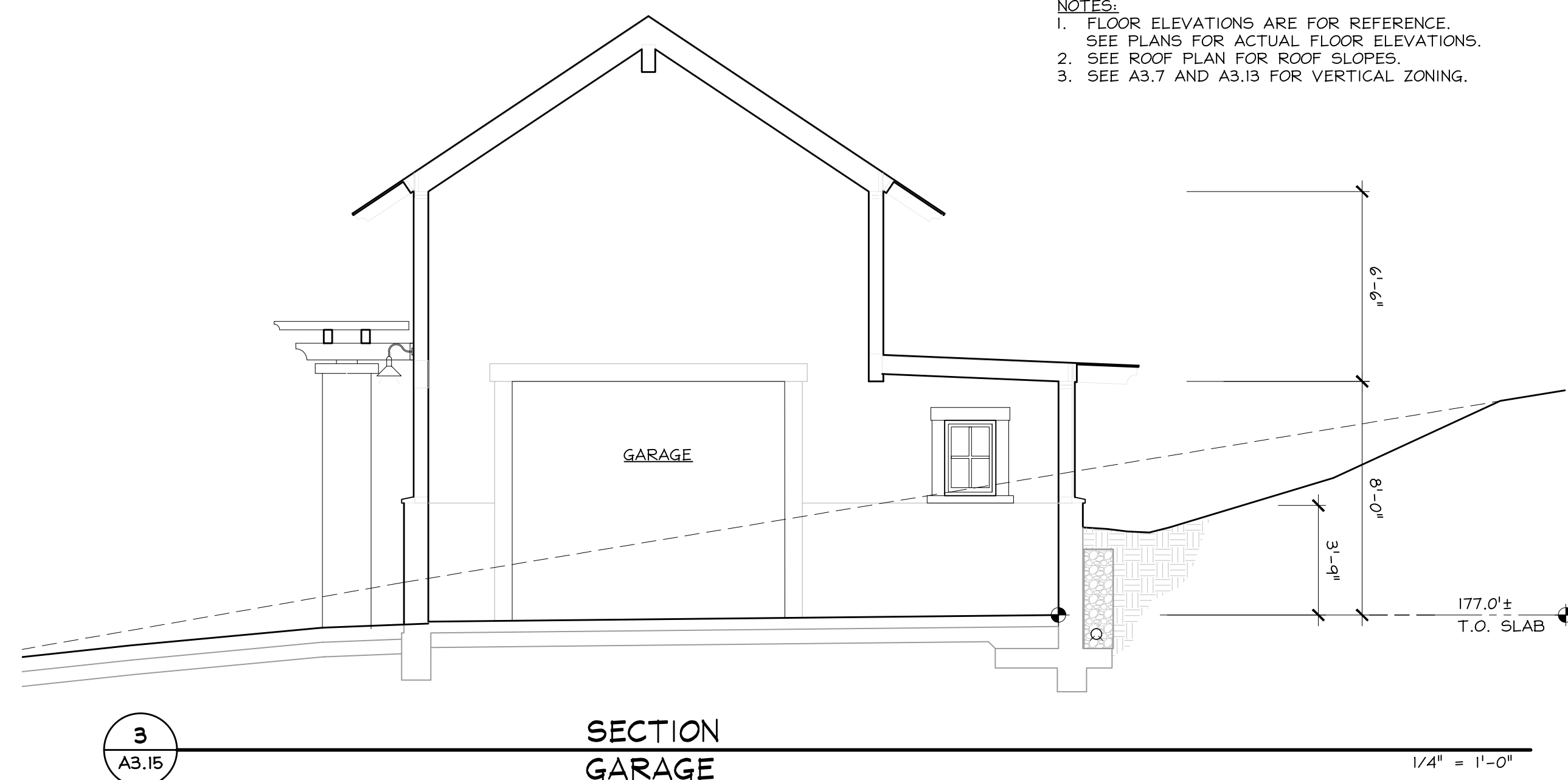
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NOT USED

1/4" = 1'-0"

1 A3.14

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HM,a+e Job Number
2005,01

Sheet Title
OVERALL LAYOUT SHEET
Sheet Number

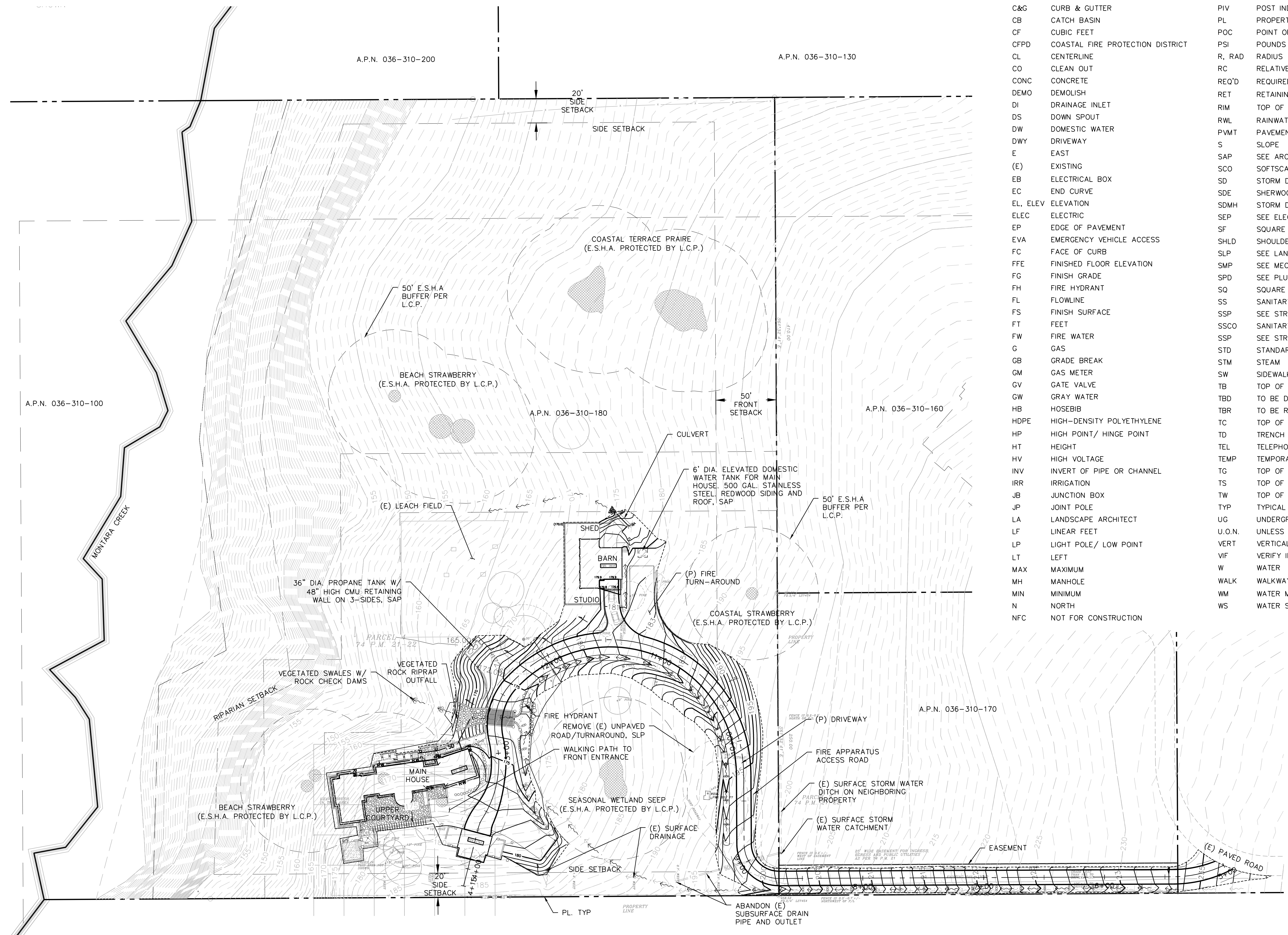
C0.0

SHEET INDEX

C0.0	LAYOUT PLAN
C2.0	PLAN & PROFILE ACCESS ROAD
C2.1	PLAN & PROFILE DRIVEWAY
C3.0	GRADING & DRAINAGE PLAN
C4.0	DETAILS
C5.0	EROSION CONTROL
C5.1	EROSION CONTROL DETAILS

ABBREVIATIONS

AB	AGGREGATE BASE	NIC	NOT IN CONTRACT
ABD	ABANDONED	NTS	NOT TO SCALE
AC	ASPHALT CONCRETE	OC	ON CENTER
AD	AREA DRAIN	(P)	PROPOSED
ADA	AMERICANS WITH DISABILITIES ACT	PA	PLANTED AREA
BS	BOTTOM OF STEP	PED	PEDESTRIAN
BW	BOTTOM OF WALL / BACK OF WALK	PG&E	PACIFIC GAS & ELECTRIC
C&G	CURB & GUTTER	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PL	PROPERTY LINE
CF	CUBIC FEET	POC	POINT OF CONNECTION
CFPD	COASTAL FIRE PROTECTION DISTRICT	PSI	POUNDS PER SQUARE INCH
CL	CENTERLINE	R, RAD	RADIUS
CO	CLEAN OUT	RC	RELATIVE COMPACTION
CONC	CONCRETE	REQ'D	REQUIRED
DEMO	DEMOLISH	RET	RETAINING
DI	DRAINAGE INLET	RIM	TOP OF STRUCTURE GRATE/ COVER
DS	DOWN SPOUT	RWL	RAINWATER LEADER
DW	DOMESTIC WATER	PVMT	PAVEMENT
DWY	DRIVEWAY	S	SLOPE
E	EAST	SAP	SEE ARCHITECTURAL PLANS
(E)	EXISTING	SCO	SOFTSCAPE CLEANOUT
EB	ELECTRICAL BOX	SD	STORM DRAIN
EC	END CURVE	SDE	SHERWOOD DESIGN ENGINEERS
EL, ELEV	ELEVATION	SDMH	STORM DRAIN MANHOLE
ELEC	ELECTRIC	SEP	SEE ELECTRICAL PLANS
EP	EDGE OF PAVEMENT	SF	SQUARE FEET
EVA	EMERGENCY VEHICLE ACCESS	SHLD	SHOULDER
FC	FACE OF CURB	SLP	SEE LANDSCAPE PLANS
FFE	FINISHED FLOOR ELEVATION	SMP	SEE MECHANICAL PLANS
FG	FINISH GRADE	SPD	SEE PLUMBING DRAWINGS
FH	FIRE HYDRANT	SQ	SQUARE
FL	FLOWLINE	SS	SANITARY SEWER
FS	FINISH SURFACE	SSP	SEE STRUCTURAL PLANS
FT	FEET	SSCO	SANITARY SEWER CLEAN OUT
FW	FIRE WATER	SSP	SEE STRUCTURAL PLANS
G	GAS	STD	STANDARD
GB	GRADE BREAK	STM	STEAM
GM	GAS METER	SW	SIDEWALK
GV	GATE VALVE	TB	TOP OF BANK
GW	GRAY WATER	TBD	TO BE DETERMINED
HB	HOSEBIB	TBR	TO BE REMOVED
HDPE	HIGH-DENSITY POLYETHYLENE	TC	TOP OF CURB
HP	HIGH POINT/ HINGE POINT	TD	TRENCH DRAIN
HT	HEIGHT	TEL	TELEPHONE
HV	HIGH VOLTAGE	TEMP	TEMPORARY
INV	INVERT OF PIPE OR CHANNEL	TG	TOP OF GRATE
IRR	IRRIGATION	TS	TOP OF STEP
JB	JUNCTION BOX	TW	TOP OF WALL
JP	JOINT POLE	TYP	TYPICAL
LA	LANDSCAPE ARCHITECT	UG	UNDERGROUND
LF	LINEAR FEET	U.O.N.	UNLESS OTHERWISE NOTED
LP	LIGHT POLE/ LOW POINT	VERT	VERTICAL
LT	LEFT	VIF	VERIFY IN FIELD
MAX	MAXIMUM	W	WATER
MH	MANHOLE	WALK	WALKWAY/SIDEWALK
MIN	MINIMUM	WM	WATER METER
N	NORTH	WS	WATER SURFACE
NFC	NOT FOR CONSTRUCTION		



PLAN VIEW
Scale: 1"=40'

PRELIMINARY - NFC

P:\2009\09-23\Bewley Residence\04_Design\01_DDP\01_COVER\01_COVER_LAYOUT\14_V01.dwg (14/09/2013 10:44:47 AM) User: hmannik

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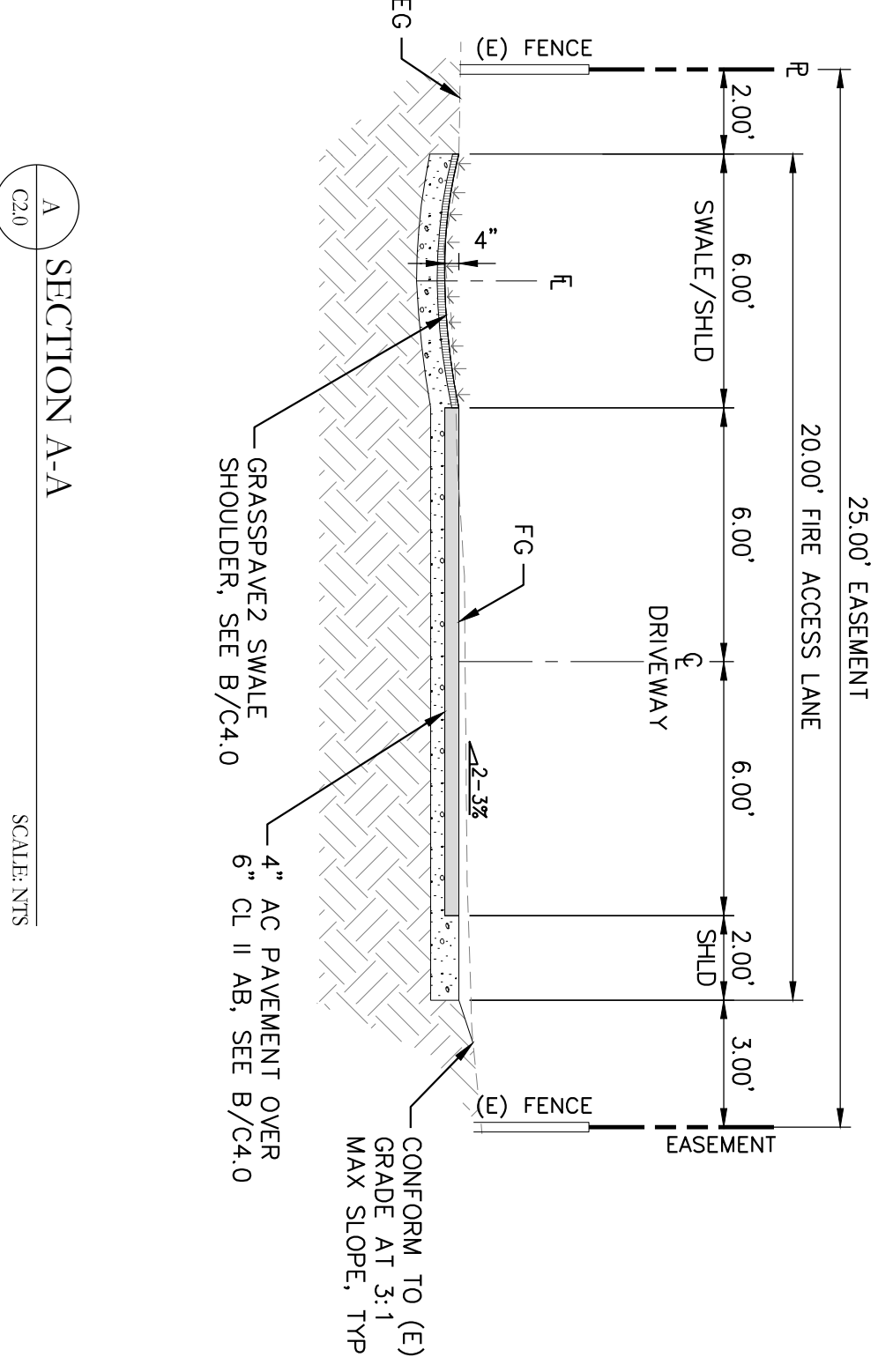
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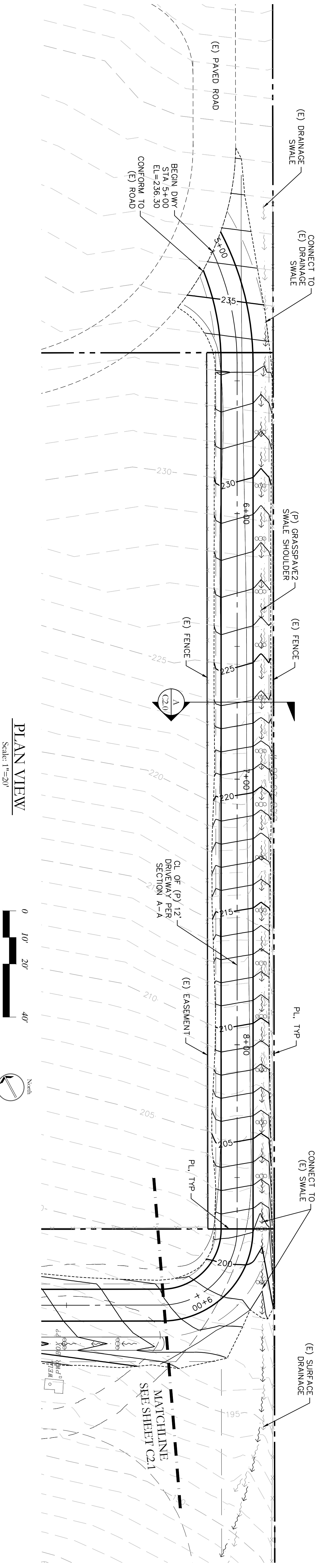
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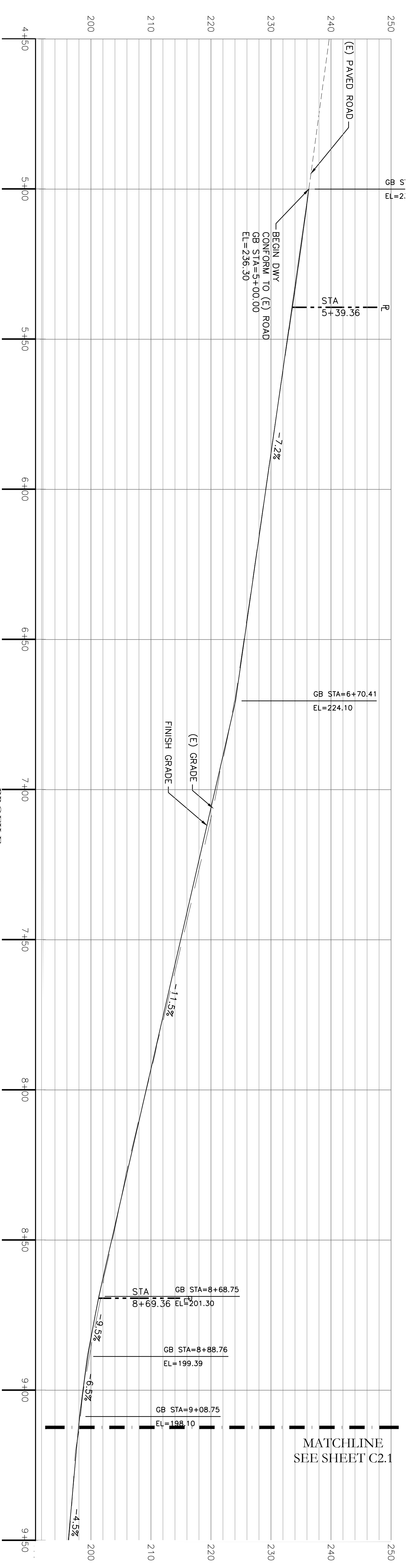
LEGEND	
	PROPOSED CURB AND GUTTER
	EDGE OF PAVEMENT ONSITE
	PROPOSED FLOW LINE
	RIGHT OF WAY
	EXISTING
	PROPOSED



SECTION A-A
SCALE: NTS



PLAN VIEW
Scale: 1"=20'



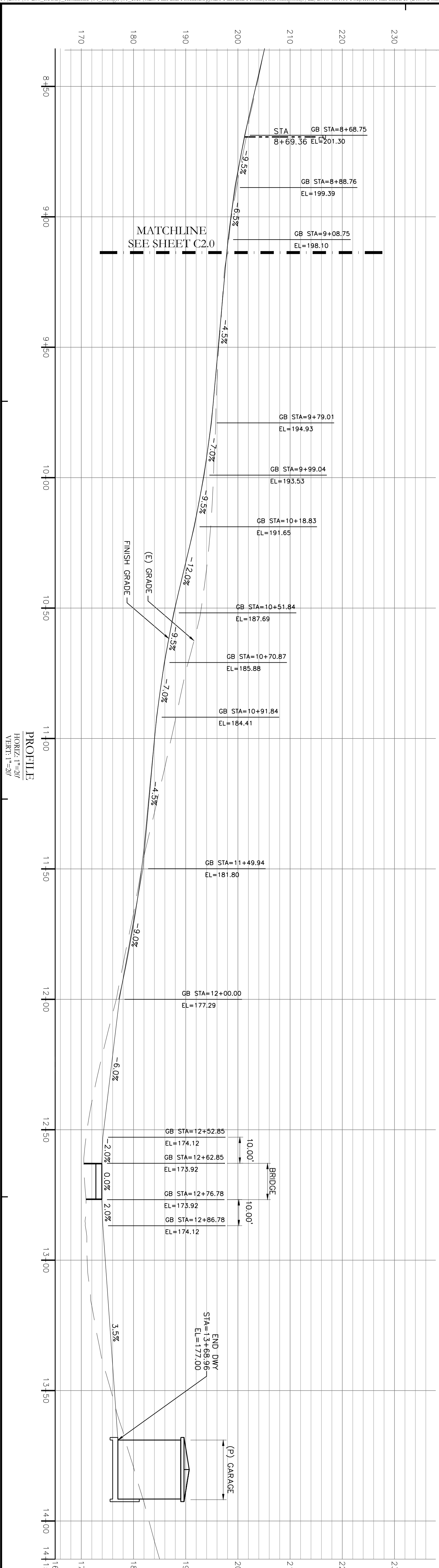
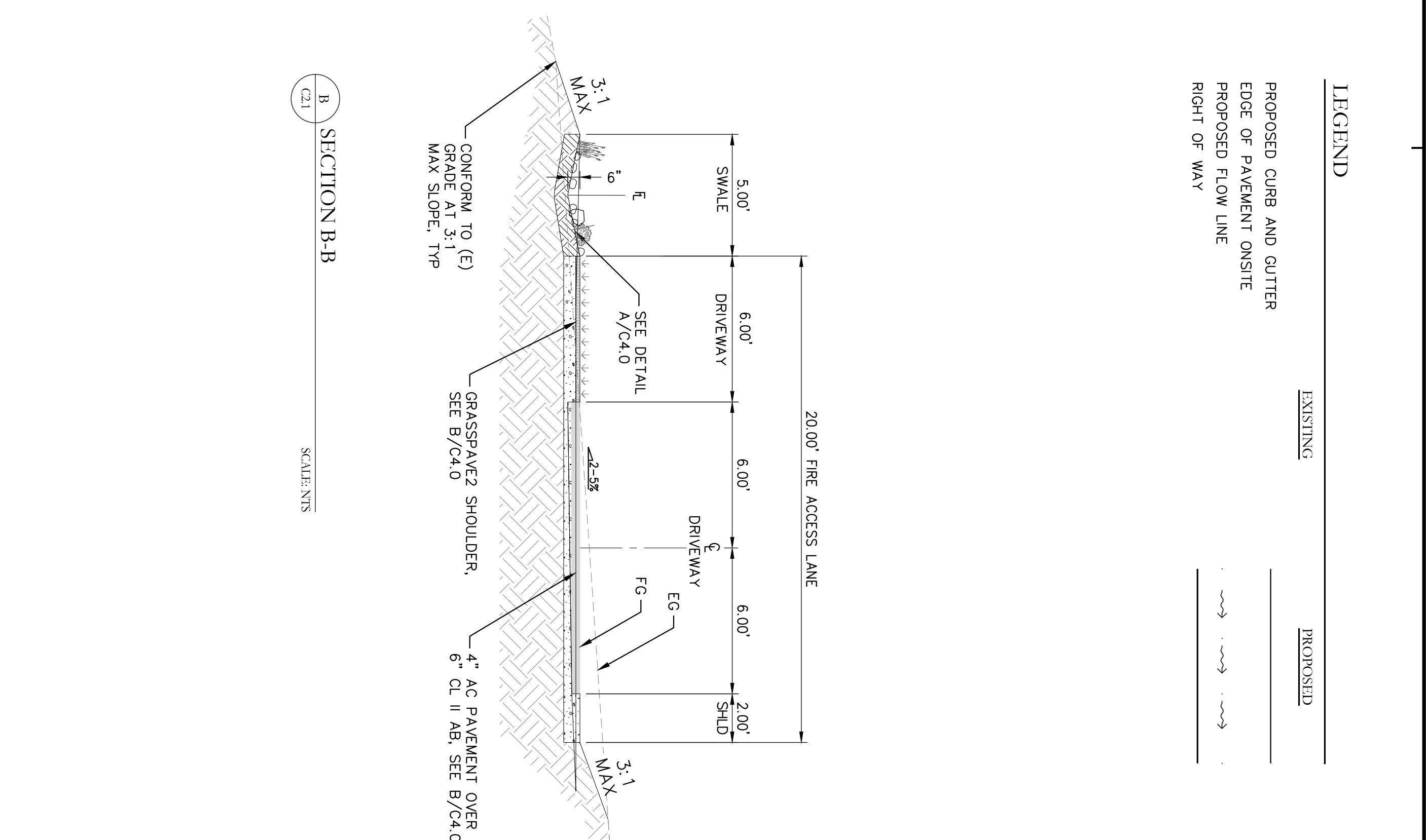
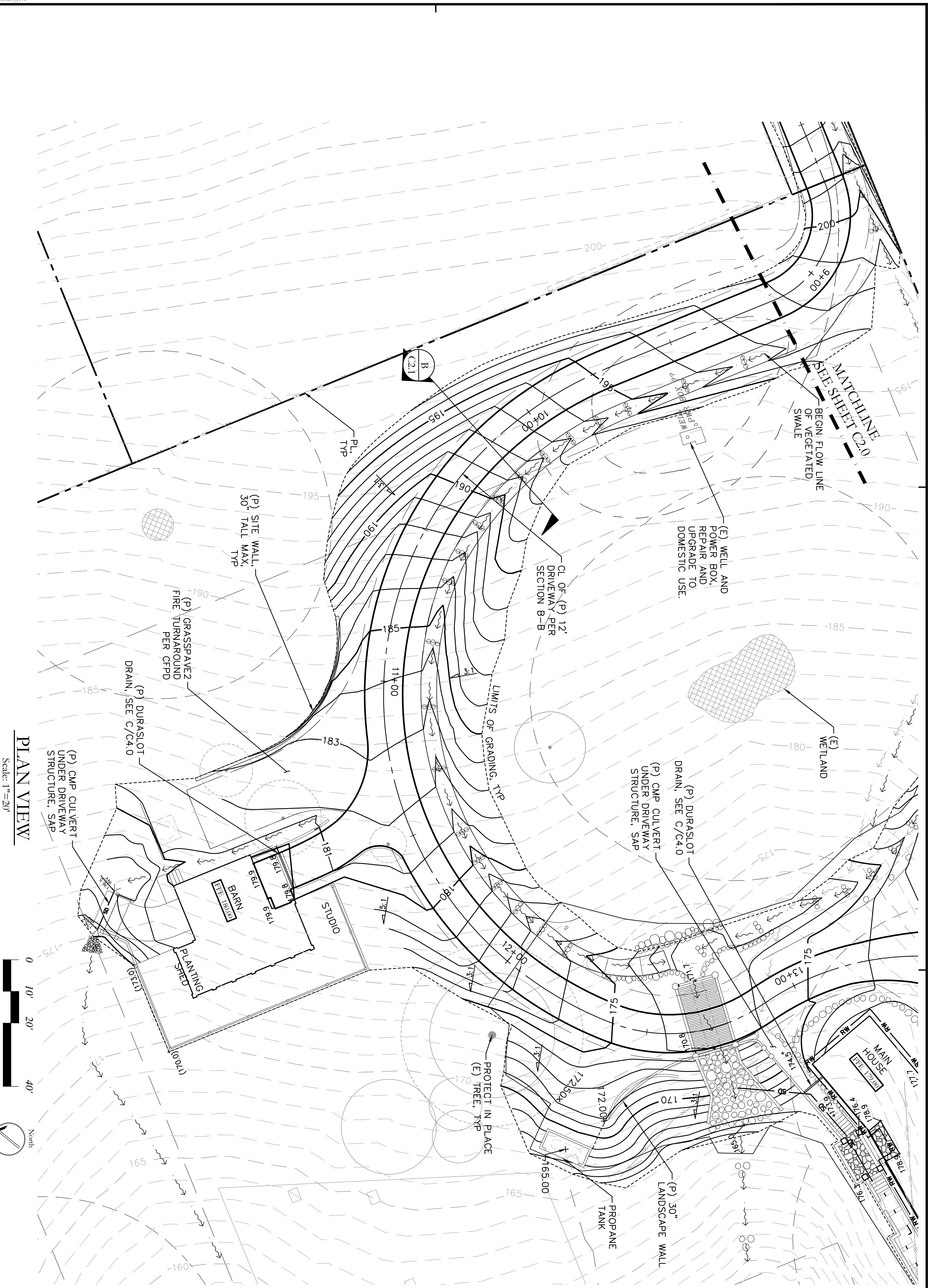
PROFILE
HORIZ. 1"=20'
VERT. 1"=20'

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1.28.2009	1.28.2009
2.20.2009	2.20.2009
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8.03.2009	8.03.2009
9.25.2009	9.25.2009
4.14.2014	4.14.2014
7.10.2015	7.10.2015

Sheet Title
**ACCESS ROAD
PLAN & PROFILE**

Sheet Number
2005.01

C2.0



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Coordination	9.25.2009
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Sheet Title
DRIVEWAY PLAN & PROFILE

Sheet Number
 2005.01

HM+a+e Job Number
 2005.01

Sheet Number
C2.1

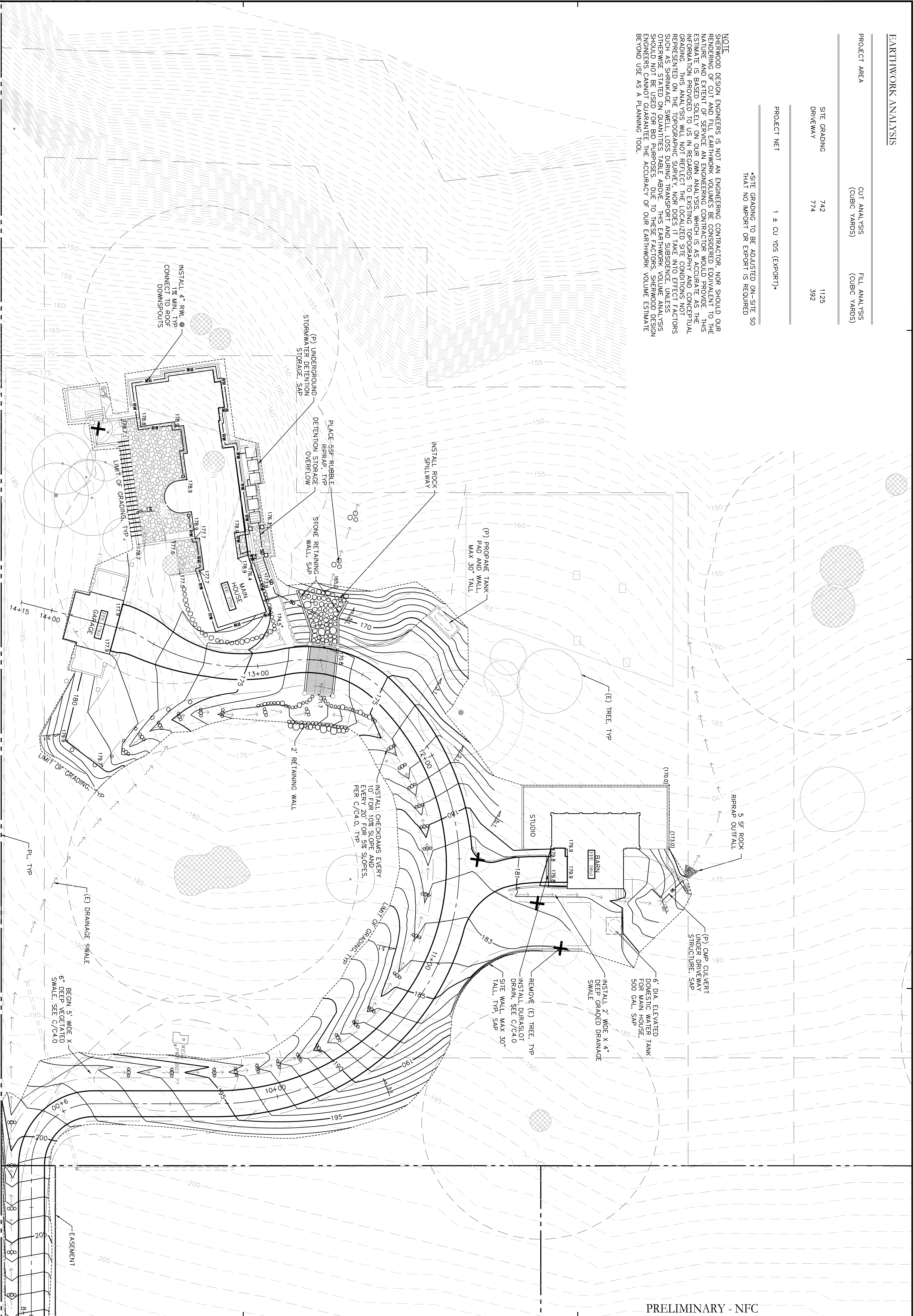
EARTHWORK ANALYSIS

PROJECT AREA	CUT ANALYSIS (CUBIC YARDS)	FILL ANALYSIS (CUBIC YARDS)
SITE GRADING	742	1125
DRIVEWAY	774	392

PROJECT NET 1 ± CU YDS (EXPORT)*

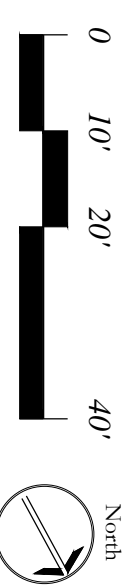
*SITE GRADING TO BE ADJUSTED ON-SITE SO THAT NO IMPORT OR EXPORT IS REQUIRED

NOTE
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PRELIMINARY - NFC

GRADING PLAN
 SCALE: 1"=20'



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Coordination	9/25/2009
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Design Review	7/10/2015

HM,a+e Job Number
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Sheet Title
**GRADING &
 DRAINAGE PLAN**

Sheet Number

C3.0

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Sheet Title

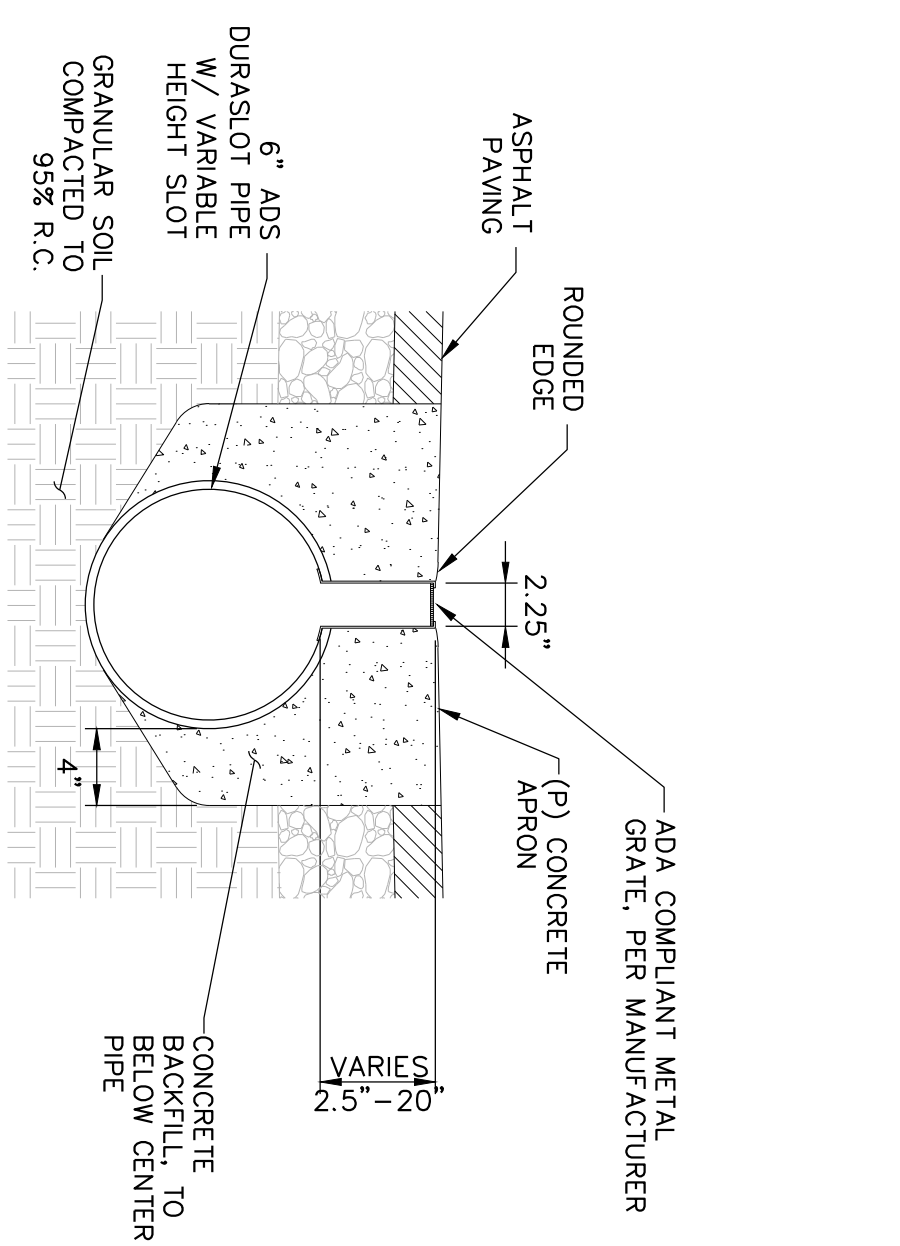
DETAILS

Sheet Number

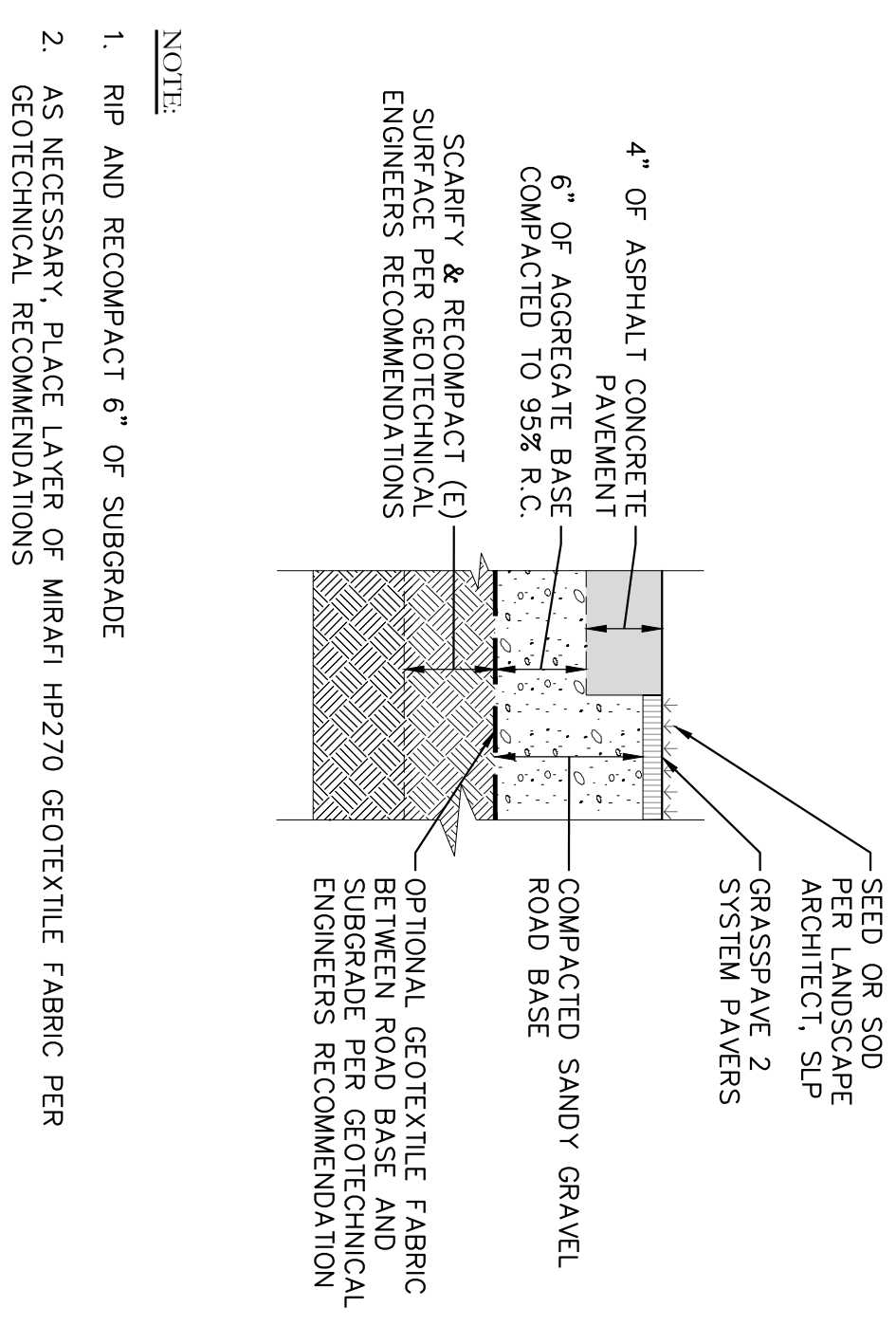
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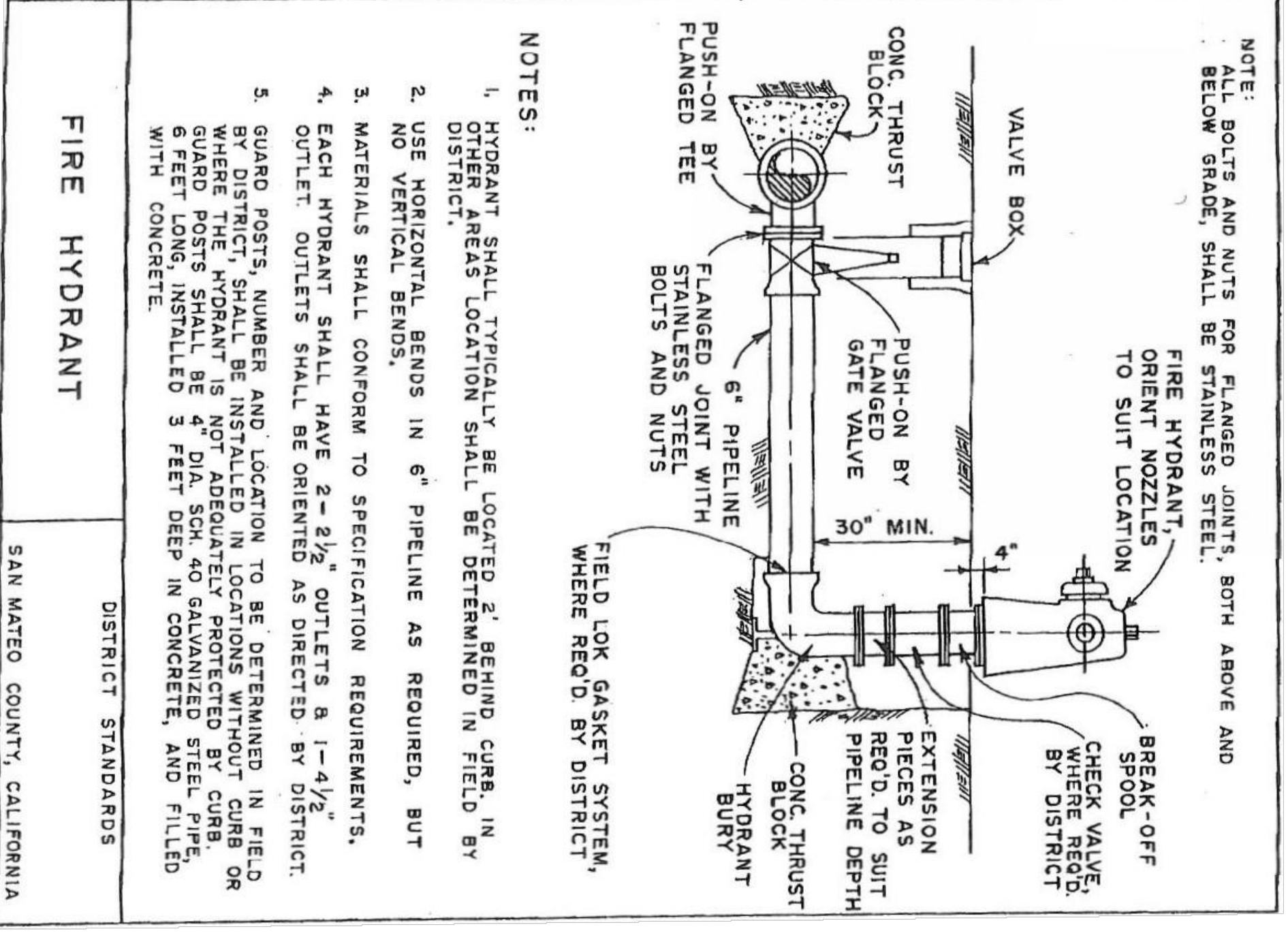
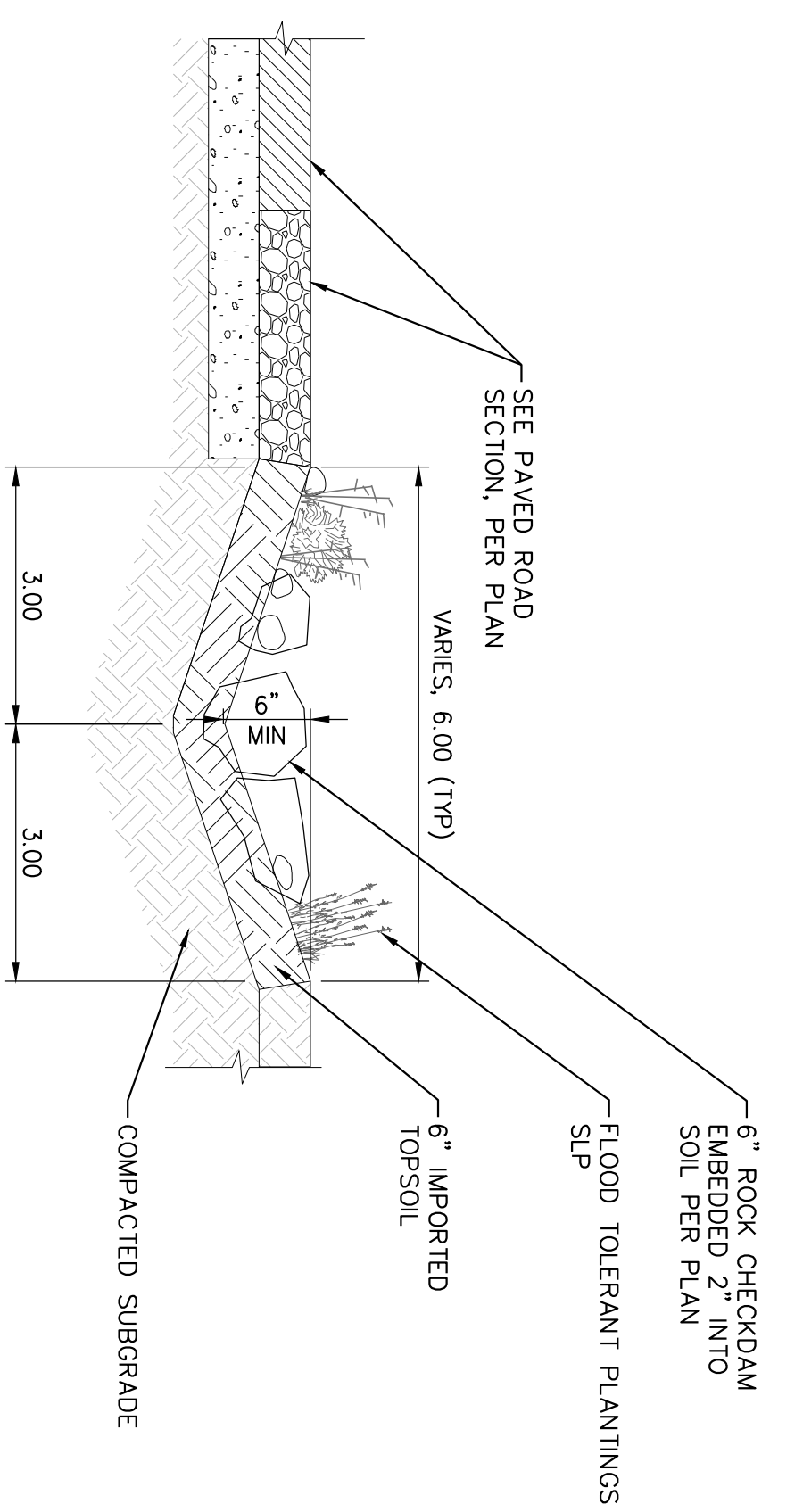
C DURASLOT DRAIN DETAIL
SCALE: 1/8" = 1'-0"



B PAVEMENT SECTION
SCALE: 1/8" = 1'-0"



A SWALE
SCALE: 1/8" = 1'-0"



- NOTE:**
ALL BOLTS AND NUTS FOR FLANGED JOINTS, BOTH ABOVE AND BELOW GRADE, SHALL BE STAINLESS STEEL.
- NOTE:**
FIRE HYDRANT ORIENT NOZZLES TO SUIT LOCATION.
- NOTE:**
BREAK-OFF SPOOL WHERE REQ'D BY DISTRICT.
- NOTES:**
1. HYDRANT SHALL TYPICALLY BE LOCATED 2' BEHIND CURB, IN OTHER AREAS LOCATION SHALL BE DETERMINED IN FIELD BY DISTRICT.
 2. USE HORIZONTAL BENDS IN 6" PIPELINE AS REQUIRED, BUT NO VERTICAL BENDS.
 3. MATERIALS SHALL CONFORM TO SPECIFICATION REQUIREMENTS.
 4. EACH HYDRANT SHALL HAVE 2 - 2 1/2" OUTLETS & 1 - 4 1/2" OUTLET. OUTLETS SHALL BE ORIENTED AS DIRECTED BY DISTRICT.
 5. GUARD POSTS, NUMBER AND LOCATION TO BE DETERMINED IN FIELD BY DISTRICT. SHALL BE 2" DIA. SCH. 40 GALVANIZED STEEL PIPE OR WARD POSTS SHALL BE 4" DIA. SCH. 40 GALVANIZED STEEL PIPE, 6 FEET LONG, INSTALLED 3 FEET DEEP IN CONCRETE, AND FILLED WITH CONCRETE.

D FIRE HYDRANT
SCALE: 1/8" = 1'-0"

DISTRICT STANDARDS
SAN MATEO COUNTY, CALIFORNIA

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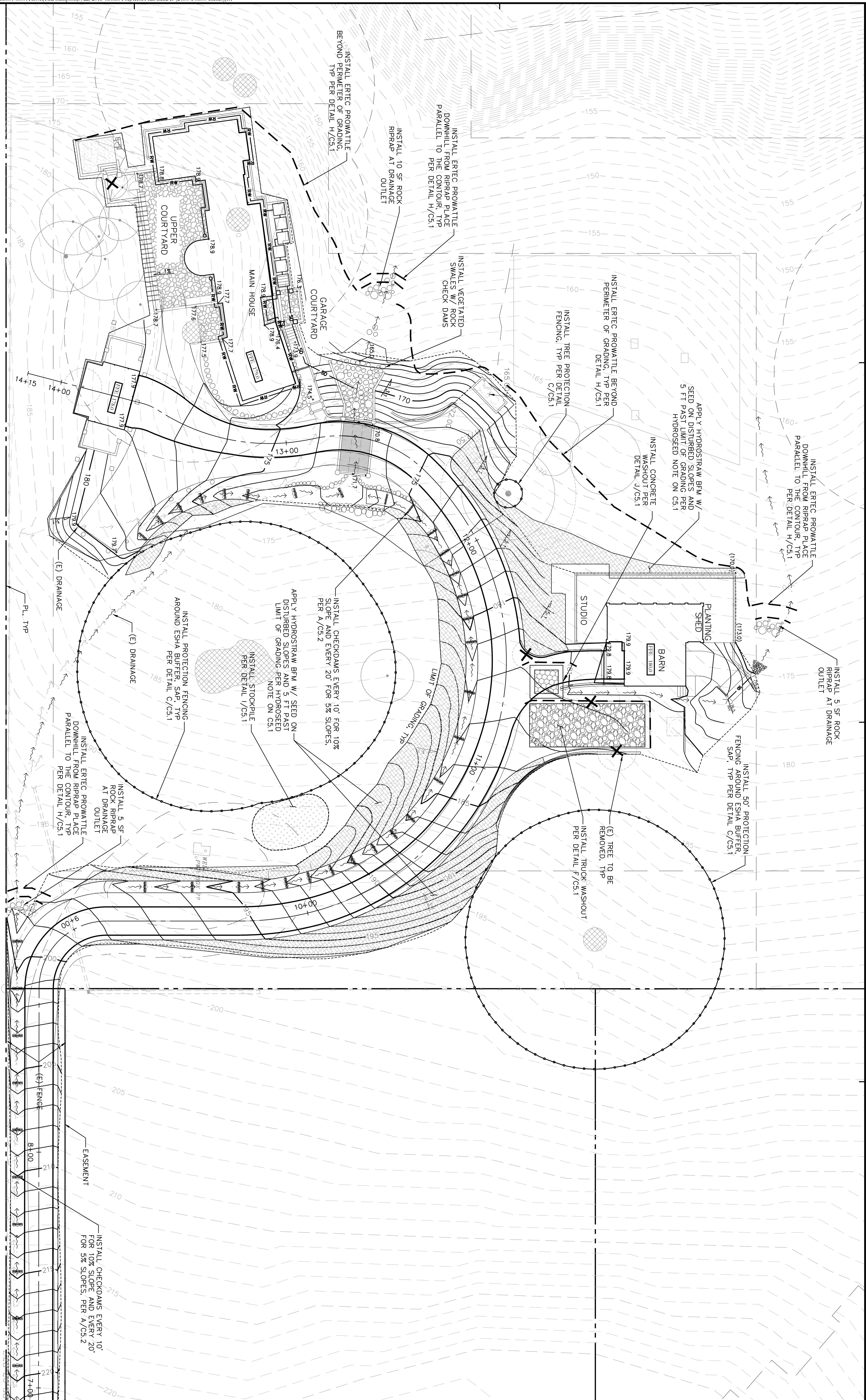
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4.14.2014	4.14.2014
7.10.2015	7.10.2015

PRELIMINARY - NFC

MATCHLINE
SEE BELOW



MATCHLINE
SEE ABOVE

EROSION CONTROL PLAN

SCALE: 1"=20'

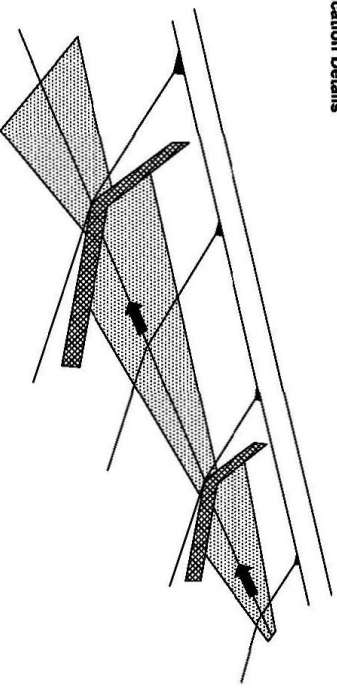


HM+a+e Job Number
2005.01

Sheet Title
EROSION CONTROL PLAN
Sheet Number

C5.0

ERTeC® ProWattle™ Temporary Check Dam
Used in the Application Details



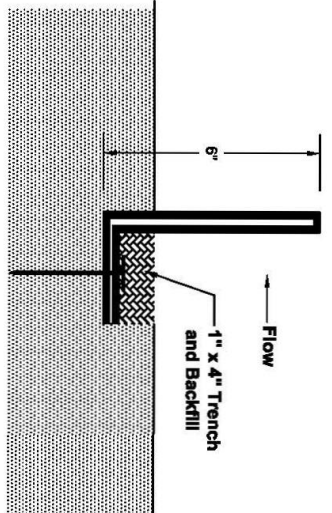
- ERTeC® ProWattle™ Temporary Check Dam** Installation Details
- ERTeC® ProWattle™ Temporary Check Dams should be installed in the trench.
 - ERTeC® ProWattle™ Temporary Check Dams should be installed in the trench to prevent erosion from the trench.
 - Dig 1' x 4' trenches for ProWattle, and clear of obstructions including, but not limited to, rocks, sticks and debris prior to installing dam. Backfill and cover within indicated flag by 18" sand (not less than 18" sand) and cover with 18" sand.
 - ProWattle should be placed on the downstream side of ProWattle. Shims shall be driven flush with the top of the ProWattle. Shims shall be at a minimum 1' x 4' 10".
 - ProWattle shall be placed as follows:

Flow Against the Slope	50% (Minimum Length/Direction)
15' dam	12' x 4' 10"
30' dam	12' x 4' 10"
50' dam	12' x 4' 10"
 - ProWattle shall be installed prior to the application of other temporary erosion control or soil stabilization methods in the same area.
 - When no longer required, the ProWattle Check Dam can be removed and reused.

ERTeC® ProWattle™ Temporary Check Dam
Used in the Application Details

ERTeC®
EROSION CONTROL TECHNOLOGIES
10000 S. RAYBURN AVENUE
SANTA ANITA, CA 95053
TEL: 925.266.1111
WWW.ERTEC.COM

ERTeC® ProWattle™ Temporary Check Dam
Used in the Application Details



- ERTeC® ProWattle™ Temporary Check Dam** Installation Notes
- Use 6" x 6" (900) Rebar (Common). Install 3 to 4 inches per each 7' length of dam.
 - Rebar shall be installed in the trench to prevent undercutting.
 - Cover dam with 1" soil to prevent undercutting.
 - ERTeC® ProWattle™ Temporary Check Dam shall be installed in the trench to prevent erosion.
 - To install ProWattle - insert additional segments. Chamfered end fits inside opposite side of adjoining segment.

ERTeC® ProWattle™ Temporary Check Dam Installation Notes

ERTeC®
EROSION CONTROL TECHNOLOGIES
10000 S. RAYBURN AVENUE
SANTA ANITA, CA 95053
TEL: 925.266.1111
WWW.ERTEC.COM

ERTeC PROWATTLE™ TEMPORARY CHECK DAM & INSTALLATION
SCALE: NTS

Printing Date

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2005.01

Sheet Title
**EROSION CONTROL
DETAILS**
Sheet Number

C5.2