

RECEIVED

Application for Design Review by the County Coastside Design Review Committee

11 16 2015

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

San Mateo County Permit #: PLN 2015-00289
Planning and Building Department Other Permit #: PRE 2015-00037

Applicant:

Name: ANDREW & MELANIE YEE
Address: 439 VERMONT AVENUE
MOSS BEACH, CA Zip: 94038
Phone, W: H: (650) 728-7805
Email: MELAYEE@HOTMAIL.COM

Owner (if different from Applicant):

Name: (APPLICANT)
Address:
Zip:
Phone, W: H:
Email:

Architect or Designer (if different from Applicant):

Name: BRIAN BRINKMAN
Address: 648 NAVARRE DRIVE PACIFICA, CA Zip: 94044
Phone, W: (650) 922-7993 H: Email: BRINKMANDESIGN@GMAIL.COM

Project location:

APN: 037-133-170
Address: 439 VERMONT AVENUE
MOSS BEACH, CA Zip: 94038
Zoning: R-1 / S-17
Parcel/lot size: 7,800 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):
(E) 1-STORY SINGLE FAMILY HOME

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 1,091 sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

SINGLE STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY ADDITION
ABOVE (E) GARAGE @ (E) SINGLE STORY
SINGLE FAMILY HOME

Certificate of Exemption or Exclusion from a Coastal Development Permit

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County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

JUL 16 2015

Permit #: PLN 2015-00284
Permit #: BLD

Permanent Record
San Mateo County Microfilming Required
Planning and Building Department

1. Basic Information

Owner
Name: ANDREW & MELANIE YEE
Address: 439 VERMONT AVENUE
MOSS BEACH, CA
Zip: 94028
Phone, W: H: (650) 728-7805
Email Address: MELAYEE@HOTMAIL.COM

Applicant
Name:
Address: (OWNER)
Zip:
Phone, W: H:
Email Address:

2. Project Information

Project Description:
SINGLE STORY ADDITION BEHIND (E)
GARAGE, AND PARTIAL 2ND STORY
ADDITION ABOVE (E) GARAGE TO
(E) SINGLE STORY, SINGLE FAMILY
HOME

Assessor's Parcel Number(s):
037 - 133 - 170

Existing water source:
 Utility connection
 Well
Proposed water source:
 Utility connection
 Well

Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Andrew Yee - 7/13/2015
Melanie Yee 7/13/2015
Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- | | |
|--|--|
| <p><input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]</p> <p><input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]</p> <p><input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]</p> <p><input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]</p> <p><input type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]</p> | <p><input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</p> <p><input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</p> <p><input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</p> <p><input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</p> <p><input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]</p> <p><input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(j)]</p> |
|--|--|

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?	Approval of Permit is subject to the following: (check if applicable) <input type="checkbox"/> Submittal and Approval of a Tree Removal Permit <input type="checkbox"/> Submittal and Approval of a Grading Permit <input type="checkbox"/> Submittal and Approval of an Erosion Control Plan <input type="checkbox"/> Submittal and Approval of a Coastal Dev. Permit
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?	
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?	
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?	
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)	
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?	

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

 Planning Department Date

Project is subject to the following condition(s) of approval:

7. Processing

- | | |
|---|--|
| <p><input type="checkbox"/> Fee collected</p> <p><input type="checkbox"/> Original Certificate of Exemption to Building Inspection file.</p> <p><input type="checkbox"/> Copies of Certificate of Exemption to:</p> <ol style="list-style-type: none"> 1. Applicant/Owner. 2. Planning Department Exemption Binder. | <ol style="list-style-type: none"> 3. Any relevant Planning or Building Inspection files. 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105 <p><input type="checkbox"/> Update Permit*Plan Case Screen and Activities</p> |
|---|--|

Environmental Information Disclosure Form

San Mateo County
Planning and Building Department

PLN 2015-00289

Project Address: 439 VERMONT AVENUE
MOSS BEACH, CA 94038

Name of Owner: ANDREW & MELANIE YEE
Address: 439 VERMONT AVENUE
MOSS BEACH, CA Phone: (650) 728-7805

Assessor's Parcel No.: 037 - 133 - 170

Name of Applicant: (OWNER)

Zoning District: R-1 / S-17

Address: _____
Phone: _____

Existing Site Conditions

Parcel size: 7,800 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). THE EXISTING PARCEL IS DEVELOPED WITH A SINGLE STORY HOME w/ ATTACHED 2-CAR GARAGE. THERE IS ALSO AN EXISTING SWIMMING POOL LOCATED BEHIND THE GARAGE.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

THE PROPOSED ADDITION ADDS APPROX. 77% OF THE EXISTING LIVING AREA TO THE HOME.

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
X		a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

FOOTPRINT OF EXISTING HOME EXPANDED (WITHIN ALLOWABLE BUILDING ENVELOPE).

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	X	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

CERTIFICATION

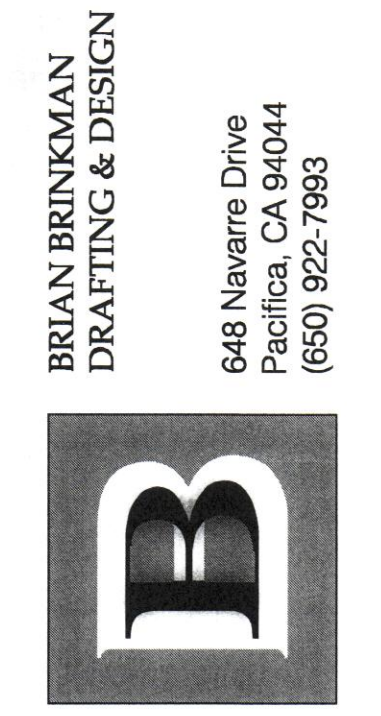
I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Melanie Yu
(Applicant may sign)

Date: 7/13/2015

ADDITION TO (E) SINGLE FAMILY HOME: YEE RESIDENCE

439 VERMONT AVENUE, MOSS BEACH, CA



BRIAN BRINKMAN
DRAFTING & DESIGN
648 Navarre Drive
Pacifica, CA 94044
(650) 922-7993

ABBREVIATIONS			
@	AT	N	NORTH
#	NUMBER	(N)	NEW
AB	ANCHOR BOLT	N/A	NOT APPLICABLE
A/C	AIR CONDITIONER	NA	NOT AVAILABLE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
ASF	ABOVE SUBFLOOR	NR	NON-RATED
AS	ABOVE SLAB	NSF	NET SQUARE FEET
BLDG	BUILDING	NTS	NOT TO SCALE
BLK	BLOCK	O	OVEN
BLKG	BLOCKING	OA	OVERALL
BM	BEAM	OC	ON CENTER
BOT	BOTTOM	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN
CAB	CABINET	OFF	OFFICE
CB	CATCH BASIN	OPNG	OPENING
CL	CENTERLINE	OH	OVERHANG
CLG	CEILING	O/H	OVERHEAD
CLST	CLOSET	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	PL	PLATE OR PROPERTY LINE
CO	CLEAN OUT	PLYWD	PLYWOOD
COL	COLUMN	PR	PAIR
CONC	CONCRETE	PT	POINT OR PRESSURE TREATED
CONT	CONTINUOUS	R	RADIUS
D	DRYER	RAG	RETURN AIR GRILLE
DBL	DOUBLE	RD	ROOF DRAIN
DEPT	DEPARTMENT	REF	REFRIGERATOR
DEG	DEGREES	REINF	REINFORCED OR REINFORCEMENT
DIA	DIAMETER	REQD	REQUIRED
DIM	DIMENSION	REV	REVISION
DN	DOWN	RHB	RADIANT HEATING BOILER
DR	DOOR	RM	ROOM
DS	DOWNSPOUT	RO	ROUGH OPENING
DW	DISHWASHER	ROW	RIGHT-OF-WAY
DWG	DRAWING	S	SOUTH
(E)	EXISTING	SB	SETBACK
EA	EACH	SCHED	SCHEDULE
ELEC	ELECTRICAL	SD	SMOKE DETECTOR OR STORM DRAIN
ELEV	ELEVATION	SF	SQUARE FEET OR SQUARE FOOT
ENG	ENGINEER	SH	SHOWER HEAD
EQPT	EQUIPMENT	SHT	SHEET
EXT	EXTERIOR	SHWR	SHOWER
FAU	FORCED AIR UNIT	SHTG	SHEATHING
FAR	FLOOR AREA RATIO	SIM	SIMILAR
FD	FLOOR DRAIN	SL	SLIDING
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FIN	FINISH	SQ	SQUARE
FL	FLOOR	SS	SANITARY SEWER
FLUOR	FLUORESCENT	STL	STEEL
FOUND	FOUNDATION	STOR	STORAGE
FP	FIREPLACE	STRUCT	STRUCTURAL
FT	FOOT OR FEET	SUB	SUBCONTRACTOR
FTG	FOOTING	SUBFLR	SUBFLOOR
FURN	FURNACE	SW	SHEAR WALL
G	GAS	SYM	SYMMETRICAL
GA	GAUGE	T	TILE, TREAD, TOP, OR TRANSFORMER
GALV	GALVANIZED	T & G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	TBD	TO BE DETERMINED
GD	GARBAGE DISPOSAL	TEL	TELEPHONE
GL	GLASS	THK	THICK
GR	GRADE	TO	TOP OF
GYP BD	GYP SUM BOARD	TOC	TOP OF CURB
HC	HANDICAP	TOP	TOP OF PLATE
HDR	HEADER	TOS	TOP OF SUBFLOOR
HDWD	HARDWOOD	TOW	TOP OF WALL
HT	HEIGHT	TP	TOP OF PAVEMENT
HORIZ	HORIZONTAL	TV	TELEVISION
HR	HOUR	TYP	TYPICAL
INSUL	INSULATION	UNO	UNLESS NOTED OTHERWISE
INT	INTERIOR	VERT	VERTICAL
JT	JOINT OR JOINT TRENCH	W	WEST, WASHER, OR WATER
LINEN	LINEN CLOSET	W/	WITH
LAM	LAMINATE	WC	WATER CLOSET
LAV	LAVATORY	WD	WOOD
LT	LIGHT	WH	WATER HEATER
MAX	MAXIMUM	W x H	WIDTH BY HEIGHT
MECH	MECHANICAL	WNDW	WINDOW
MFR	MANUFACTURER	W/O	WITHOUT
MH	MANHOLE	WP	WATERPROOF
MIN	MINIMUM	WR	WATER RESISTANT
MISC	MISCELLANEOUS	WT	WEIGHT
MLDG	MOULDING		
MTD	MOUNTED		
MTL	METAL		

PROJECT SCOPE
SINGLE STORY ADDITION BEHIND (E) GARAGE, AND PARTIAL 2-STORY ADDITION OVER (E) GARAGE, AT (E) SINGLE STORY, SINGLE FAMILY HOME.

PLANNING DATA
PROJECT COMMON ADDRESS: 439 VERMONT AVENUE MOSS BEACH, CA 94038
ASSESSOR'S PARCEL NUMBER: 037-133-170
ZONING: R-1/S-17 COMBINING DISTRICT (MIDCOAST)

BUILDING CODE DATA
TYPE OF OCCUPANCY: R3/U
CONSTRUCTION TYPE: VB
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE
NUMBER OF STORIES: 2
ALL WORK TO CONFORM TO 2013 CRC, CBC, CFC, CPC, CMC, CEC, 2013 CALIFORNIA ENERGY CODE, AND 2013 CGBC

SYMBOLS	
	SECTION CUT, DETAIL NUMBER
	SHEET ON WHICH IT OCCURS
	DETAIL NUMBER
	SHEET ON WHICH IT OCCURS
	REVISION CLOUD
	REVISION NUMBER
	GRIDLINE IDENTIFICATION
	DOWNSLOPE INDICATION
	SHOWER HEAD

PROJECT DIRECTORY			
SERVICE	COMPANY	CONTACT	TELEPHONE
APPLICANT / OWNER		ANDREW / MELANIE YEE	(650) 728-7805
DRAFTING / DESIGN	BRIAN BRINKMAN DRAFTING & DESIGN	BRIAN BRINKMAN	(650) 922-7993
SURVEYOR	SAVIOR P MICALLEF LAND SURVEYING	SAVIOR MICALLEF	(805) 709-2423

PROJECT NOTES

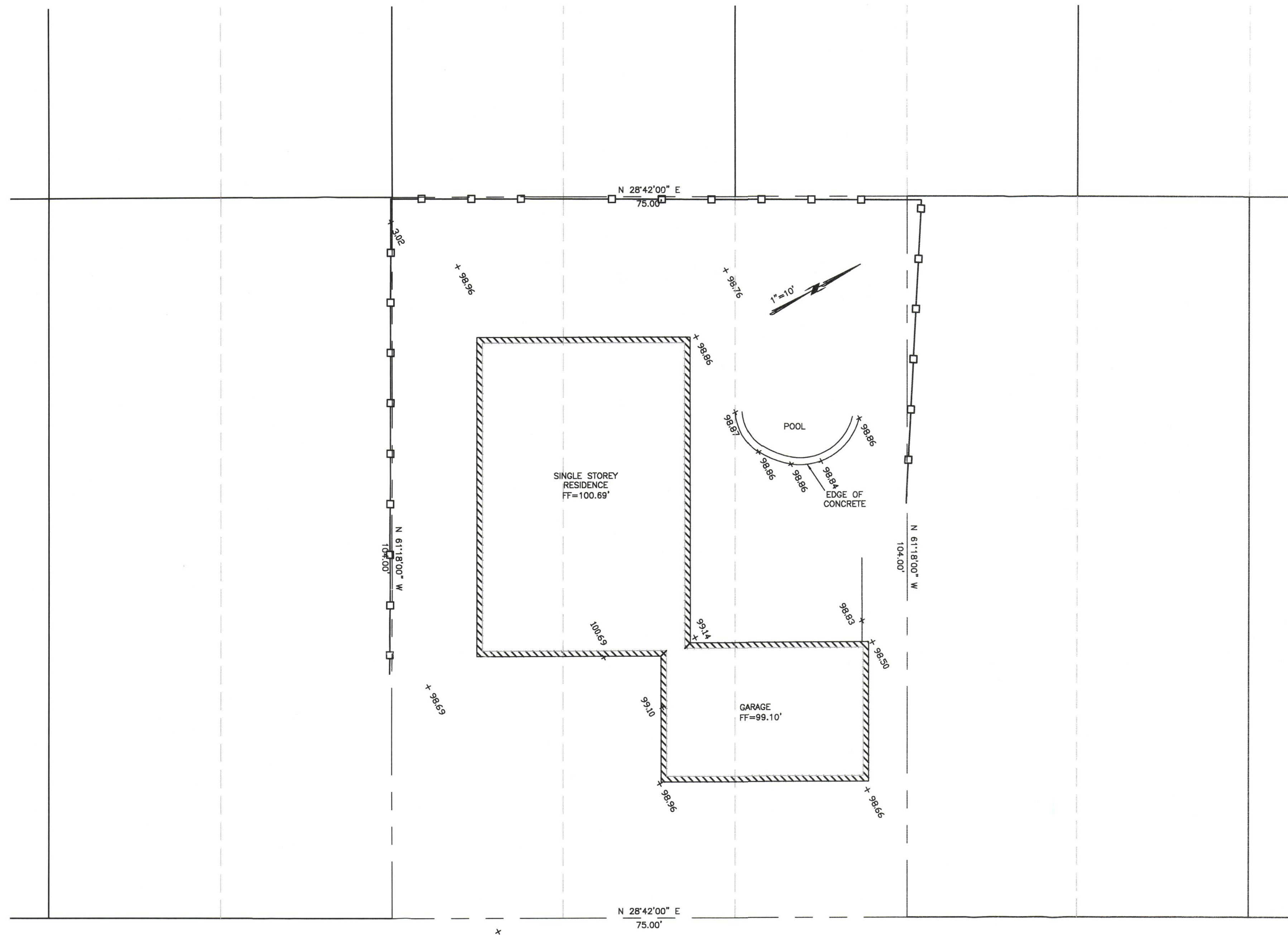
PROJECT INFORMATION	
LOT SIZE	7,800 SF
(E) LOT COVERAGE	1,987 SF / 7,800 SF = 25.47%
(N) LOT COVERAGE	2,480 SF / 7,800 SF = 31.79%
(E) 1ST FLOOR (TOTAL) LIVING AREA	1,411 SF (CONDITIONED)
(E) FLOOR AREA RATIO (F.A.R.)	1,411 + 576 = 1,987 1,987 / 7,800 = 0.2547 (0.53 MAX)
(N) 1ST FLOOR LIVING AREA	1,896 SF (CONDITIONED)
(N) 2ND FLOOR LIVING AREA	606 SF (CONDITIONED)
(N) TOTAL LIVING AREA	2,502 SF (CONDITIONED)
ADDED LIVING AREA	2,502 - 1,411 = 1,091 SF (CONDITIONED)
(E) GARAGE AREA	576 SF (UN-CONDITIONED)
(N) FLOOR AREA RATIO (F.A.R.)	1,896 + 606 + 576 = 3,078 3,078 / 7,800 = 0.3946 (0.53 MAX)

DRAWING INDEX	
ARCHITECTURAL	
A0.0	TITLE SHEET
A1.0	ORIGINAL SITE SURVEY
A1.1	SITE PLAN
A2.1	EXISTING FLOOR PLAN
A2.2	EXISTING ROOF PLAN
A3.1	PROPOSED 1ST FLOOR PLAN
A3.2	PROPOSED 2ND FLOOR / LOWER ROOF PLAN
A3.3	PROPOSED UPPER ROOF PLAN
A4.1	EXISTING AND PROPOSED FRONT (SOUTHEAST) ELEVATIONS
A4.2	EXISTING AND PROPOSED LEFT (SOUTHWEST) ELEVATIONS
A4.3	EXISTING AND PROPOSED REAR (NORTHWEST) ELEVATIONS
A4.4	EXISTING AND PROPOSED RIGHT (NORTHEAST) ELEVATIONS

RECEIVED
JUL 16 2015
San Mateo County
Planning and Building Department

REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
1	07/15/15	PLANNING SUBMITTAL

PROJECT NAME: ADDITION TO SINGLE FAMILY HOME : YEE RESIDENCE	PROJECT SCOPE: 1-STORY ADDITION BEHIND (E) GARAGE AND 2ND STORY ADDITION ABOVE (E) GARAGE
SHEET TITLE: TITLE SHEET	PROJECT ADDRESS: 439 VERMONT AVENUE MOSS BEACH, CA 94038
SHEET: A0.0	



VERMONT AVENUE
(50' WIDE)

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS SITE SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2015. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN OR PLOTTED. EASEMENTS MAY EXIST.



SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

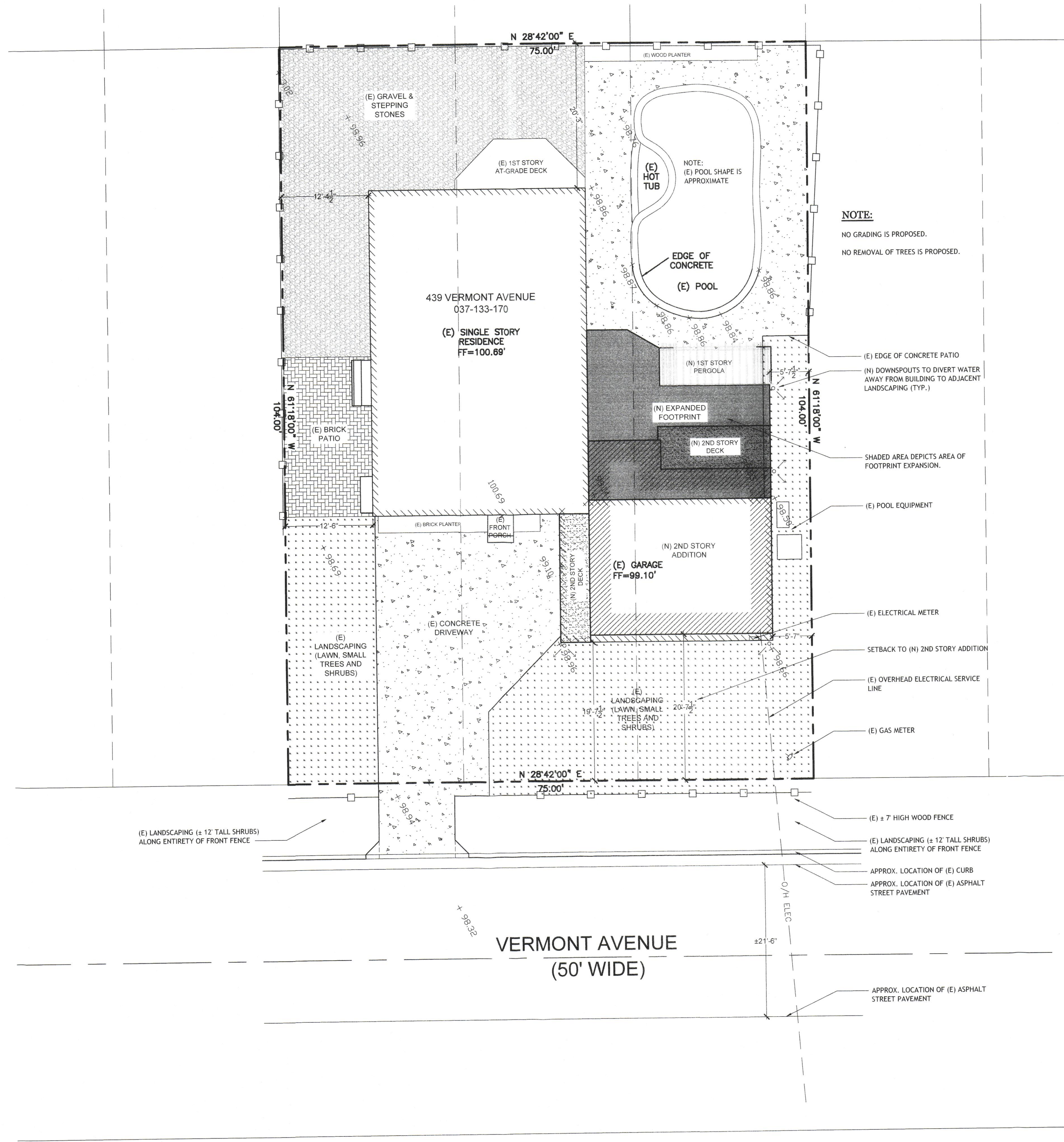
DATE

SAVOR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

SITE SURVEY OF 439 VERMONT AVENUE
(APN 037-133-170, DOC. NO. 98-036706)

CITY OF MOSS BEACH SAN MATEO COUNTY CALIFORNIA

Date	05-08-15	Scale	1"=10'
Design		Drawn	SPM
Approved		SPM	
Job No.			
Revisions			
No.			
Drawing Number:	1 OF 1		



NOTE:
 NO GRADING IS PROPOSED.
 NO REMOVAL OF TREES IS PROPOSED.

PROJECT NAME: ADDITION TO SINGLE FAMILY HOME : YEE RESIDENCE		DESCRIPTION PRE-APPLICATION MEETING PLANNING SUBMITTAL	
PROJECT ADDRESS: 439 VERMONT AVENUE MOSS BEACH, CA 94038		DATE 07/01/15 07/15/15	REV 0 1
SHEET TITLE: NEW SITE PLAN		PROJECT SCOPE: 1-STORY ADDITION BEHIND (E) GARAGE AND 2ND STORY ADDITION ABOVE (E) GARAGE	
SHEET: A1.1		BRIAN BRINKMAN DRAFTING & DESIGN 648 Navarre Drive Pacifica, CA 94044 (650) 922-7993	

1
 A1.1 **NEW SITE PLAN**
 SCALE: 1" = 10'-0"

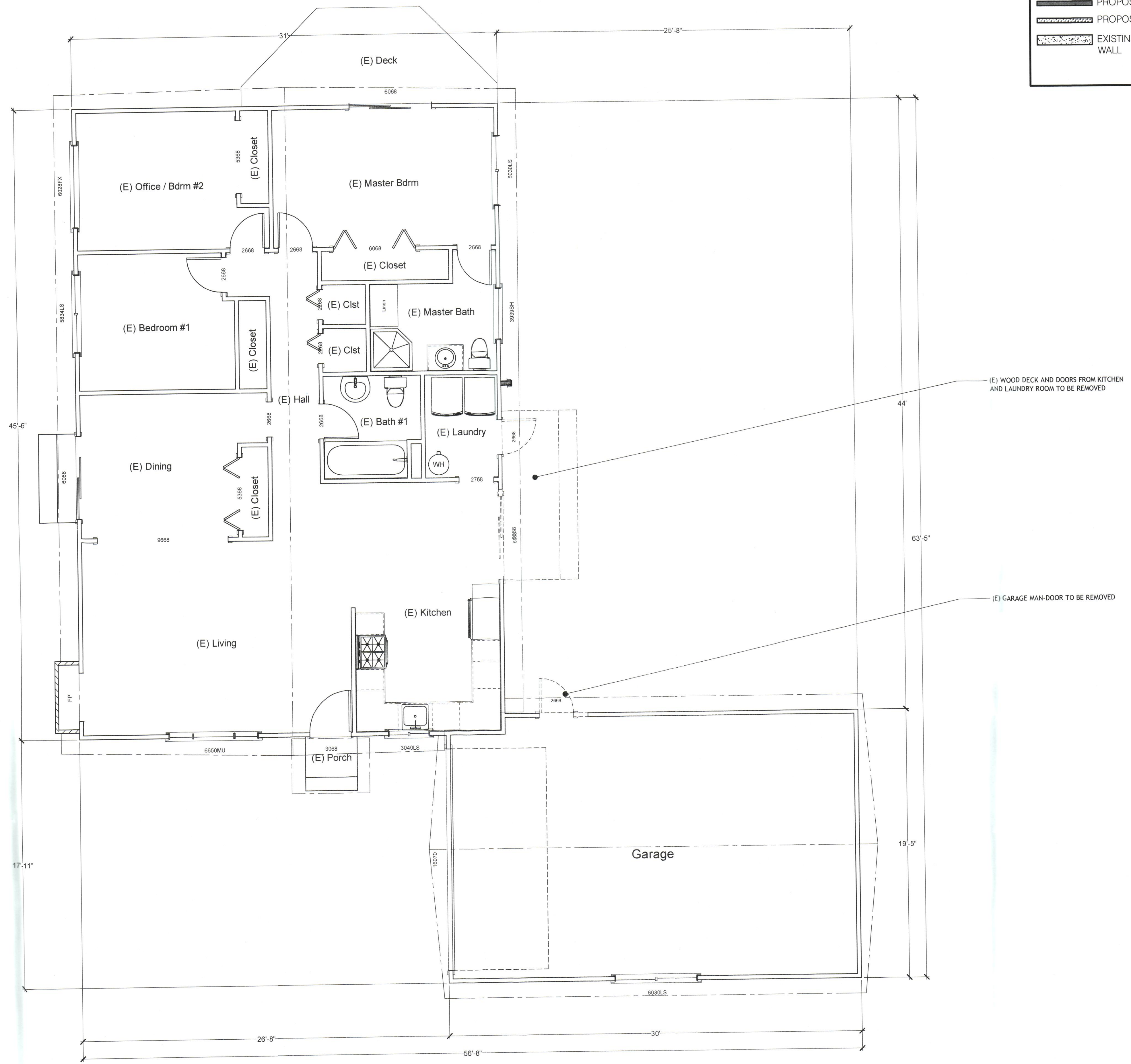
NEW PLUMBING FIXTURE NOTES:

- MAX FLOW RATE OF SHOWERHEADS SHALL BE 2.0 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTE:

- AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:
- MIN. 5.7 SF IN OVERALL SIZE
 - MIN. 24" CLEAR OPENING HEIGHT
 - MIN. 20" CLEAR OPENING WIDTH
 - SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
1	07/15/15	PLANNING SUBMITTAL

PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

SHEET TITLE:
**EXISTING
FLOOR PLAN**

SHEET:
A2.1

EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

**BRIAN BRINKMAN
DRAFTING & DESIGN**

648 Navarre Drive
Pacifica, CA 94044
(650) 922-7993




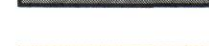

NEW PLUMBING FIXTURE NOTES:

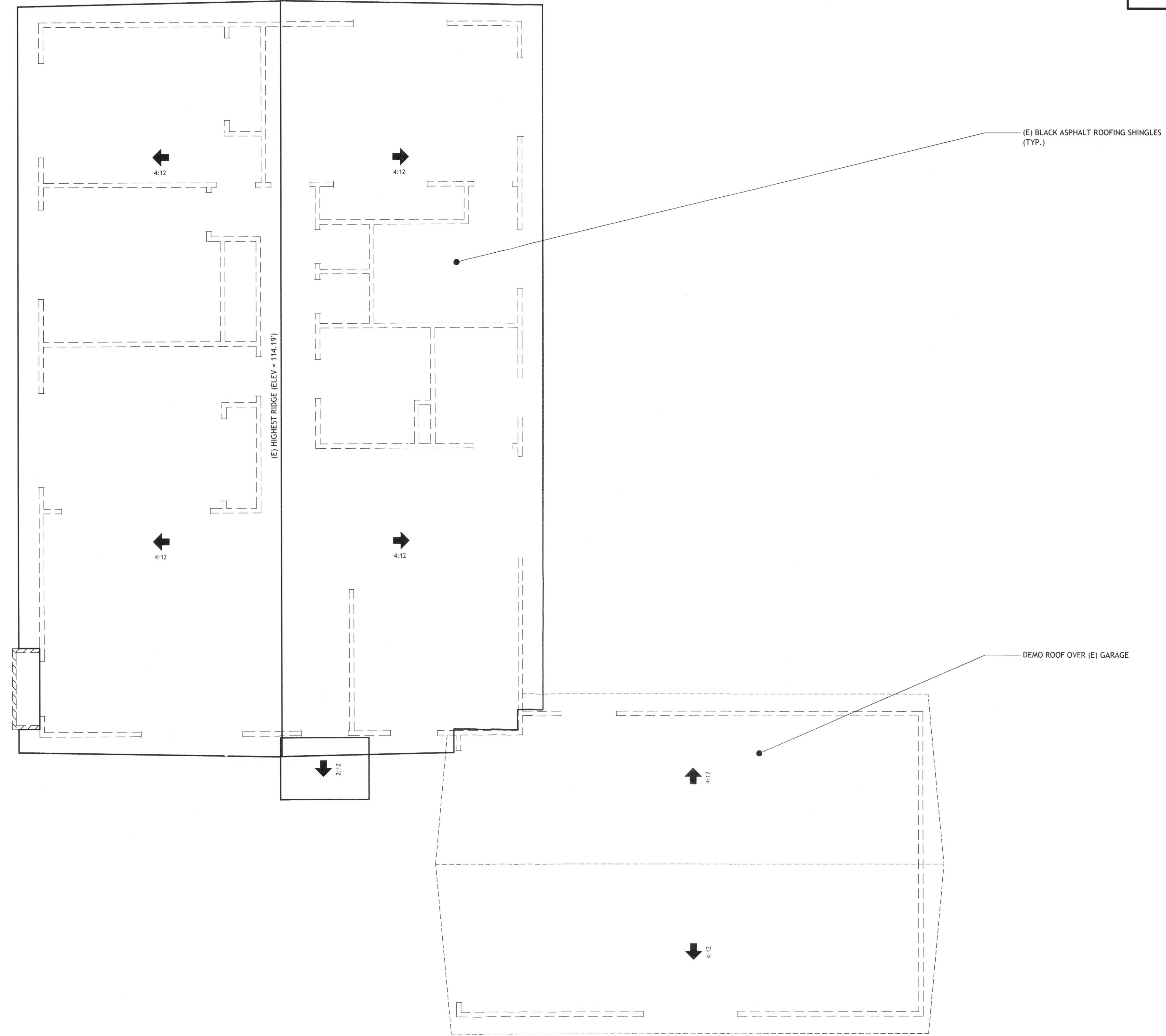
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EGRESS NOTE:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

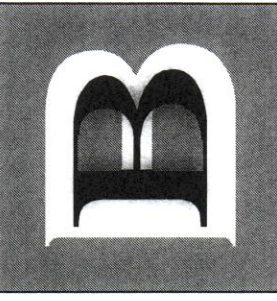
- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



BRIAN BRINKMAN
DRAFTING & DESIGN

648 Navarre Drive
Pacifica, CA 94044
(650) 922-7993



REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
1	07/15/15	PLANNING SUBMITTAL

PROJECT NAME:
ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
EXISTING
ROOF PLAN

SHEET:
A2.2

NEW PLUMBING FIXTURE NOTES:

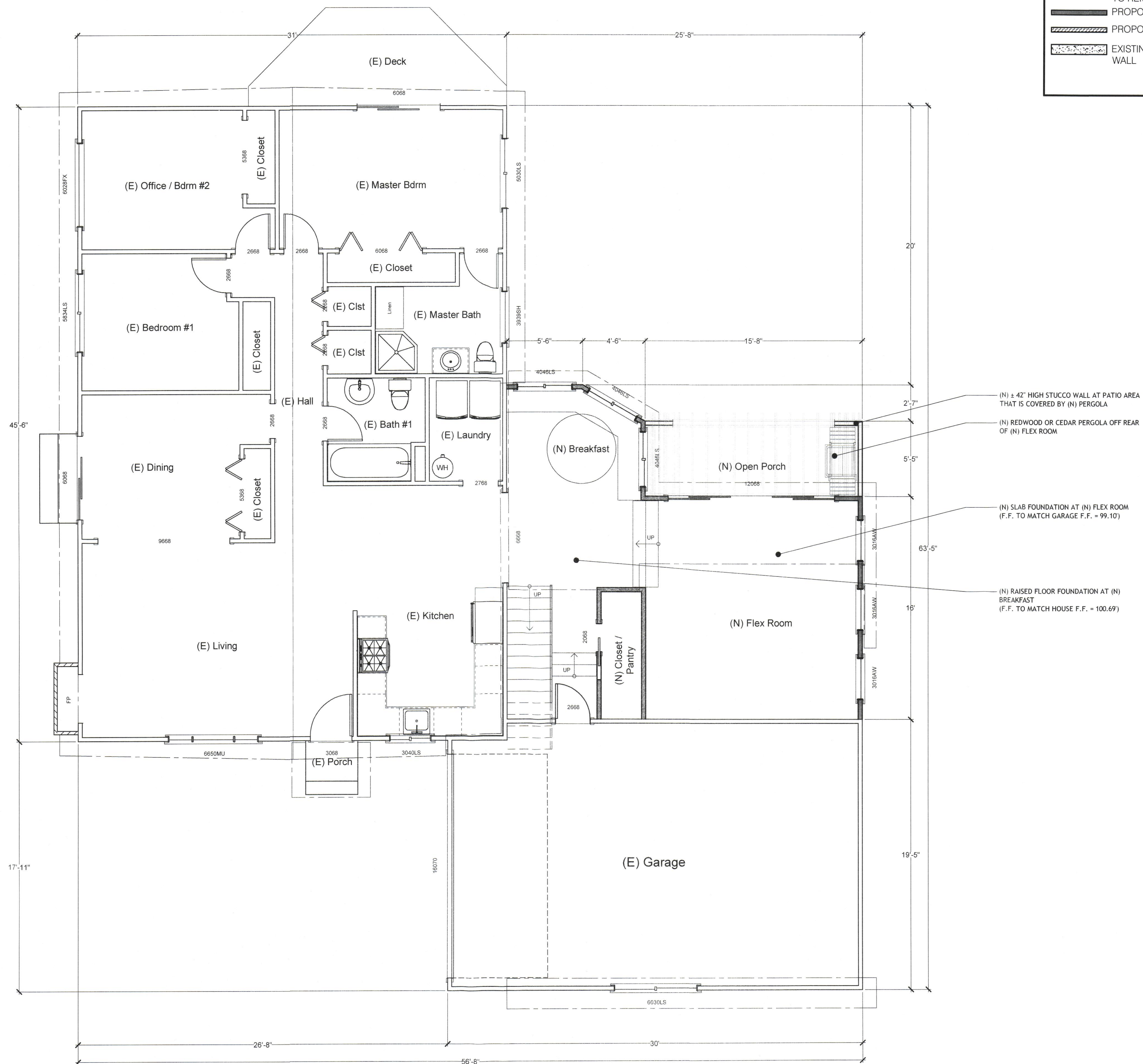
- MAX FLOW RATE OF SHOWERHEADS SHALL BE 2.0 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTE:

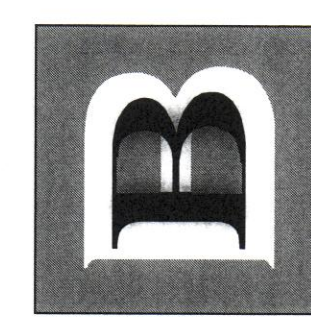
AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



BRIAN BRINKMAN
DRAFTING & DESIGN
648 Navarre Drive
Pacifica, CA 94044
(650) 922-7993



REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
1	07/15/15	PLANNING SUBMITTAL

PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT ADDRESS:
**439 VERMONT AVENUE
MOSS BEACH, CA 94038**

PROJECT SCOPE:
**1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE**

SHEET TITLE:
**PROPOSED
1ST FLOOR
PLAN**

SHEET:
A3.1

1
A3.1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

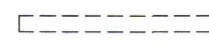


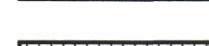

NEW PLUMBING FIXTURE NOTES:

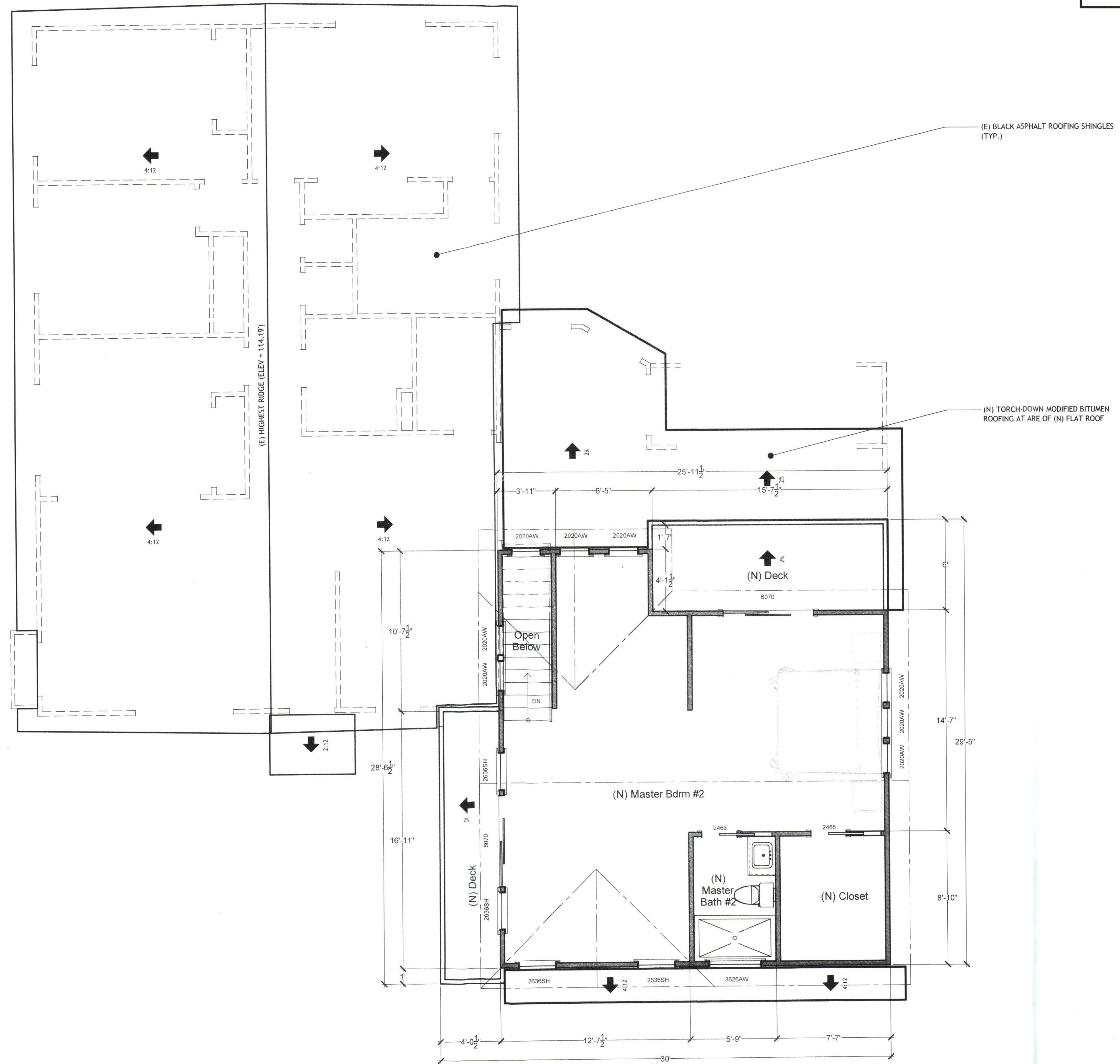
- MAX FLOW RATE OF SHOWERHEADS SHALL BE 2.0 GPM
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- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
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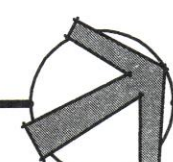
EGRESS NOTE:

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- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



1
A3.2  **PROPOSED 2ND FLOOR / LOWER ROOF PLAN**
 SCALE: 1/4" = 1'-0"

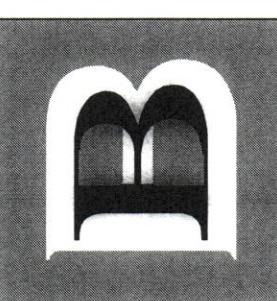
REV	DATE	DESCRIPTION
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1	07/15/15	PLANNING SUBMITTAL

PROJECT NAME:
 ADDITION TO SINGLE FAMILY HOME :
 YEE RESIDENCE
PROJECT ADDRESS:
 439 VERMONT AVENUE
 MOSS BEACH, CA 94038
PROJECT SCOPE:
 1-STORY ADDITION BEHIND (E)
 GARAGE AND 2ND STORY
 ADDITION ABOVE (E) GARAGE

SHEET TITLE:
 PROPOSED
 2ND FLOOR /
 LOWER ROOF
 PLAN

SHEET:
A3.2

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 DRAFTING & DESIGN
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 Pacifica, CA 94044
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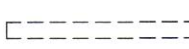



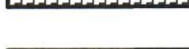
NEW PLUMBING FIXTURE NOTES:

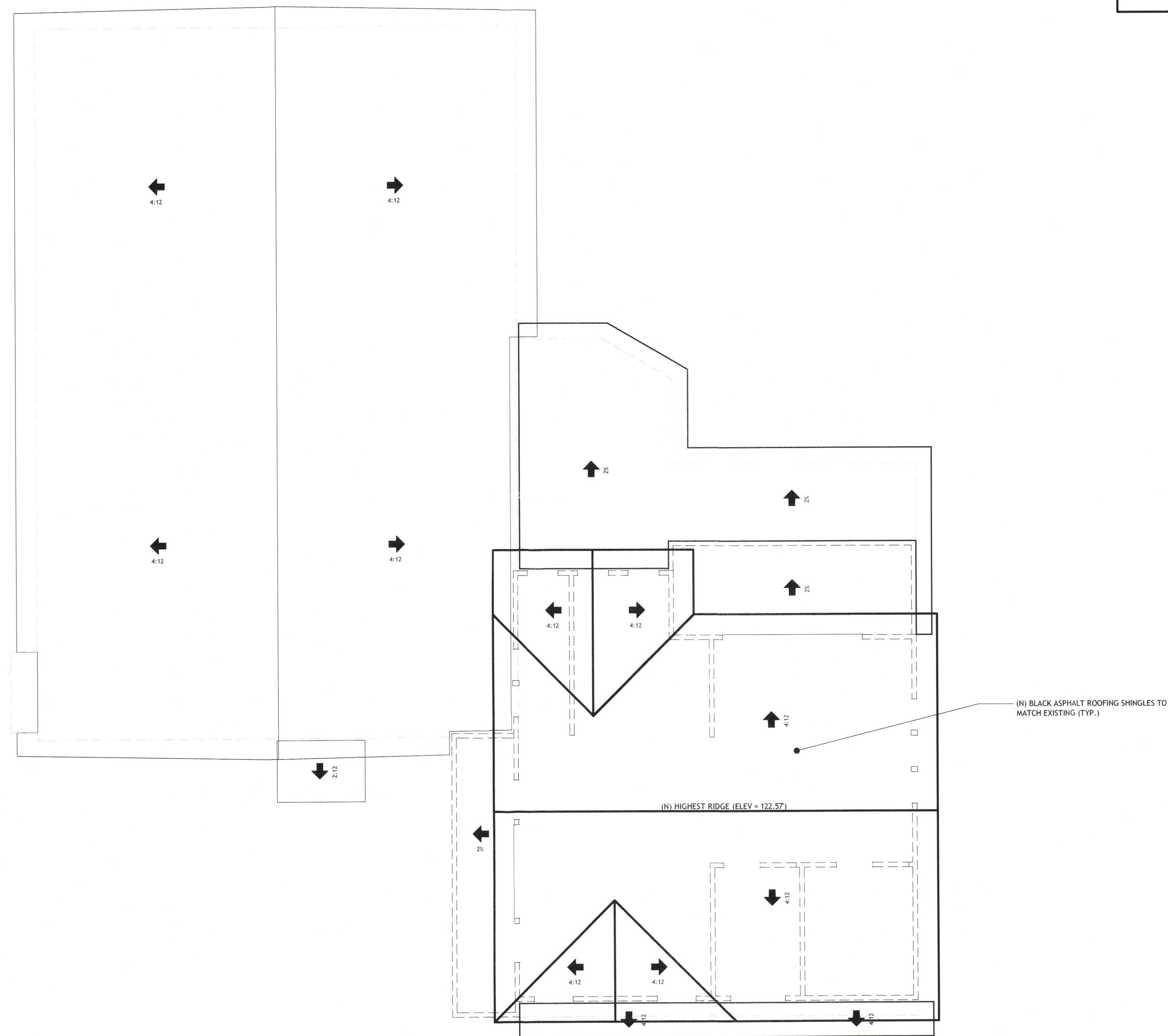
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- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTE:

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- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



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PROJECT NAME:
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PROJECT ADDRESS:
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MOSS BEACH, CA 94038

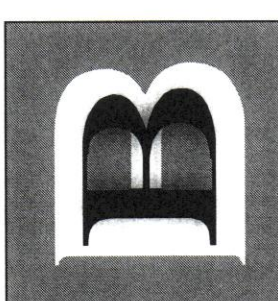
PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**PROPOSED
UPPER ROOF
PLAN**

SHEET:
A3.3

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Pacifica, CA 94044
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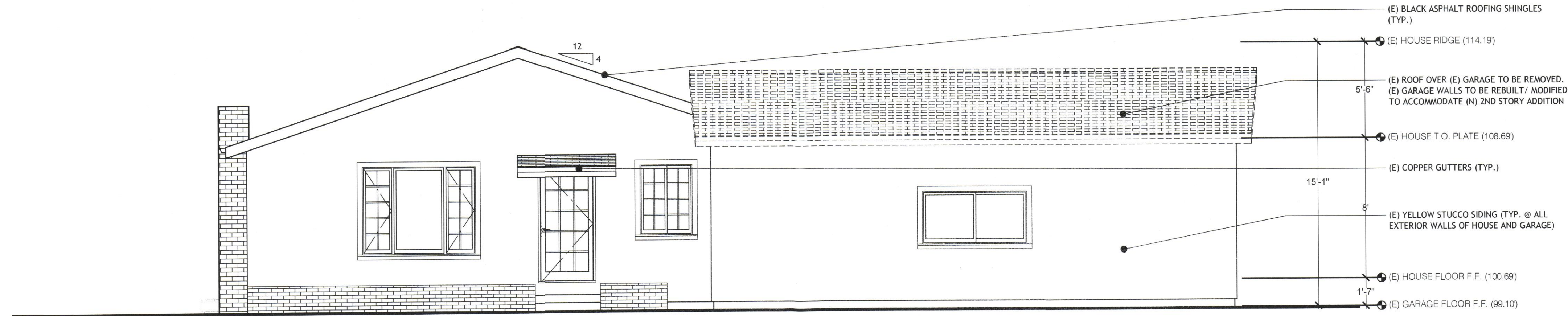
PLUMBING FIXTURE NOTES:

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- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
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EGRESS NOTE:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR



1
A4.1 EXISTING FRONT (SOUTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.1 PROPOSED FRONT (SOUTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
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PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
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PROJECT ADDRESS:
**439 VERMONT AVENUE
MOSS BEACH, CA 94038**

PROJECT SCOPE:
**1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE**

SHEET TITLE:
**EXISTING AND
PROPOSED
FRONT
(SOUTHEAST)
ELEVATIONS**

SHEET:
A4.1

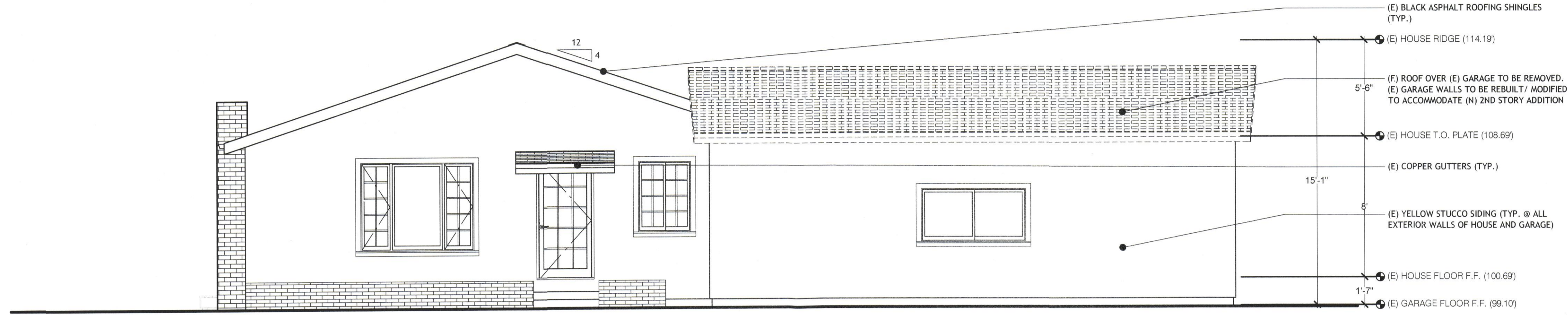
PLUMBING FIXTURE NOTES:

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- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
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EGRESS NOTE:

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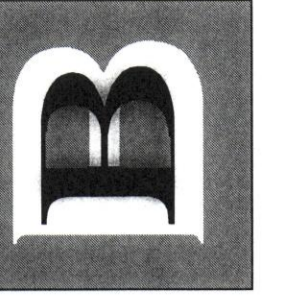
1
A4.1 EXISTING FRONT (SOUTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.1 PROPOSED FRONT (SOUTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"

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REV	DATE	DESCRIPTION
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PROJECT NAME: **ADDITION TO SINGLE FAMILY HOME : YEE RESIDENCE**

PROJECT ADDRESS: **439 VERMONT AVENUE MOSS BEACH, CA 94038**

PROJECT SCOPE: **1-STORY ADDITION BEHIND (E) GARAGE AND 2ND STORY ADDITION ABOVE (E) GARAGE**

SHEET TITLE: **EXISTING AND PROPOSED FRONT (SOUTHEAST) ELEVATIONS**

SHEET: **A4.1**

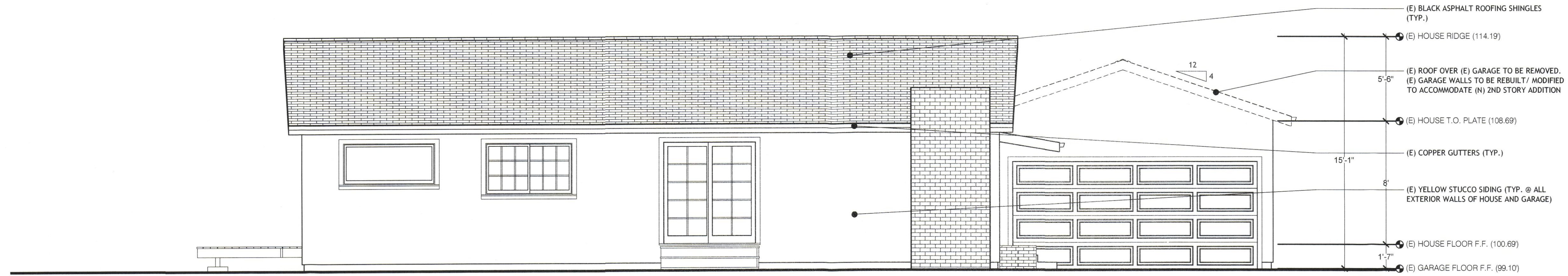
PLUMBING FIXTURE NOTES:

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- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
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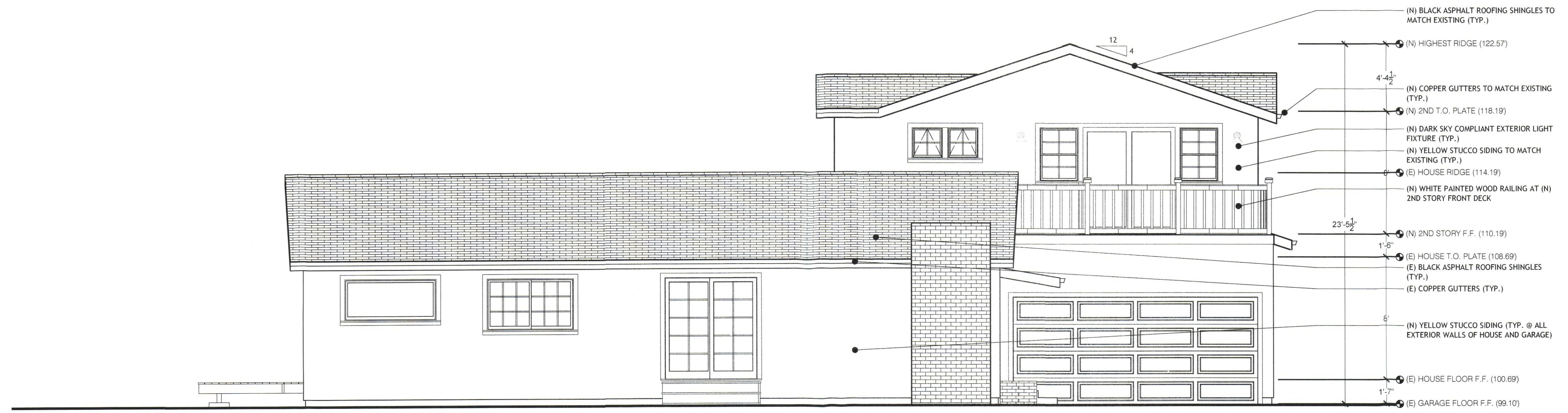
EGRESS NOTE:

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- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
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1
A4.2 EXISTING LEFT (SOUTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.2 PROPOSED LEFT (SOUTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
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PROJECT NAME:
ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
EXISTING AND
PROPOSED
LEFT
(SOUTHWEST)
ELEVATIONS

SHEET:
A4.2

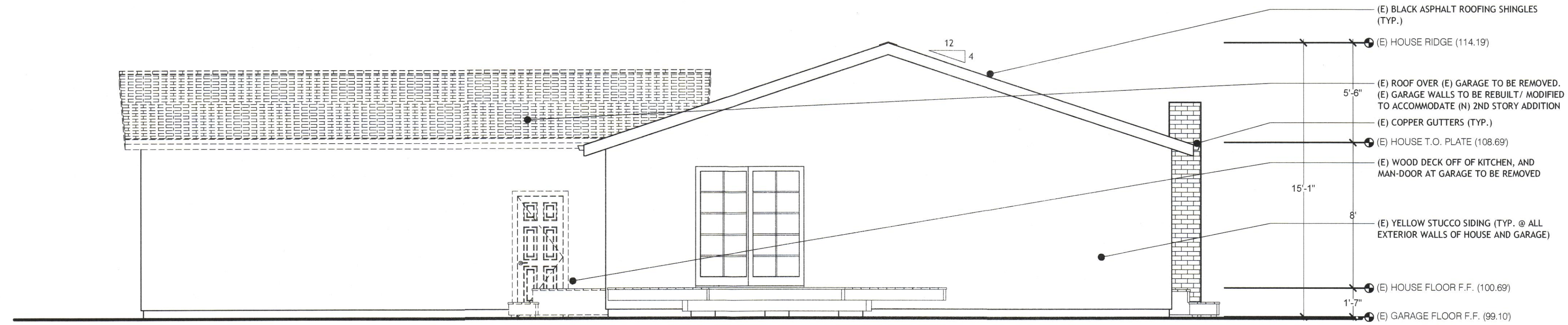
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- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
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EGRESS NOTE:

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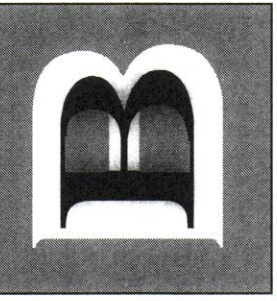


1
A4.3 EXISTING REAR (NORTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.3 PROPOSED REAR (NORTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"

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DRAFTING & DESIGN
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REV	DATE	DESCRIPTION
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PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
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PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**EXISTING AND
PROPOSED
REAR
(NORTHWEST)
ELEVATIONS**

SHEET:
A4.3

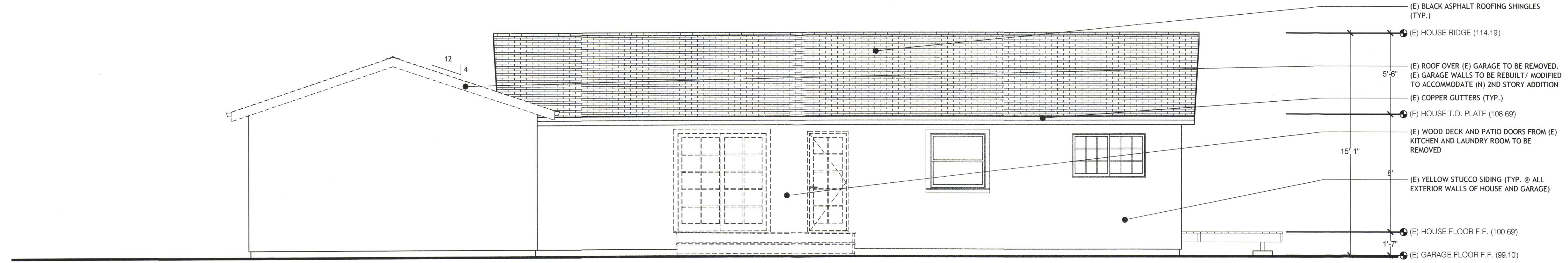
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- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR



1
A4.4 EXISTING RIGHT (NORTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.4 PROPOSED RIGHT (NORTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT NAME:
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YEE RESIDENCE

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
EXISTING AND
PROPOSED
RIGHT
(NORTHEAST)
ELEVATIONS

SHEET:
A4.4