

February 26, 2020

Ed Love  
Architect  
720 Mill Street  
Half Moon Bay, CA 94019

Dear Mr. Love:

SUBJECT: Coastside Design Review Continuance  
0 El Granada Boulevard, El Granada  
APN 047-151-120; County File No. PLN 2019-00162

At its meeting of February 13, 2020, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow construction of a new two-story 2,772 sq. ft. single-family residence, plus a 481 sq. ft. attached two-car garage, on a 5,230 sq. ft. legal parcel (legality confirmed PLN 2016-00031). No significant tree removal and a grading permit for 330 cubic yards is proposed. The project qualifies for a Coastal Development Exemption and is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the Local Coastal Program and "Standards for Design for One-family and Two-family residential development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. Recommendations Discussed Include:
  - a. Make the shed roofs that flank each side of the front entry larger to set the second floor back.
  - b. Change the entry expression to be a single-story expression.
  - c. Shift the master bedroom suite away from the south property line in order to introduce the first-floor roof and set the second-floor back from the first-floor.
  - d. Remove the story poles within one week.



2. Suggestion:

- a. Step down the master suite/living room/kitchen area to visually break up the roofline and follow the natural grade.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at a future meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Olivia Boo, Project Planner, at 650/363-1818 or [oboo@smcgov.org](mailto:oboo@smcgov.org), if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,

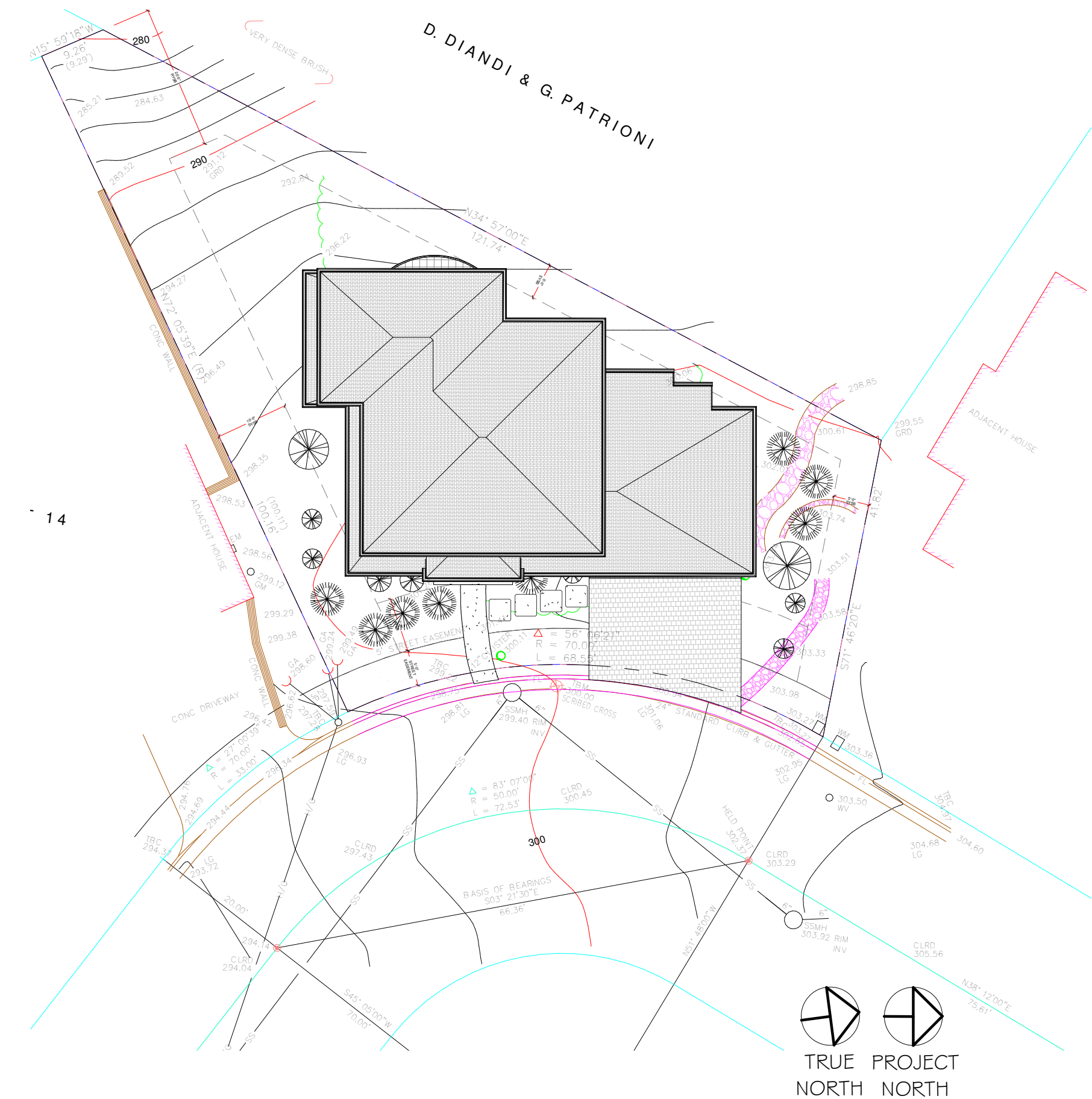


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Ruemel Panglao  
Design Review Officer

RSP:OSB:cmc – OSBEE0108\_WCN.DOCX

cc: Wei Zheng, Owners  
Bruce Chan, Member Landscape Architect  
Chris Johnson, Member  
Kayleen Kostuik, Member Architect  
Kathleen Dailey, Interested Member of the Public  
Sharon Valdez, Interested Member of the Public  
Greg Formanek, Interested Member of the Public  
Dan Letters, Interested Member of the Public  
Jeremiah Armstrong, Interested Member of the Public  
Barbara Norman, Interested Member of the Public  
Kayoko Barbour, Interested Member of the Public  
Aaron Halon, Interested Member of the Public  
Aidan Brewster, Interested Member of the Public



1 Site Plan  
1/16" = 1'-0"

PLN 2019-00162  
REVISIONS DEC 2, 2019

THE CDRC, AT THE NOV 14th MEETING, RECOMMENDED THAT THE HOUSE AND ROOFLINE BE LOWERED. ALSO, OTHER MINOR INCONSISTANCIES BE RESOLVED. TO THAT END, THE FOLLOWING REVISIONS HAVE BEEN MADE:

- EXISTING GRADE AT THE FRONT OF THE LOT HAS BEEN LOWERED ~2 FEET
- A SLAB-ON-GRADE FOUNDATION WILL REPLACE A FRAMED FLOOR WITH CRAWLSPACE
- THE FIRST FLOOR CEILING IS DROPPED TO 9 FEET
- THE GARAGE ROOF IS LOWERED ~10 1/2 FEET
- THE ROOF PITCHES HAVE BEEN LOWERED
- THE ENTRY TOWER HAS BEEN LOWERED

THE TOTAL RESULT OF THESE REVISIONS IS A ROOFLINE THAT, ON AVERAGE, IS ~5 1/2 FEET BELOW THE ORIGINAL

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PLN 2019-00162  
ADDITIONAL REVISIONS MAR 2, 2020

THE CDRC, AT THE FEB 13th MEETING, RECOMMENDED THAT THE SECOND FLOOR WALLS BE SET BACK AND OTHER MINOR CRITIQUES, TO THAT END, THE FOLLOWING REVISIONS HAVE BEEN MADE:

- SECOND FLOOR FRONT & SOUTH WALL NEAR FRONT OF PROPERTY HAVE BEEN SHIFTED BACK
- ENTRY EXPRESSION IS SINGLE STORY
- MASTER BEDROOM SOUT WALL SHIFTED 2 FEET TO NORTH

THE TOTAL RESULT OF THESE REVISIONS IS A ROOFLINE THAT, ON AVERAGE, IS ~5 1/2 FEET BELOW THE ORIGINAL

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	5230							
LOT COVERAGE	0	0.0	1806	34.5	1806	34.5	1830	35.0
FLOOR AREA			First Flr Second Flr Garage	1263 1001 507	First Flr Second Flr Garage	1263 1001 507		
	Total	0 0.0	Total	2771 53.0	Total	2771 53.0	Total	2772 53.0

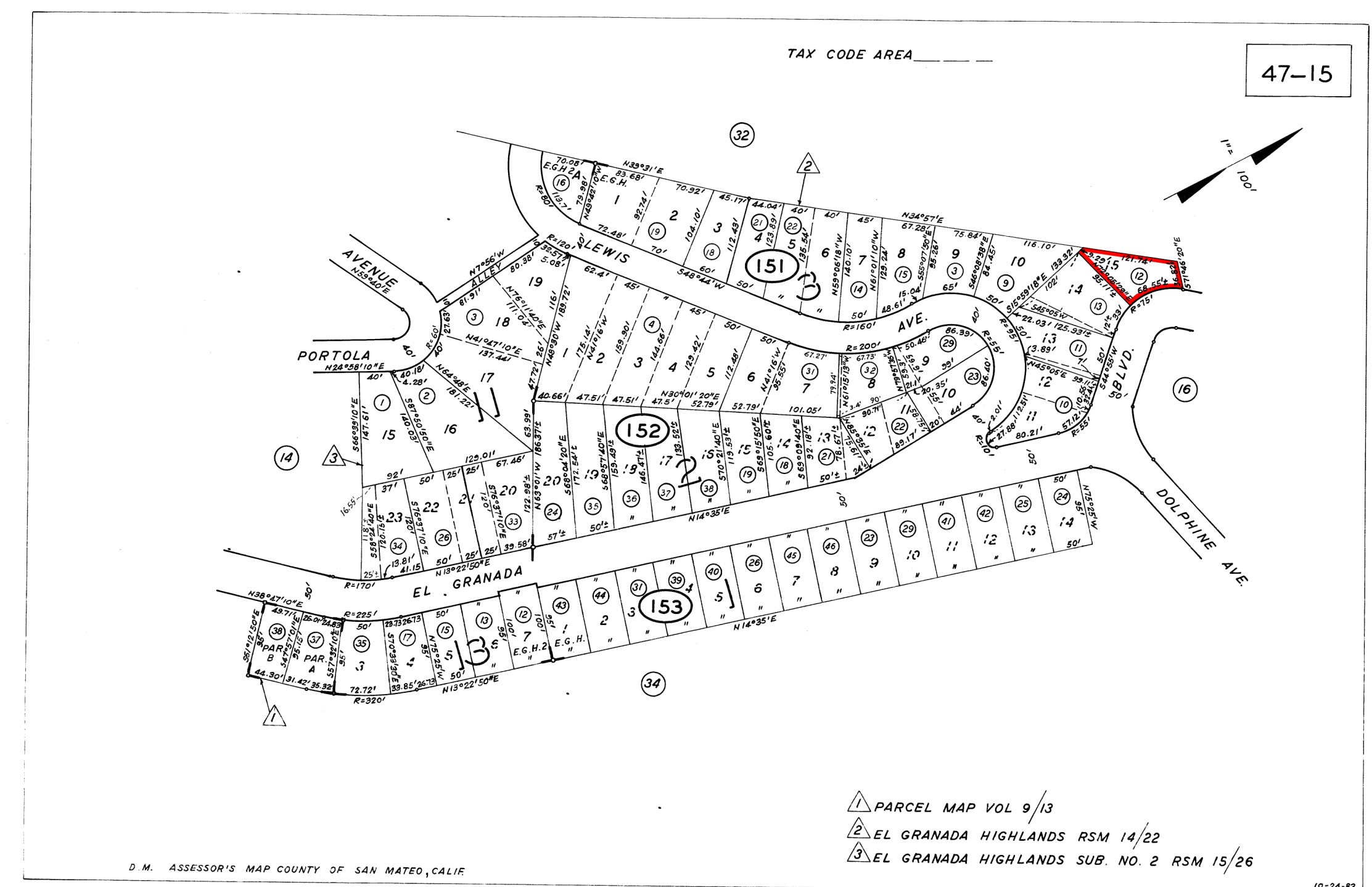
SITE DATA:  
APN: 047-151-120  
ZONING: R-1/S-17/DR/CD  
OCCUPANCY GROUP: R3/U  
TYPE OF CONSTRUCTION: V-B

PLN: 2019-00162  
BLD:

APPLICABLE CODES:  
SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

Sheet List - DD	
Sheet Number	Sheet Name
AO.01	Cover Sheet
SU.1	Survey
AO.02	Site Plan
AO.03	Site Plan Supplement
AO.04	Site Plan - Views
C.1	Grading & Drainage
C.2	Erosion Control
A1.01	First Floor Plan
A1.02	Second Floor & Roof Plan
A1.03	Floor Area Plan
A2.01	Elevations - East & North
A2.02	Elevations - West & South
A3.01	Sections
A7.01	Product Sheets
LP.01	Landscape Plan by Flora Farms



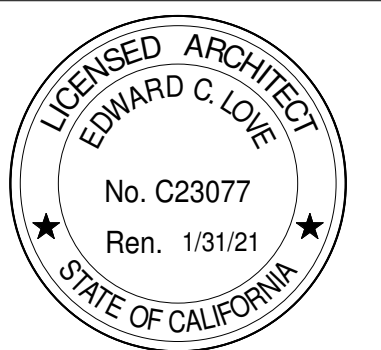
REVISIONS



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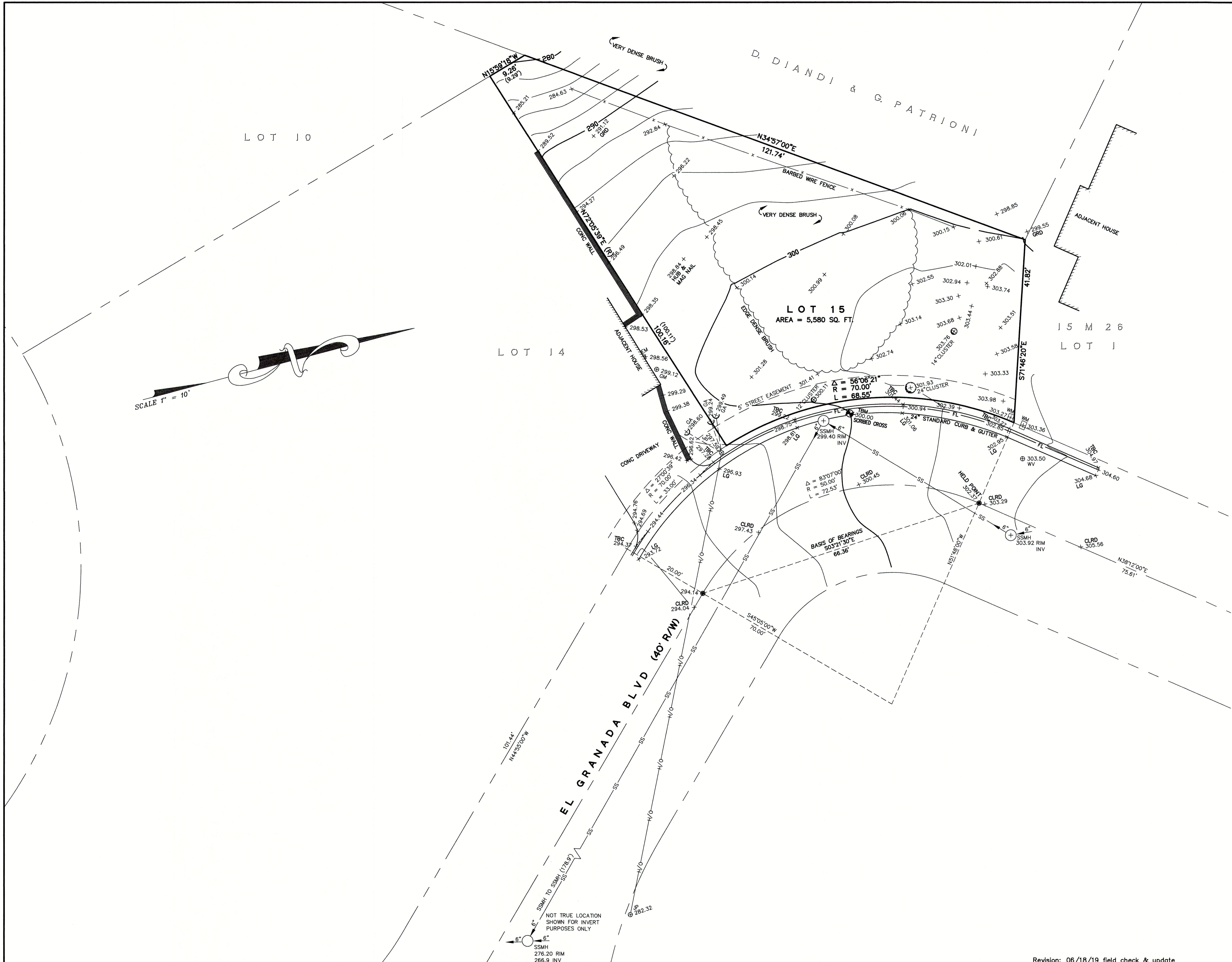
New Residence for  
The Zheng Family  
El Granada Blvd  
El Granada, CA

Cover Sheet



DATE: 03/02/20  
SCALE: As indicated  
DRAWN: GMH  
JOB: ZHENG

SHEET:  
AO.01  
OF SHEETS



**BASIS OF ELEVATIONS:**  
 ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.  
 TBM: SET SCRIBED CROSS AS SHOWN  
 ELEVATION = 100.00

**BASIS OF BEARINGS:**  
 THE CALCULATED BEARING, S3°21'30"E BETWEEN TWO FOUND MONUMENTS AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, 6 LLS 124 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**LEGEND:**

⊙	FOUND 2" BRASS DISK WITH PUNCH IN CASING
OPW, SMO	RECORD DATA PER 14 MAPS 23
( )	ASPHALTIC CONCRETE
A/C	BACK OF WALK
BW	CATCH BASIN
CB	CAST IRON PIPE
CIP	CORRUGATED METAL PIPE
CMP	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
FD	FOUND
FF	FINISHED FLOOR
FL	FLOW LINE
FH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
INV.	INVERT
IP	IRON PIPE
LAT.	LATERAL
LG	LIP OF GUTTER
O/H	OVERHEAD
P.U.E.	PUBLIC UTILITIES EASEMENT
RCP	REINFORCED CONCRETE PIPE
RWALL	RETAINING WALL
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SSMH	STORM DRAIN MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

**UTILITY NOTE:**  
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LANDS OF  
 DOCUMENT # O.R.  
 LOT 15, BLOCK 3  
 "EL GRANADA HIGHLANDS"  
 VOLUME 14 OF MAPS AT PAGE 23  
 ASSESSOR'S PARCEL NUMBER: 047-151-120  
 (VACANT LOT)

EL GRANADA SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' OCTOBER, 2015

**B & H SURVEYING, INC.**  
 PROFESSIONAL LAND SURVEYING  
 901 WALTERMIRE ST.  
 BELMONT, CA 94002  
 OFFICE (650) 637-1590  
 FAX (650) 637-1059

Revision: 06/18/19 field check & update

REVISIONS

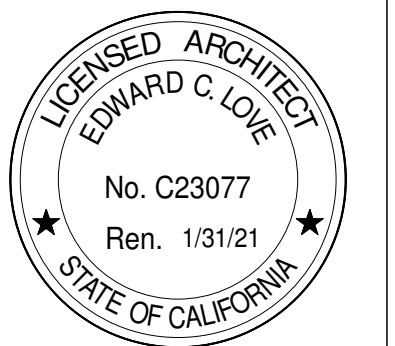


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Site Plan



DATE: 03/02/20

SCALE: As indicated

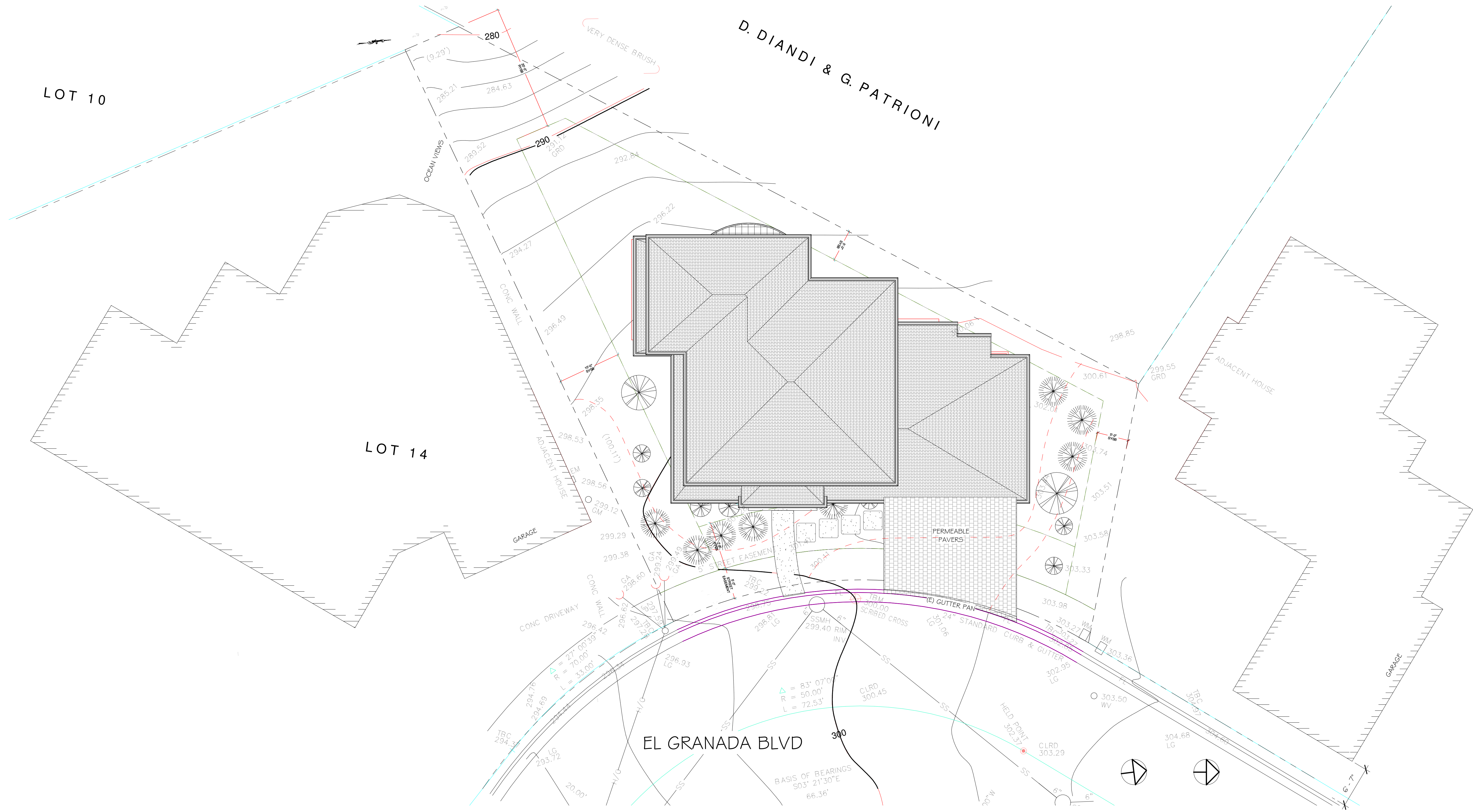
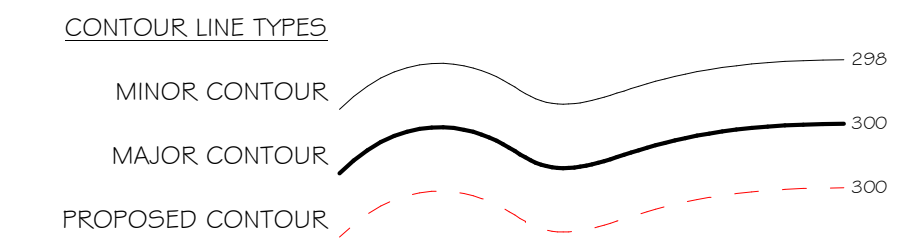
DRAWN: GMH

JOB: ZHENG

SHEET:

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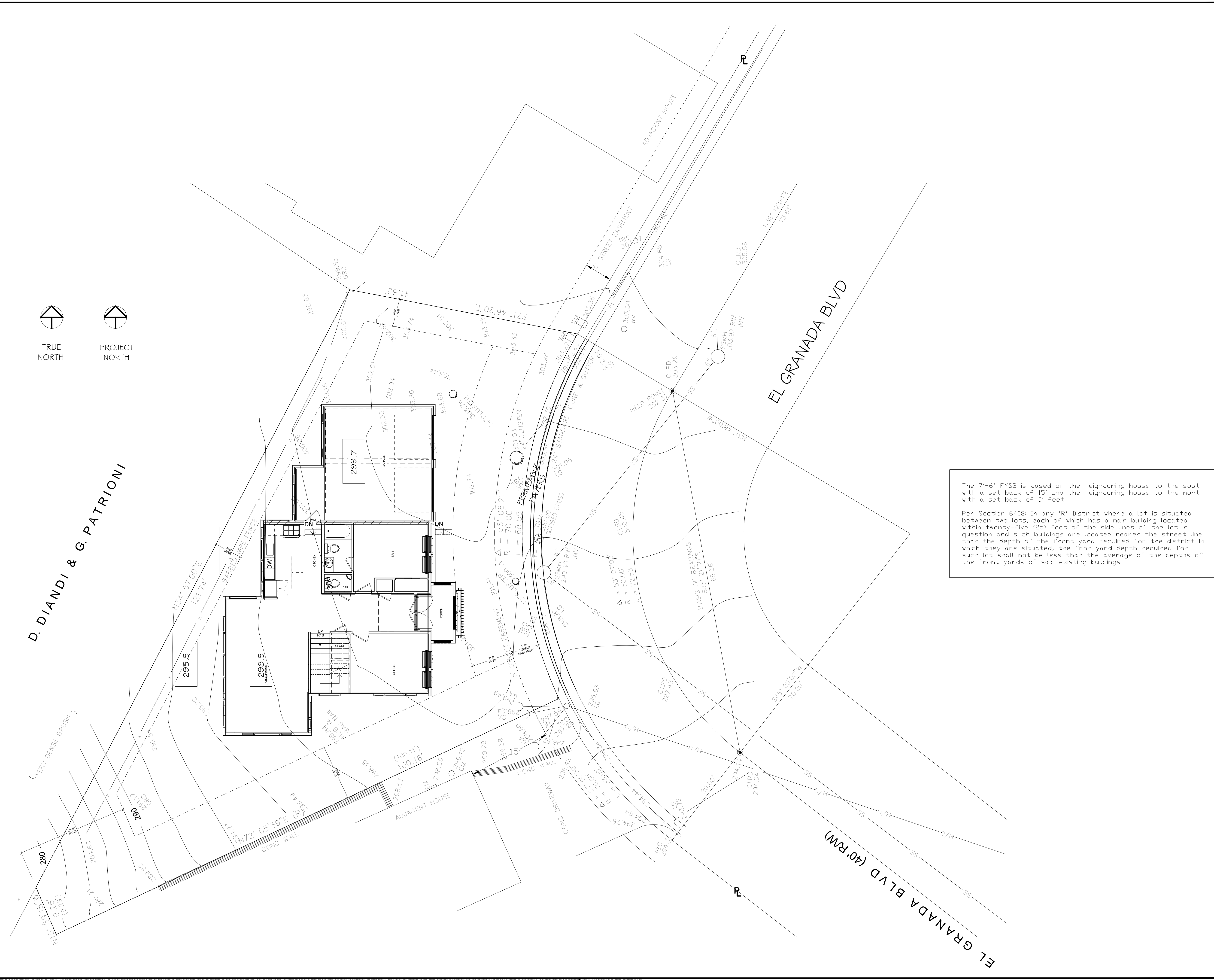
OF SHEETS



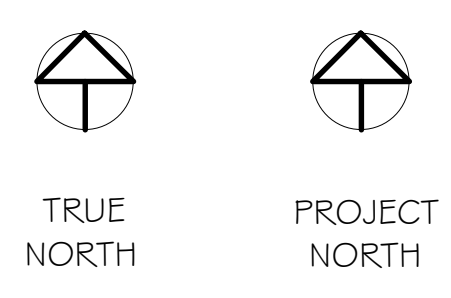
SEE SHEET C-1, GRADING PLAN

1 DD - Site Plan  
1/8" = 1'-0"

S:\Client Projects 2017\Zheng\Revit\Zheng-Working.rvt



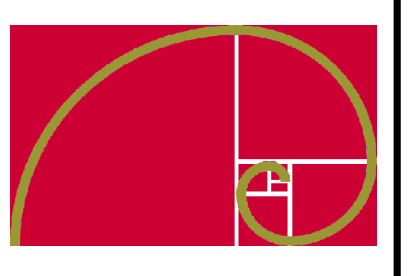
D. DIANDI & G. PATRIONI



The 7'-6" FYSB is based on the neighboring house to the south with a set back of 15' and the neighboring house to the north with a set back of 0' feet.

Per Section 6408: In any "R" District where a lot is situated between two lots, each of which has a main building located within twenty-five (25) feet of the side lines of the lot in question and such buildings are located nearer the street line than the depth of the front yard required for the district in which they are situated, the front yard depth required for such lot shall not be less than the average of the depths of the front yards of said existing buildings.

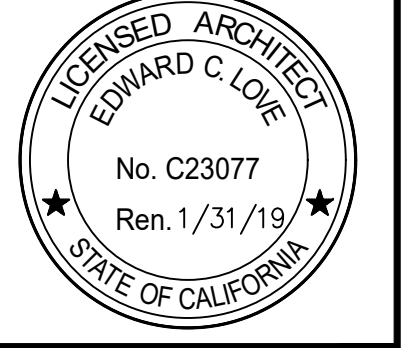
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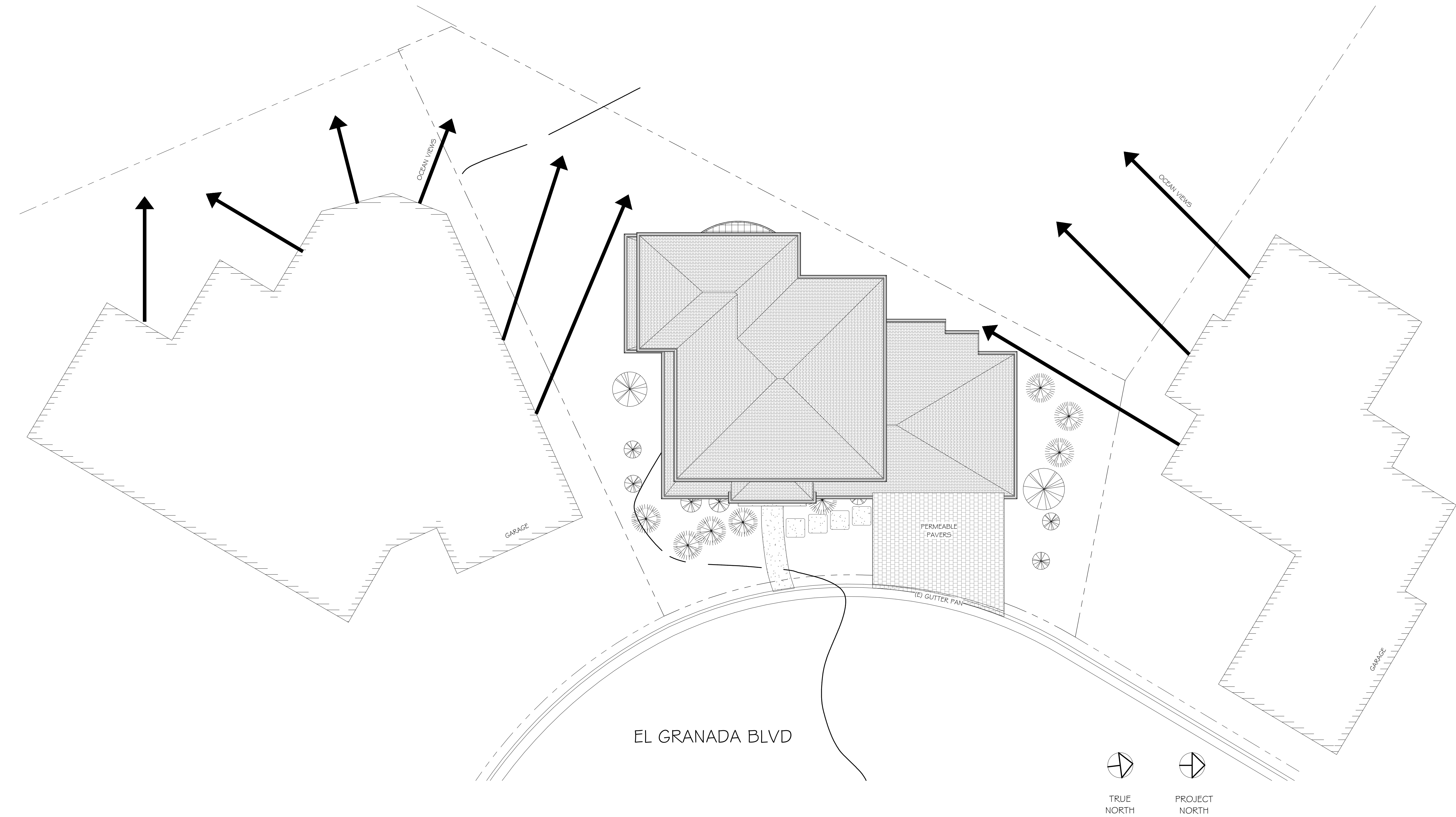
Site Plan  
Supplement



DATE: 10/11/17  
SCALE: 1/8" = 1'  
DRAWN: GMH  
JOB: WYER  
SHEET:

SP-S  
OF SHEETS

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1 DD - View Site Plan  
1/8" = 1'-0"

REVISIONS

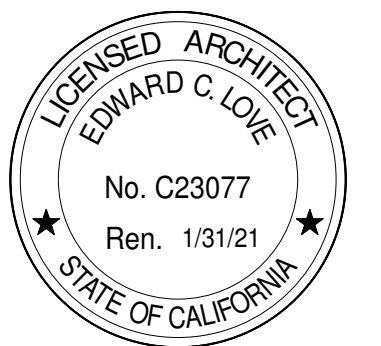


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Site Plan - Views



DATE: 03/02/20

SCALE: 1/8" = 1'-0"

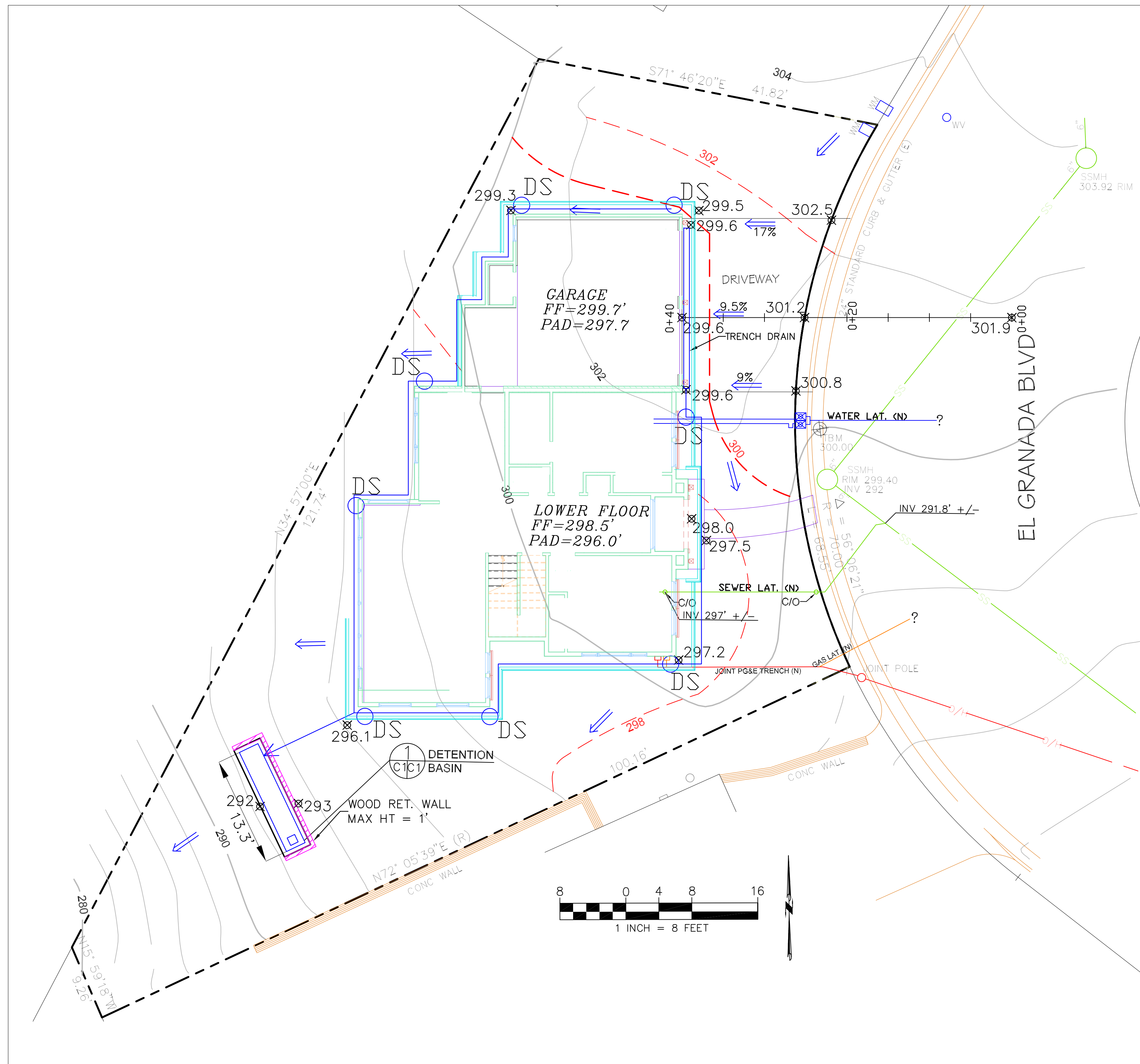
DRAWN: GMH

JOB: ZHENG

SHEET:

AO.04

OF SHEETS



- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATION
  - DOWNSPOUT
  - 4" MIN SOLID DRAIN PIPE

**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF: WEI ZHENG, OWNER
- TOPOGRAPHY BY L. ARATA, SURVEYED NOVEMBER, 2015.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL INVESTIGATION: PROPOSED RESIDENCE, EL GRANADA BOULEVARD, APN 047-151-120**; DATE: NOVEMBER 3, 2015, BY BUCKLEY ENGINEERING ASSOCIATES, PROJECT NO. 15763.1 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS BUCKLEY ENGINEERING ASSOCIATES, WITH THE CONTACT NUMBER (408)-966-6680. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL BE WATER-TIGHT AND DRAIN TO AN ENERGY DISSIPATER, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

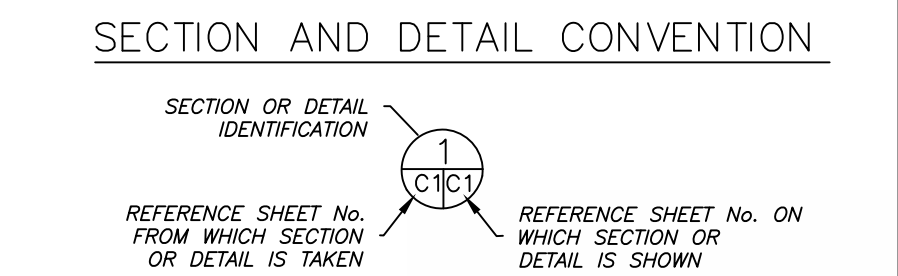
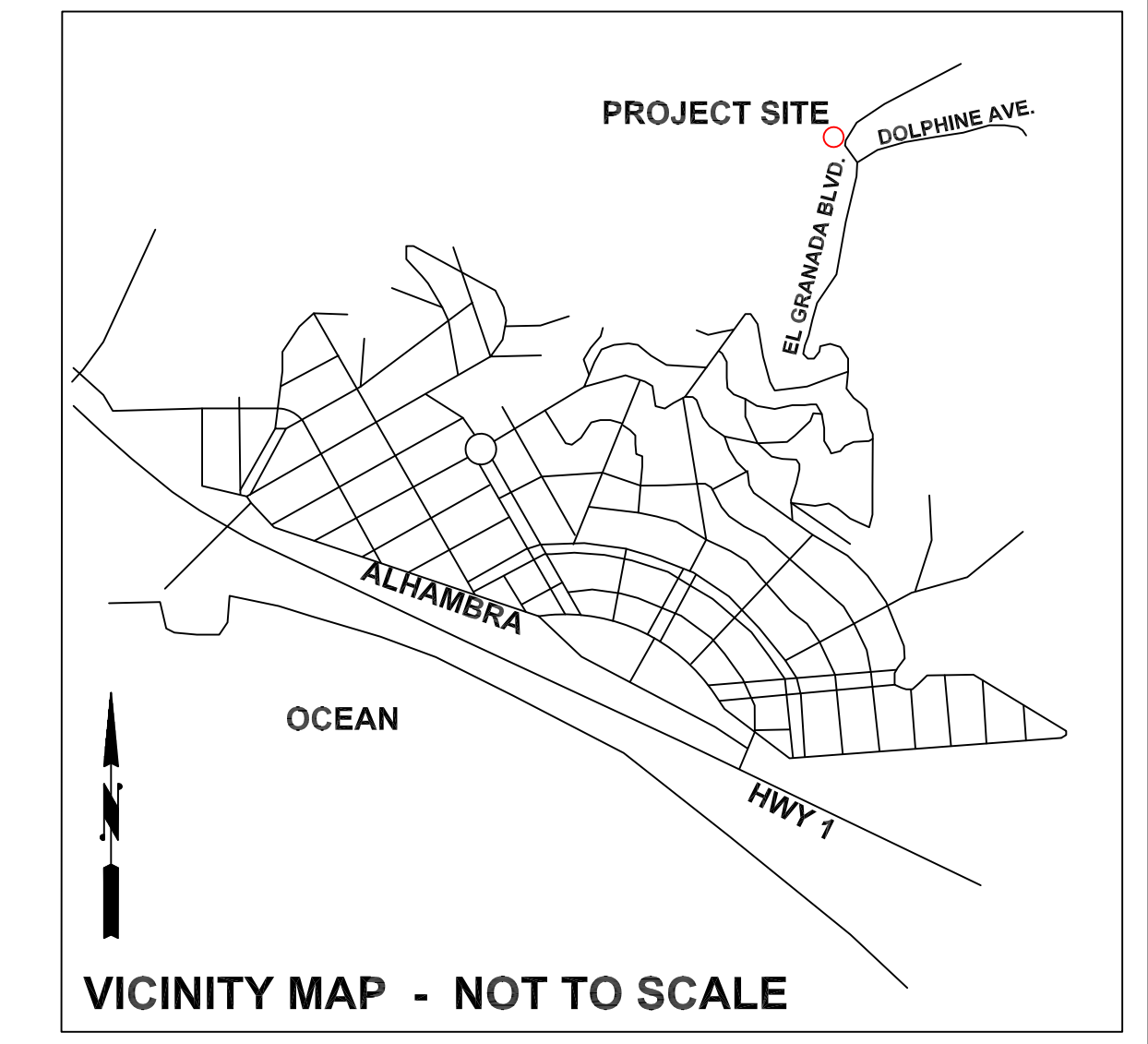
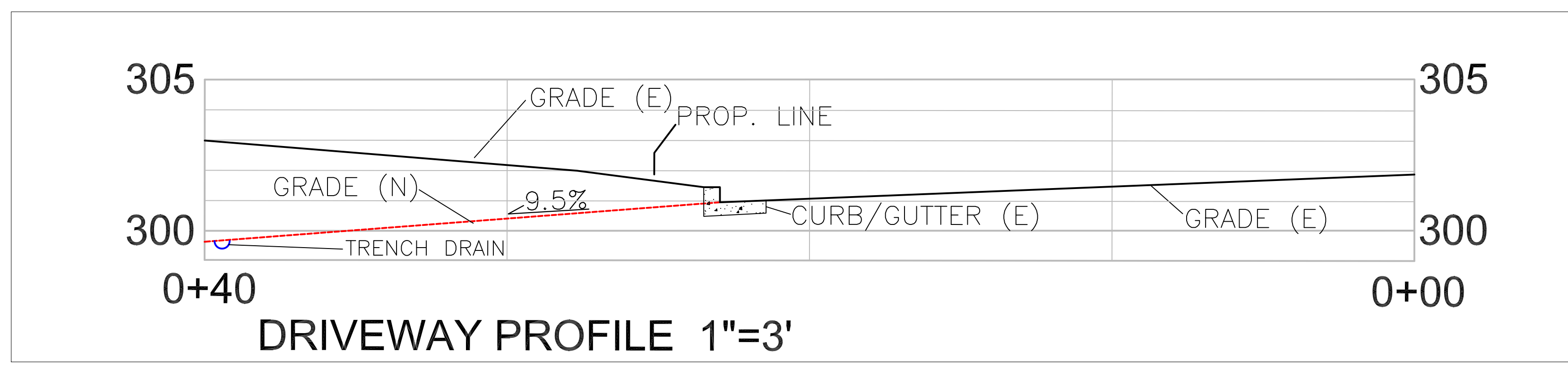
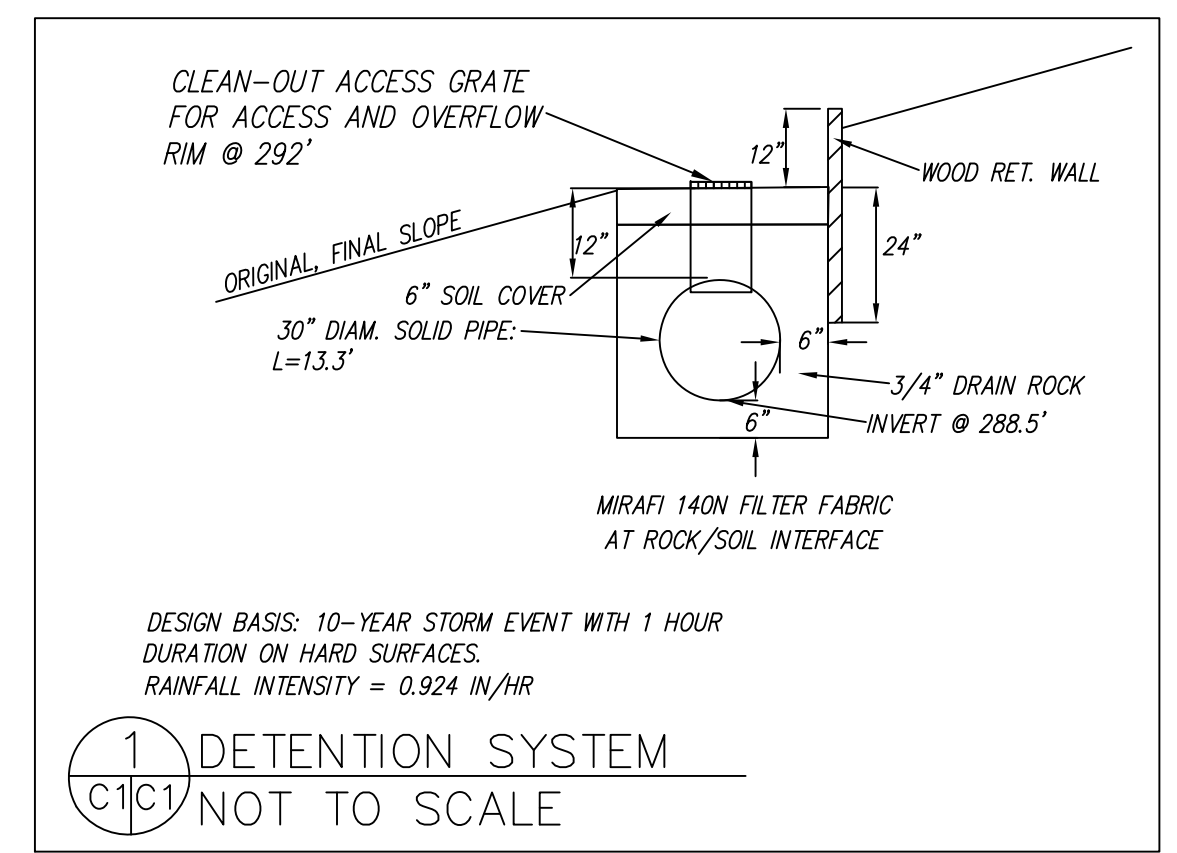
CUT VOLUME : 330 CY  
FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



DATE: 3-16-20	DRAWN BY: CMK	Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE PALM SPRING, CA 94019 PHONE: 760-360-3680 FAX: 726-3685
	CHECKED BY: AZG	
	REV. DATE:	
	REV. DATE:	
	REV. DATE:	
GRADING AND DRAINAGE PLAN		ZHENG PROPERTY EL GRANADA BLVD. EL GRANADA APN 047-151-120
SHEET		C-1





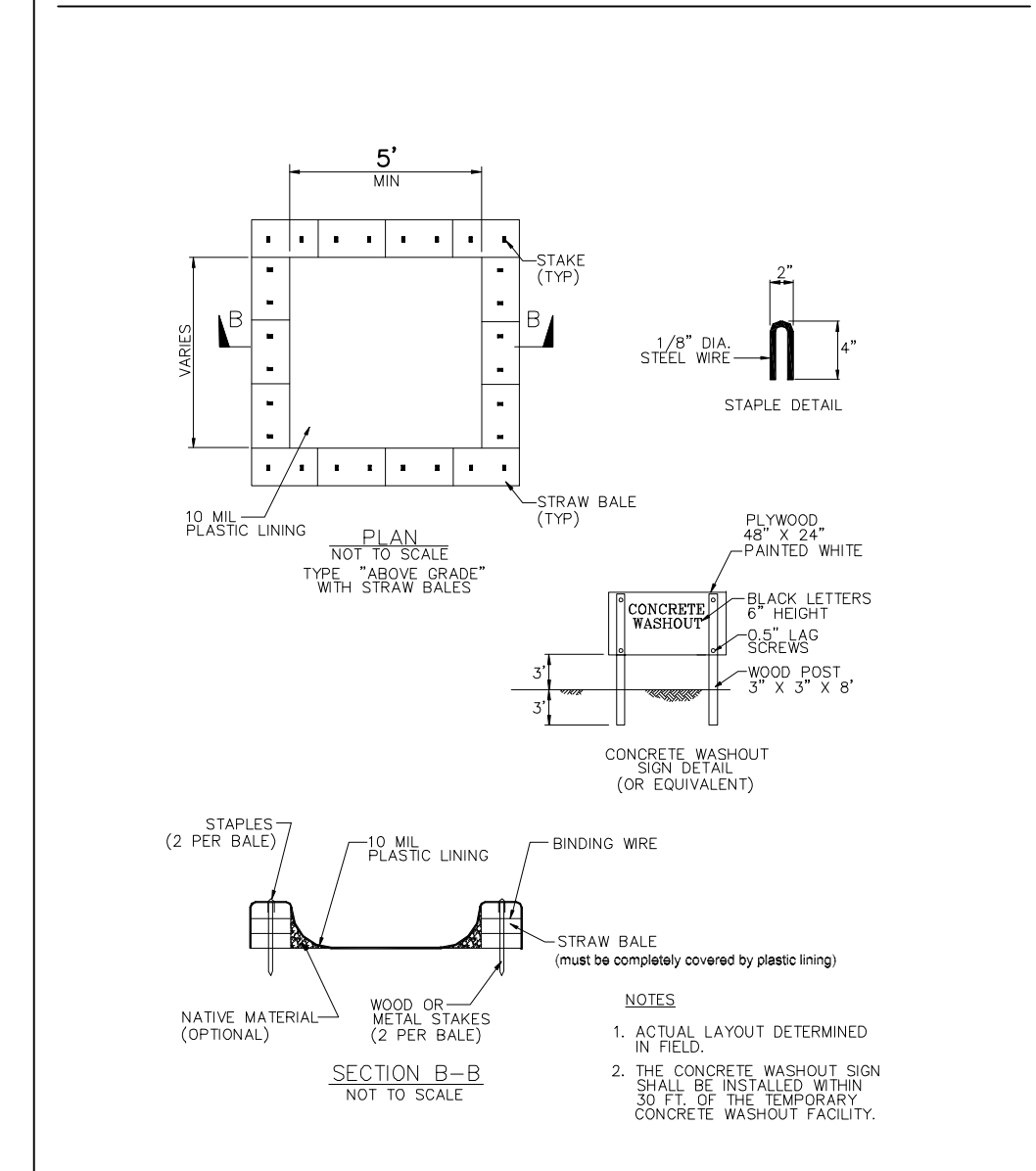
**EROSION CONTROL NOTES**

- FIBER ROLL**  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 18.5 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
    - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
    - B. PAD SHALL BE NOT LESS THAN 12" THICK.
    - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
    - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

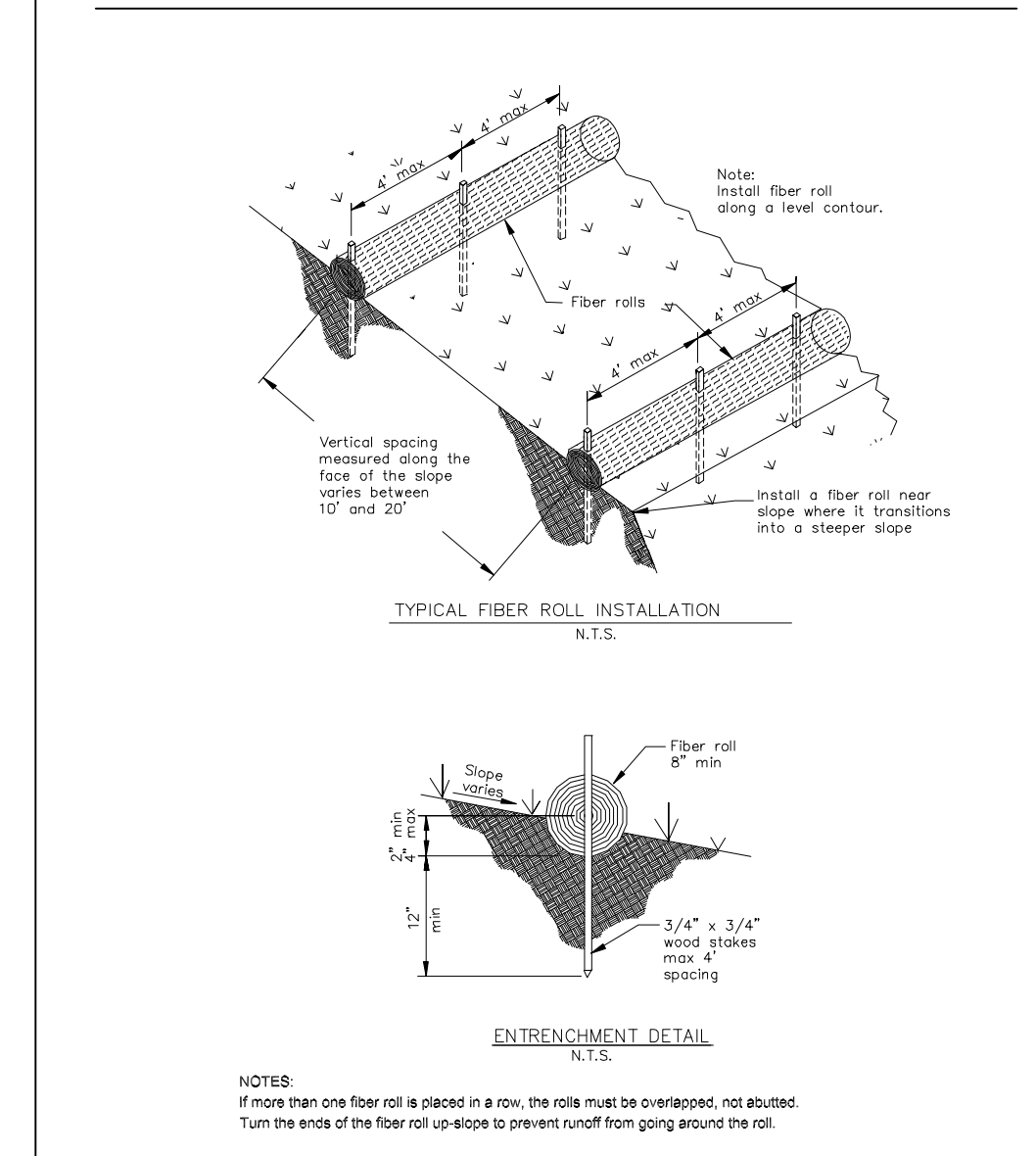
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

**CONCRETE WASTE MANAGEMENT WM-8**



**FIBER ROLLS SE-5**



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: WEI ZHENG  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-862-8323  
 PHONE:  
 E-MAIL: ATLASFIVE@GMAIL.COM



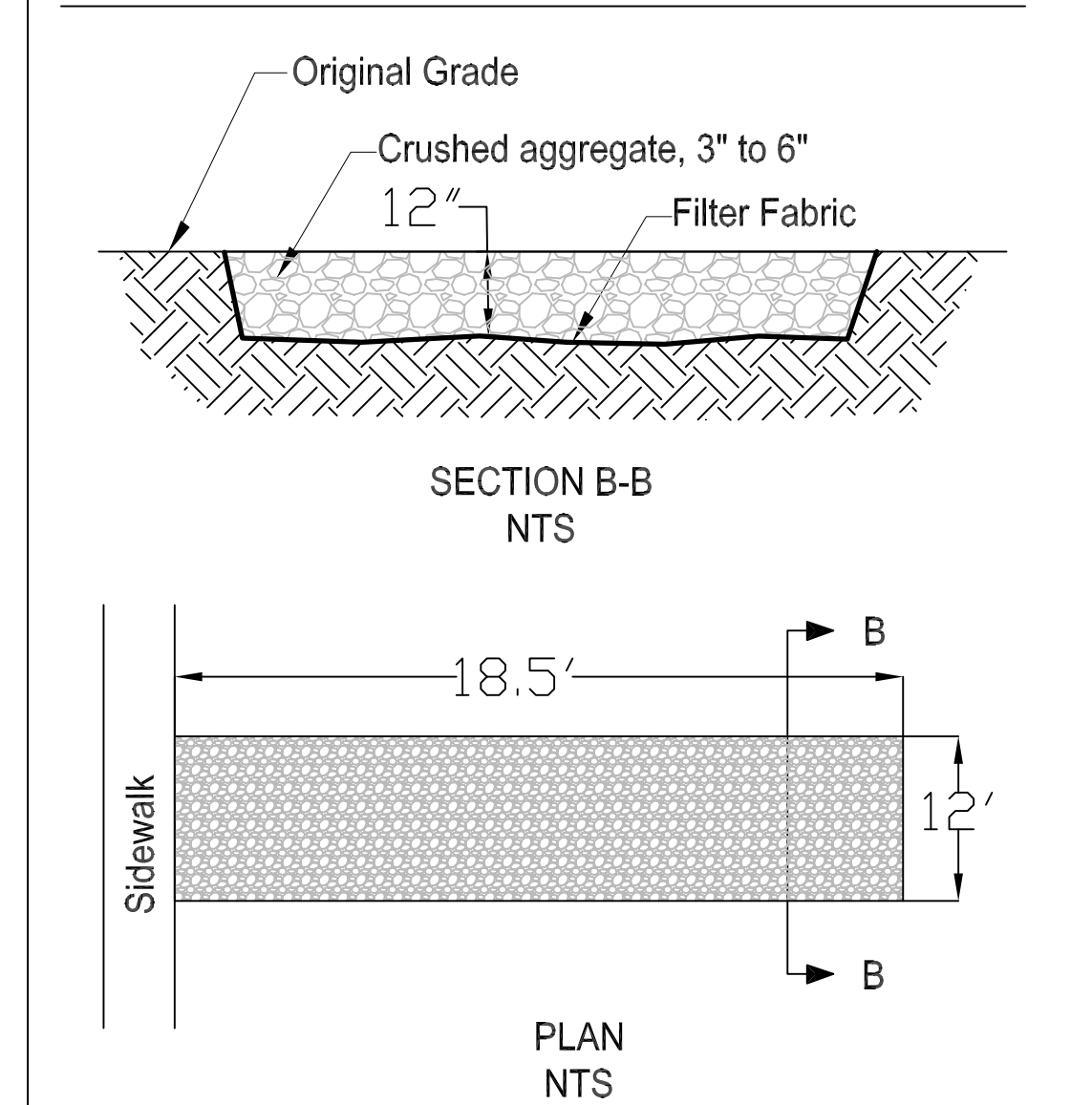
Stigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

DATE: 3-16-20  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
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 REV. DATE:

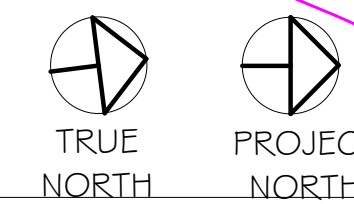
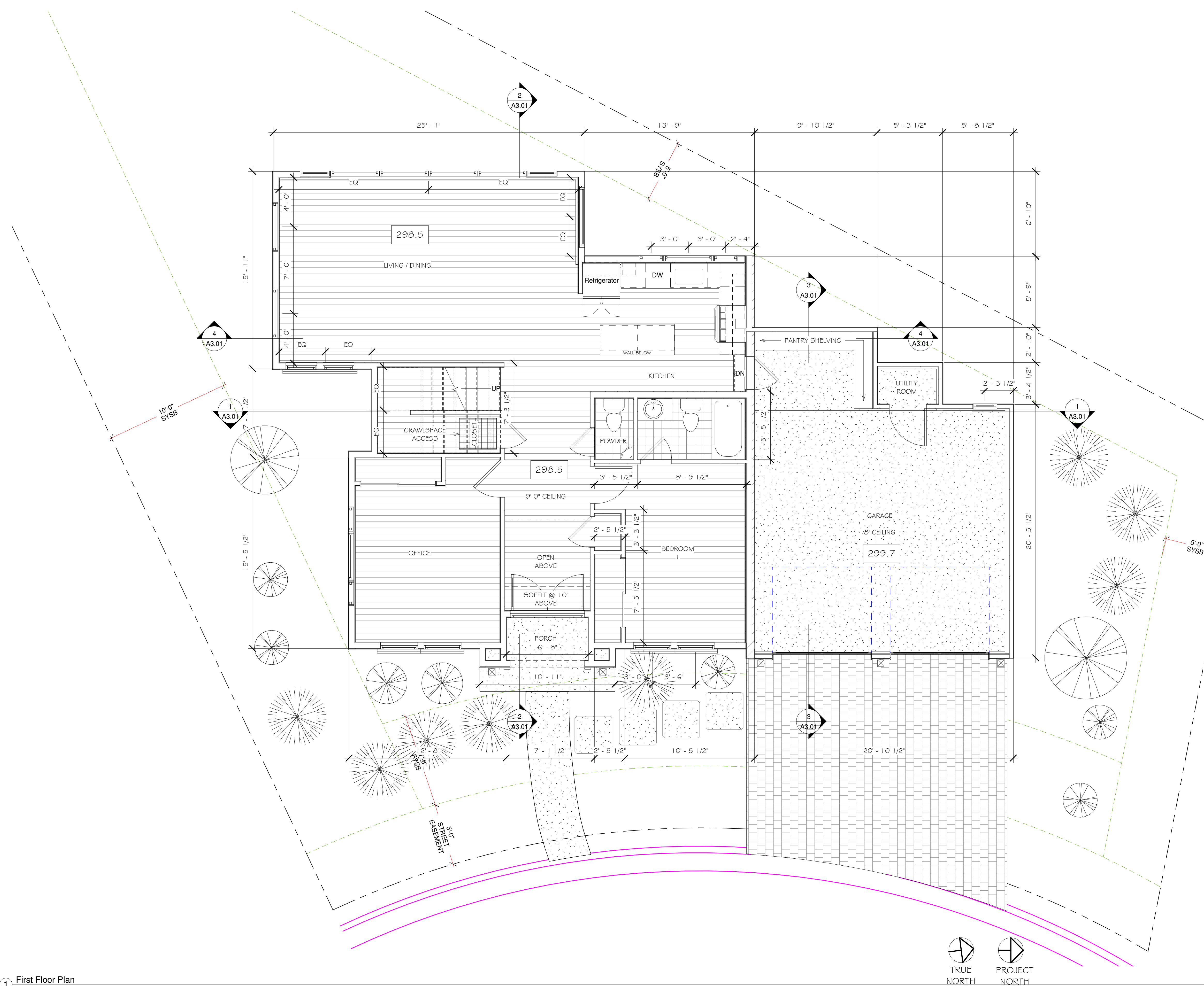
EROSION AND SEDIMENT CONTROL PLAN  
 ZHENG PROPERTY  
 EL GRANADA BLVD.  
 EL GRANADA  
 APN 047-151-120

SHEET  
 C-2

**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**



1 First Floor Plan  
1/4" = 1'-0"



REVISIONS

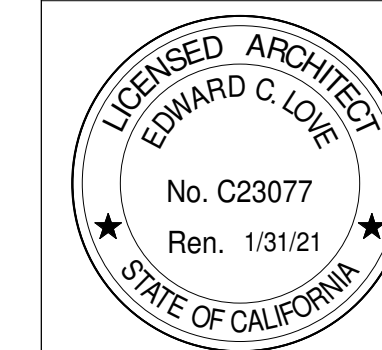


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edwardclovearch@gmail.com

New Residence for  
The Zheng Family  
El Granada Blvd  
El Granada, CA

First Floor Plan



DATE: 03/02/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

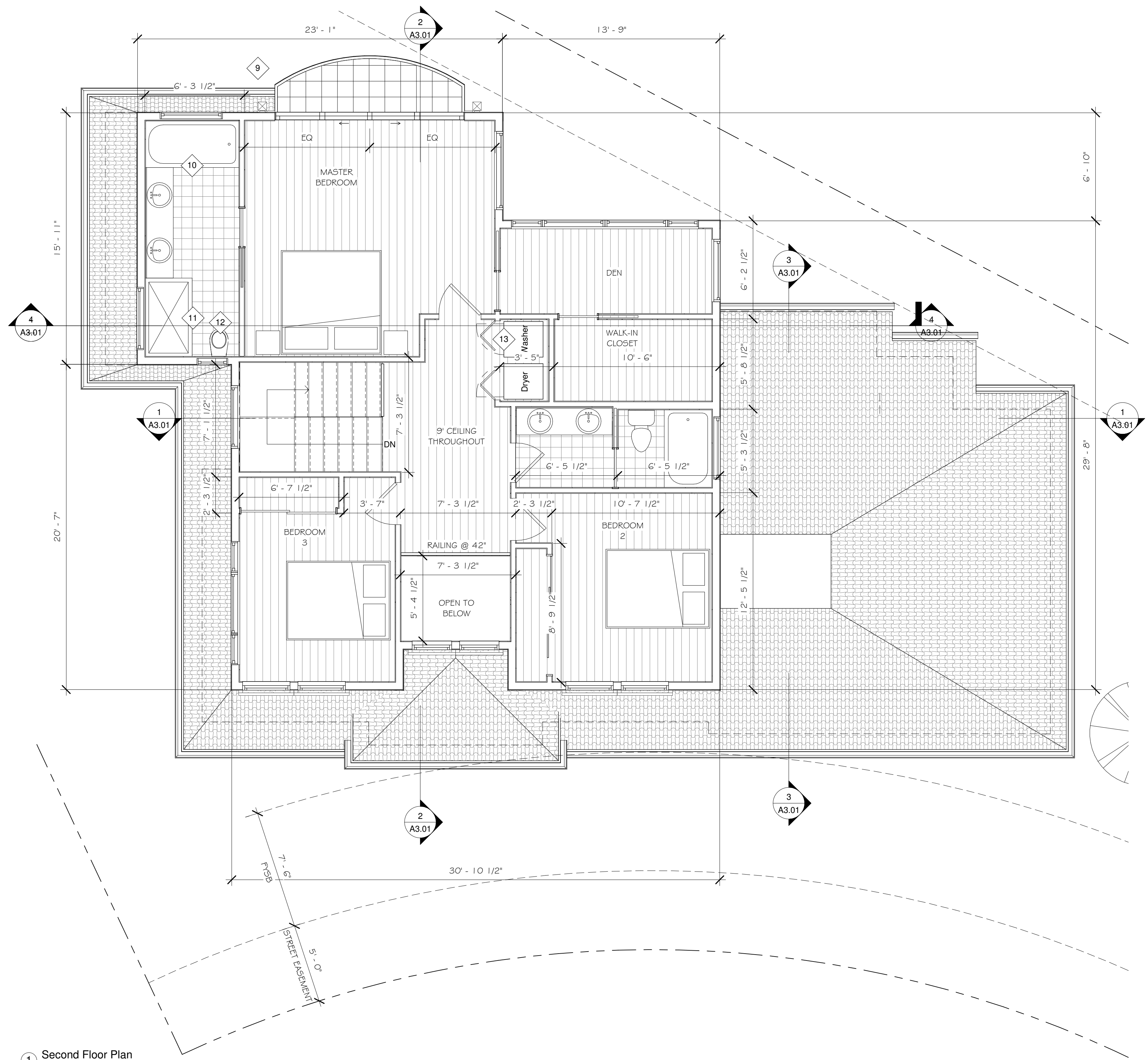
JOB: ZHENG

SHEET:

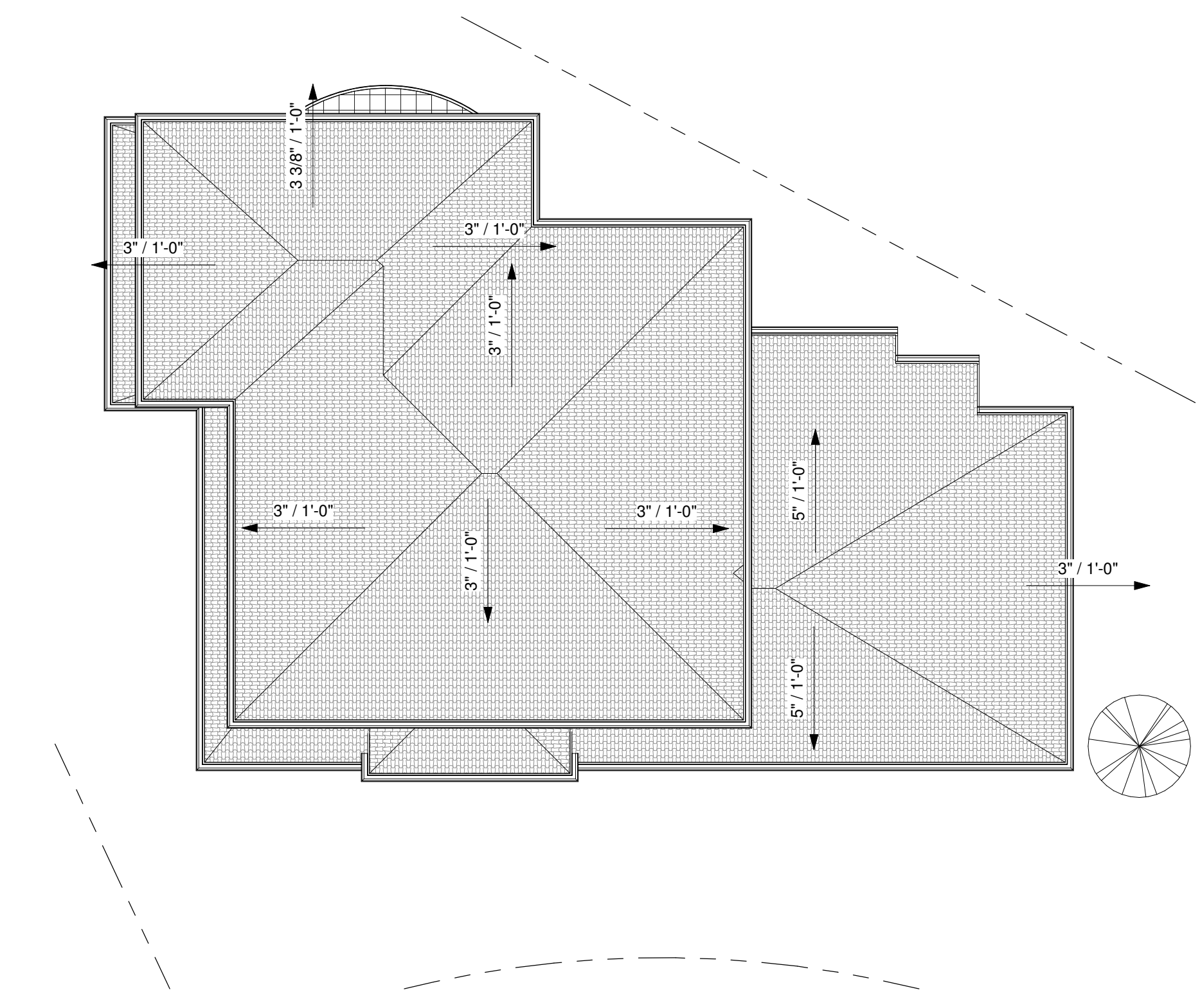
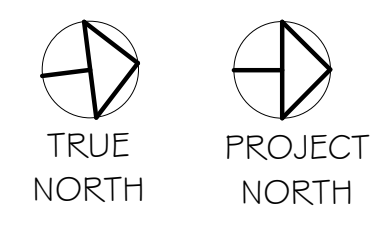
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OF SHEETS

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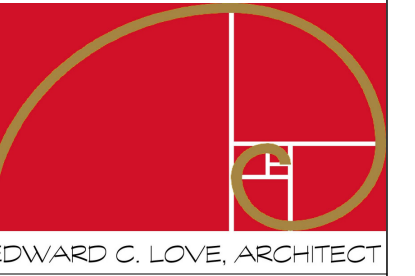


1 Second Floor Plan  
1/4" = 1'-0"



2 Roof Plan  
1/8" = 1'-0"

REVISIONS

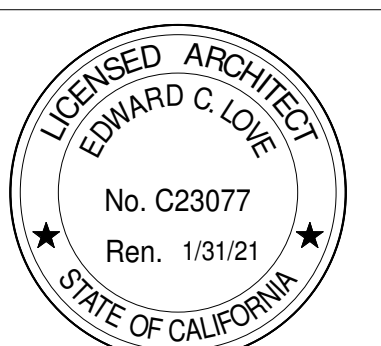


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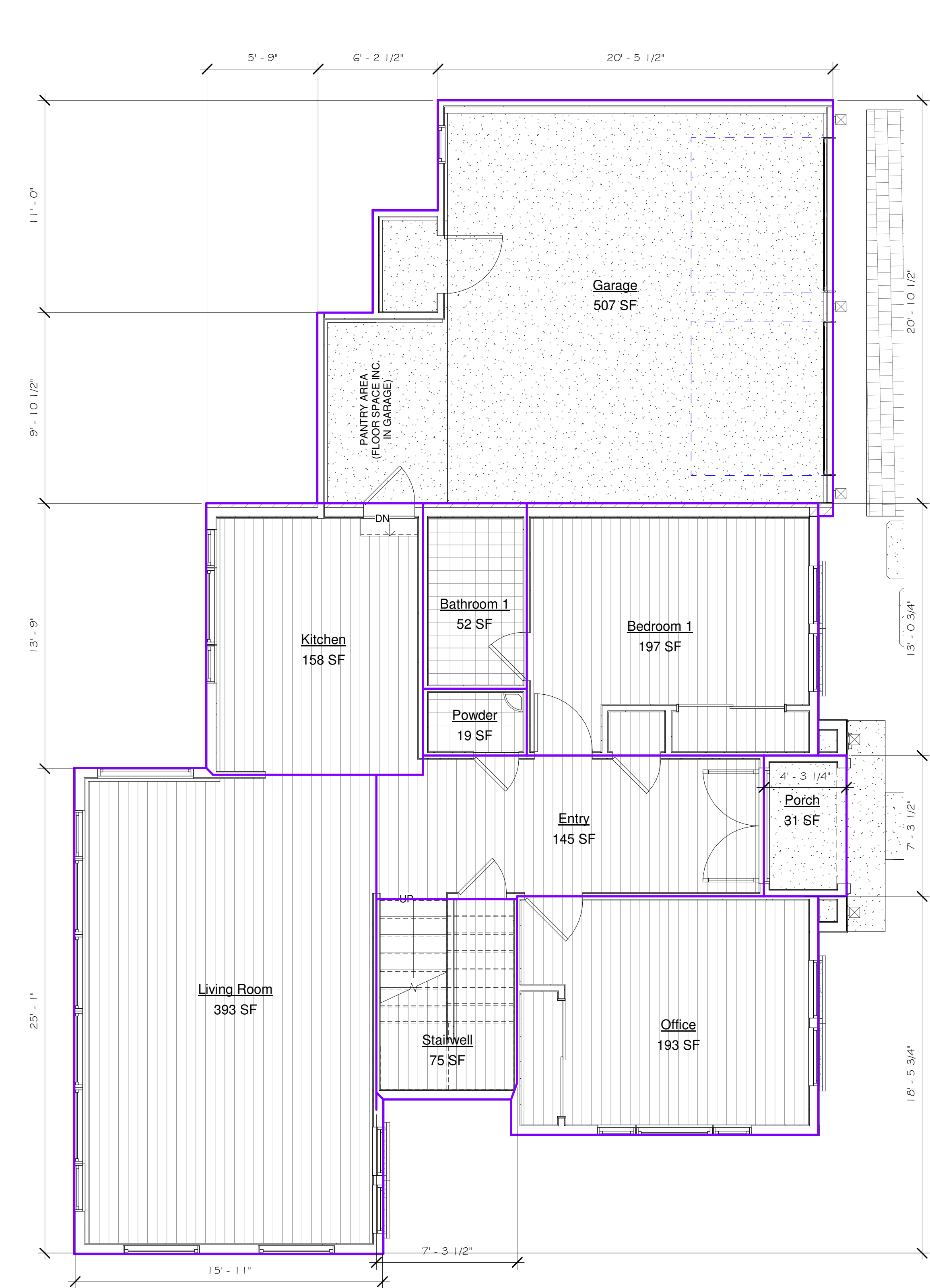
Second Floor & Roof  
Plan



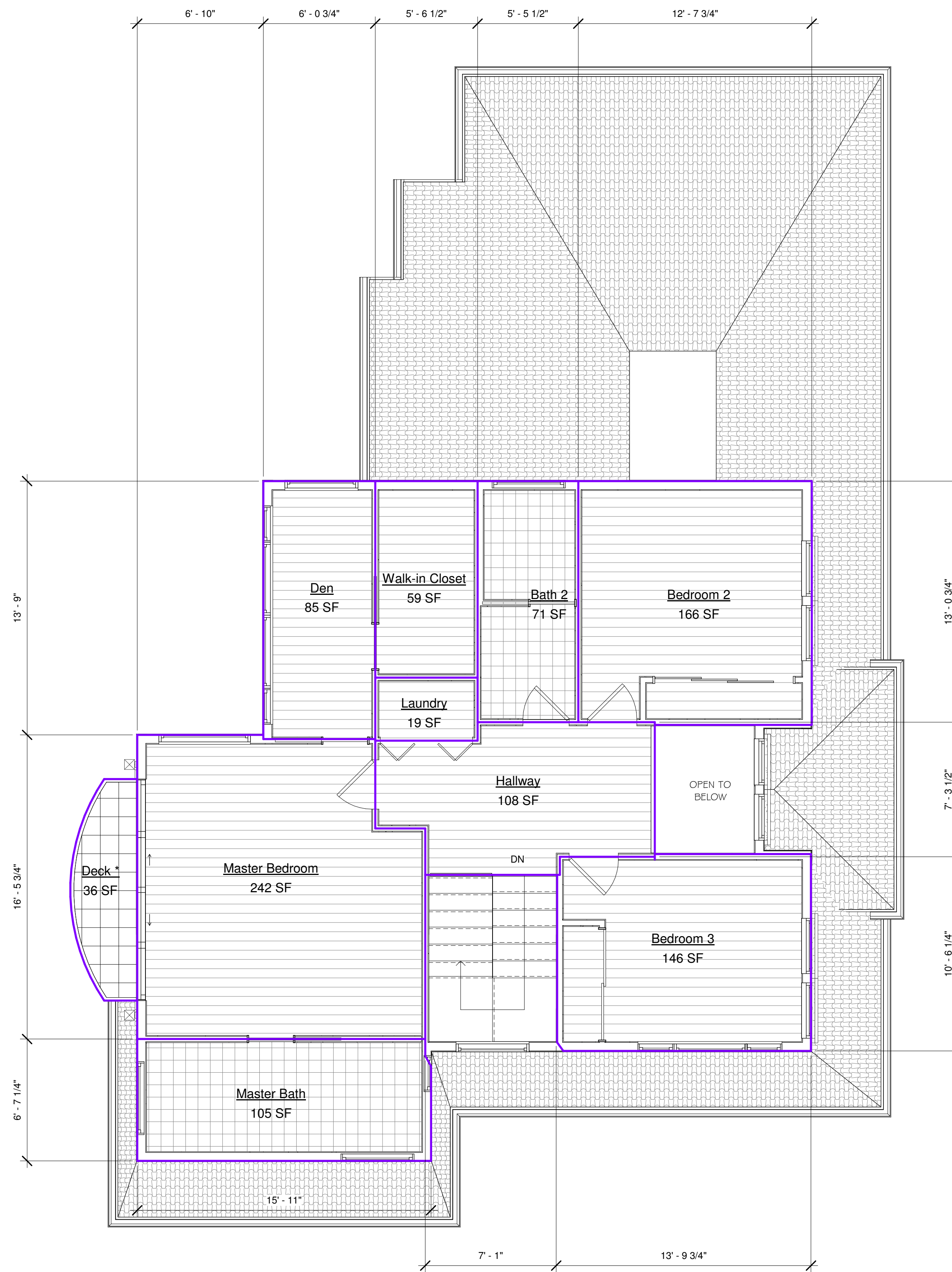
DATE: 03/02/20  
SCALE: As indicated  
DRAWN: GMH  
JOB: ZHENG

SHEET:  
**A1.02**  
OF SHEETS

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① DD - Level 1 - First Floor  
1/4" = 1'-0"



② DD - Level 2 - Second Floor  
1/4" = 1'-0"

Area Schedule (Rentable)	
Name	Area

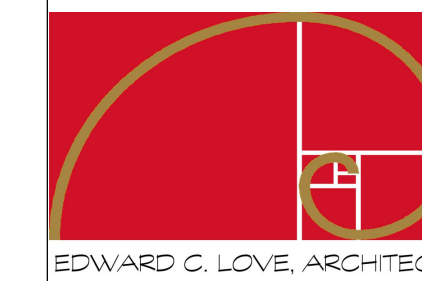
W - Level 1 - First Floor	
Bathroom 1	52 SF
Bedroom 1	197 SF
Entry	145 SF
Garage	507 SF
Kitchen	158 SF
Living Room	393 SF
Office	193 SF
Porch	31 SF
Powder	19 SF
Stairwell	75 SF

W - Level 2 - Second Floor	
Bath 2	71 SF
Bedroom 2	166 SF
Bedroom 3	146 SF
Deck *	36 SF
Den	85 SF
Hallway	108 SF
Laundry	19 SF
Master Bath	105 SF
Master Bedroom	242 SF
Walk-in Closet	59 SF

\* COUNTED IN LOT COVERAGE ONLY

FIRST FLOOR AREA	: 1770
SECOND FLOOR AREA	: 1001
TOTAL FLOOR AREA	: 2771

REVISIONS

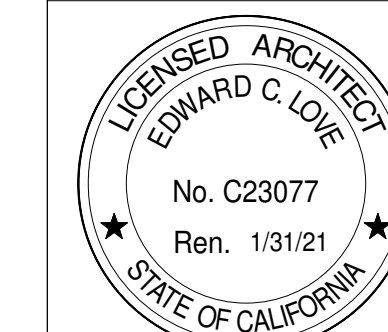


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Floor Area Plan



DATE: 03/02/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

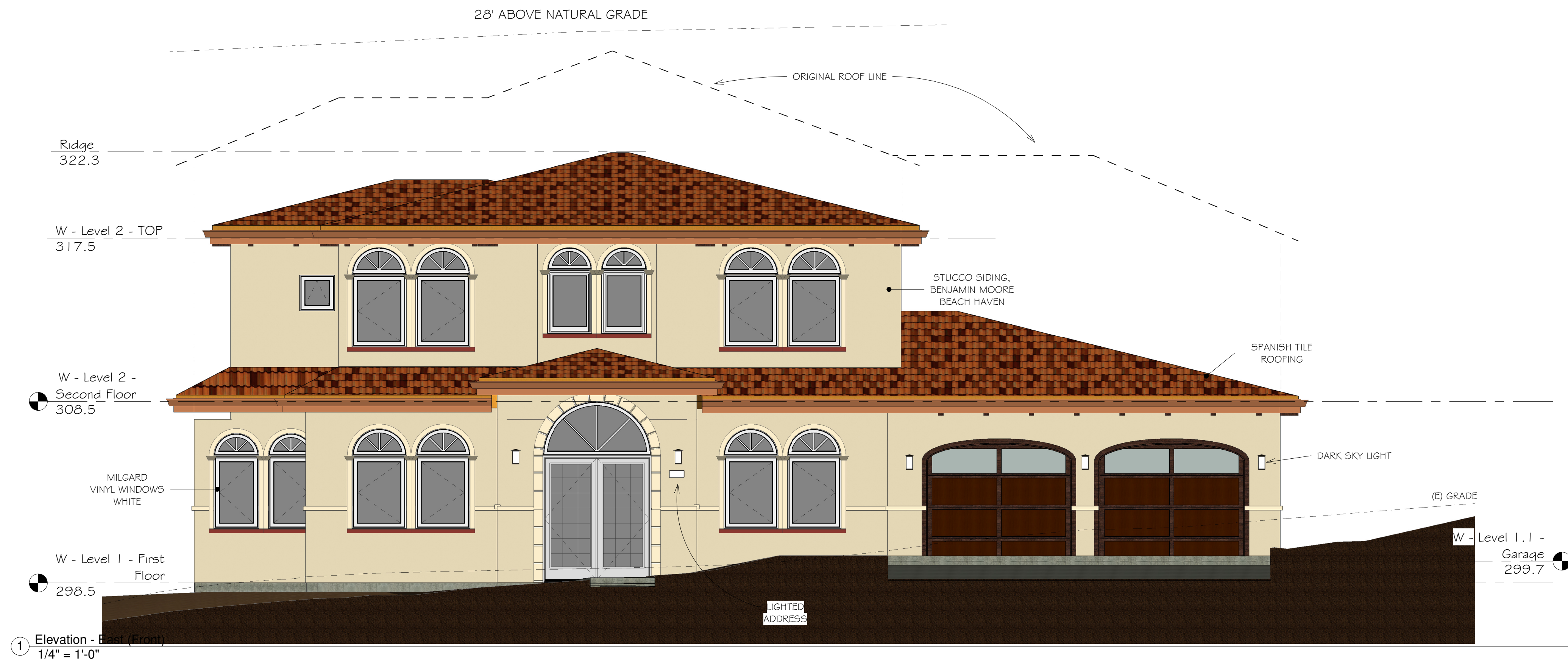
JOB: ZHENG

SHEET:

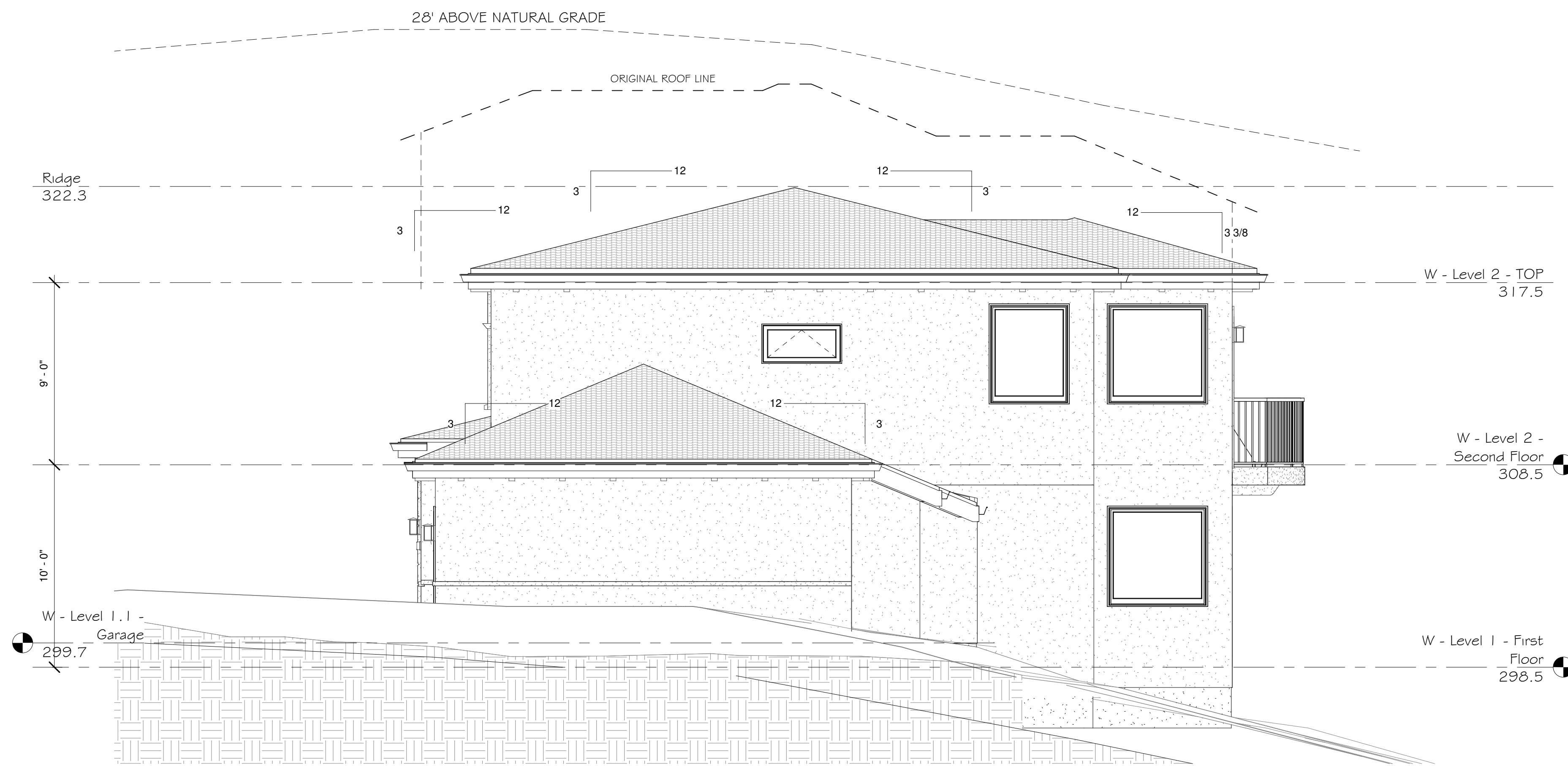
A1.03

OF SHEETS

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① Elevation - East (Front)  
1/4" = 1'-0"



② Elevation - North (Right)  
1/4" = 1'-0"

REVISIONS

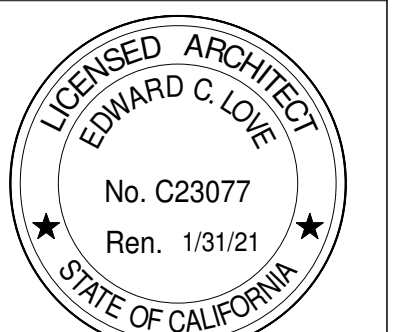


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Elevations - East &  
North



DATE: 03/02/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: ZHENG

SHEET:

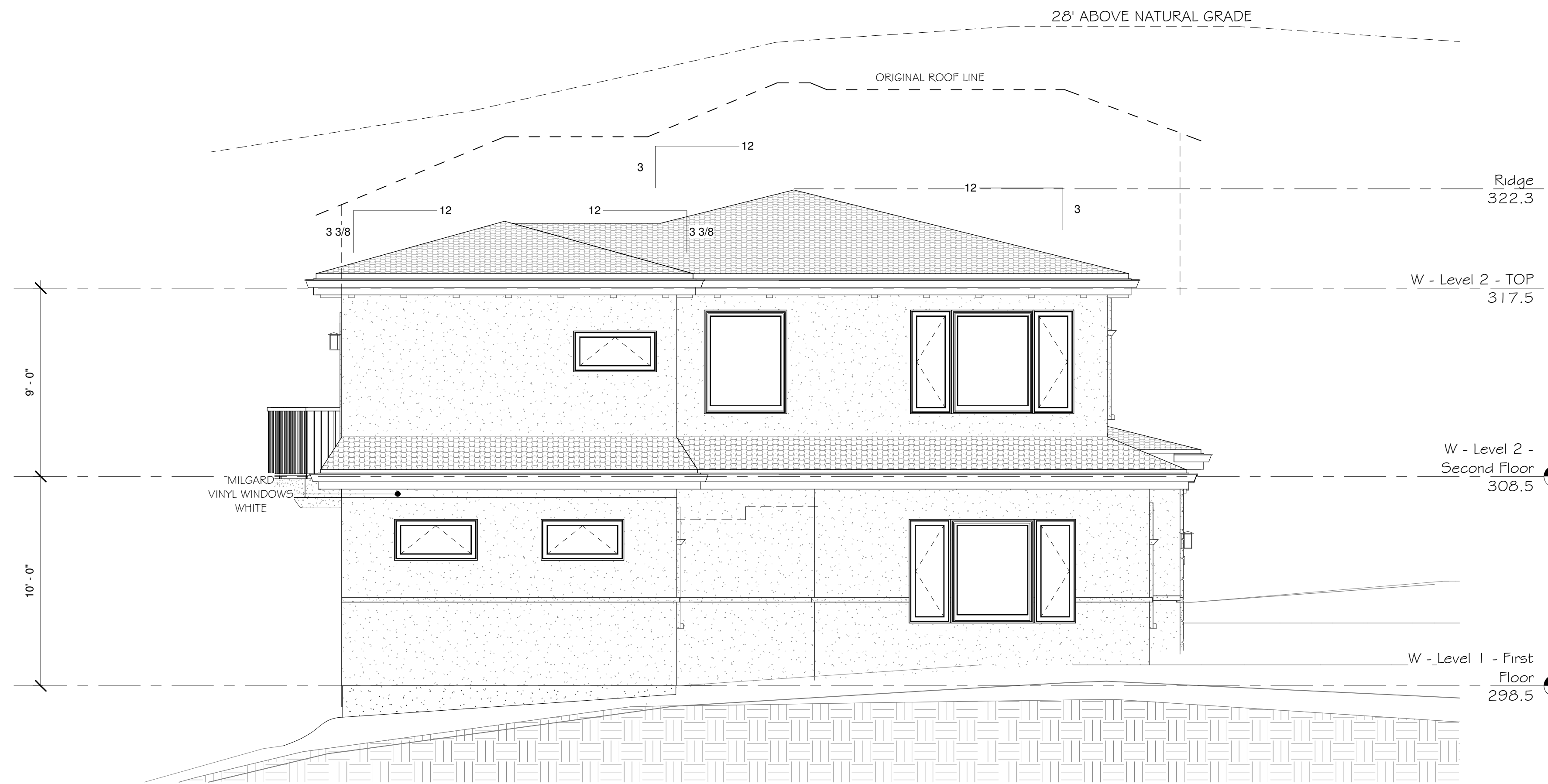
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OF SHEETS

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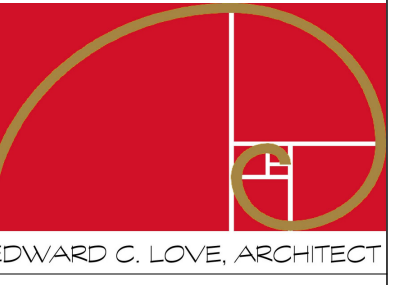


① Elevation - West (Rear)  
1/4" = 1'-0"



② Elevation - South (Left)  
1/4" = 1'-0"

REVISIONS

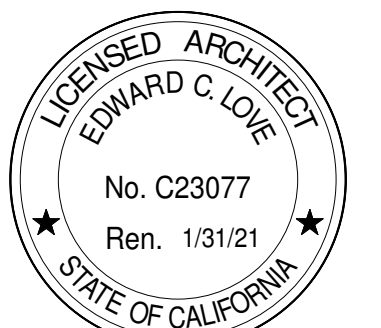


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New Residence for  
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El Granada, CA

Elevations - West &  
South



DATE: 03/02/20

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: ZHENG

SHEET:

A2.02

OF SHEETS

REVISIONS

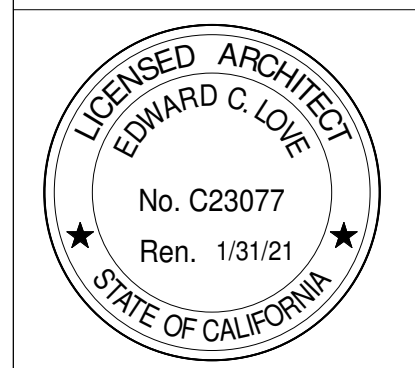


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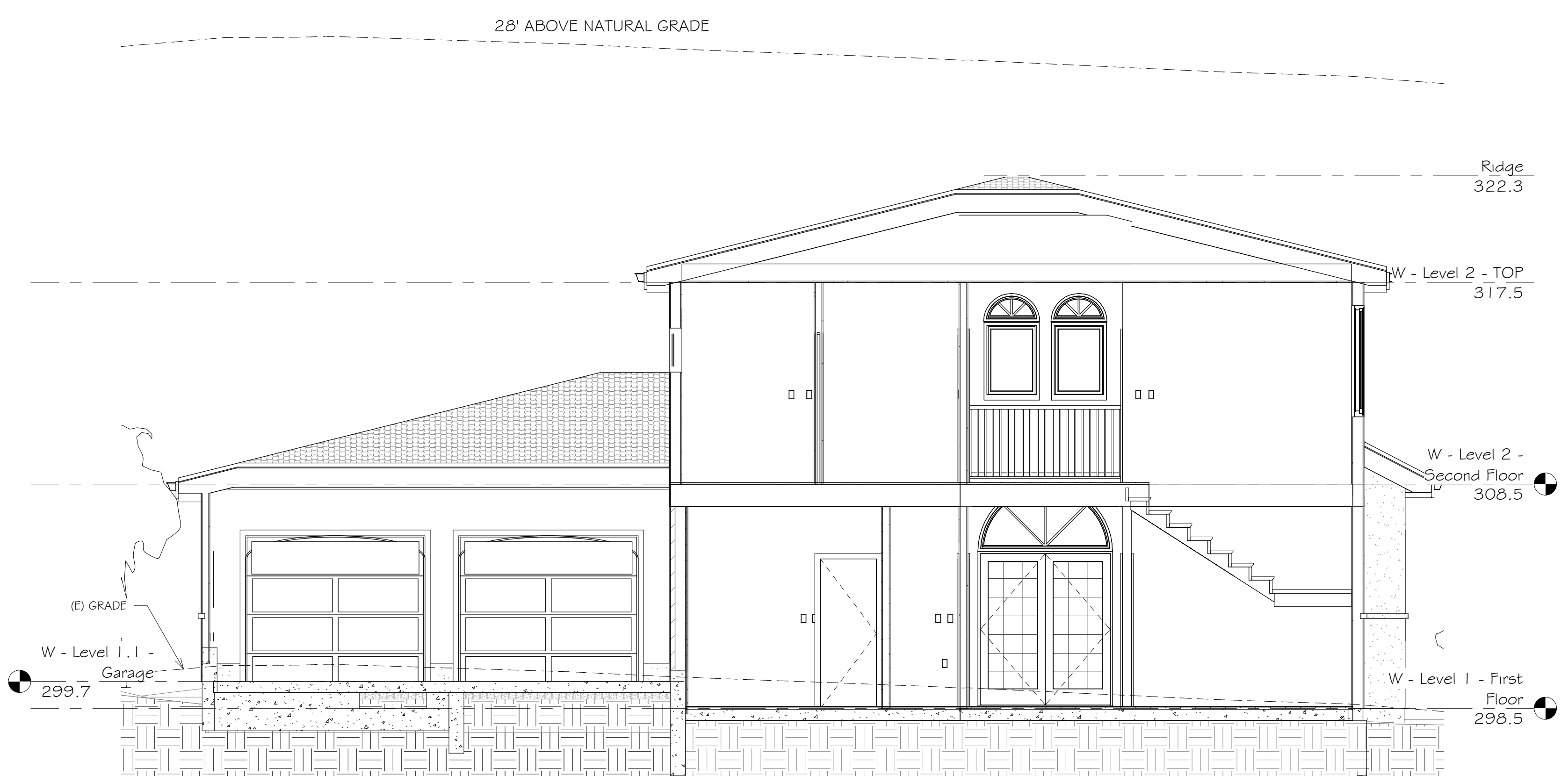
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Sections

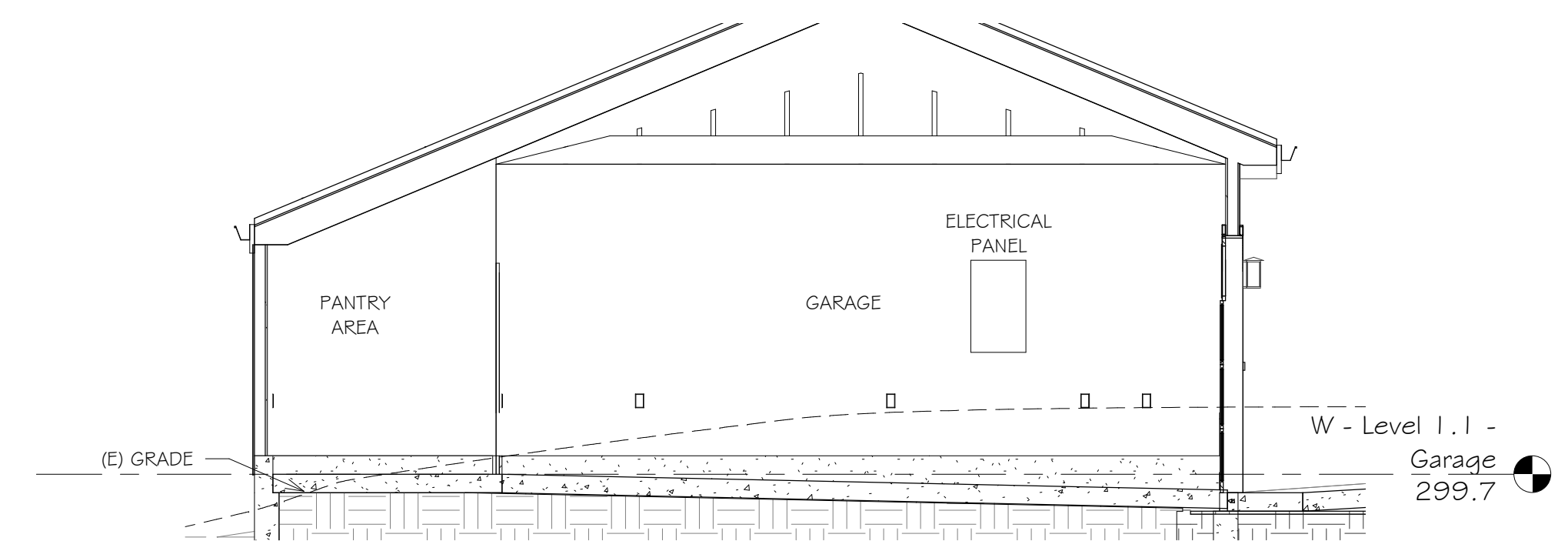


DATE: 03/02/20  
SCALE: 1/4" = 1'-0"  
DRAWN: GMH  
JOB: ZHENG

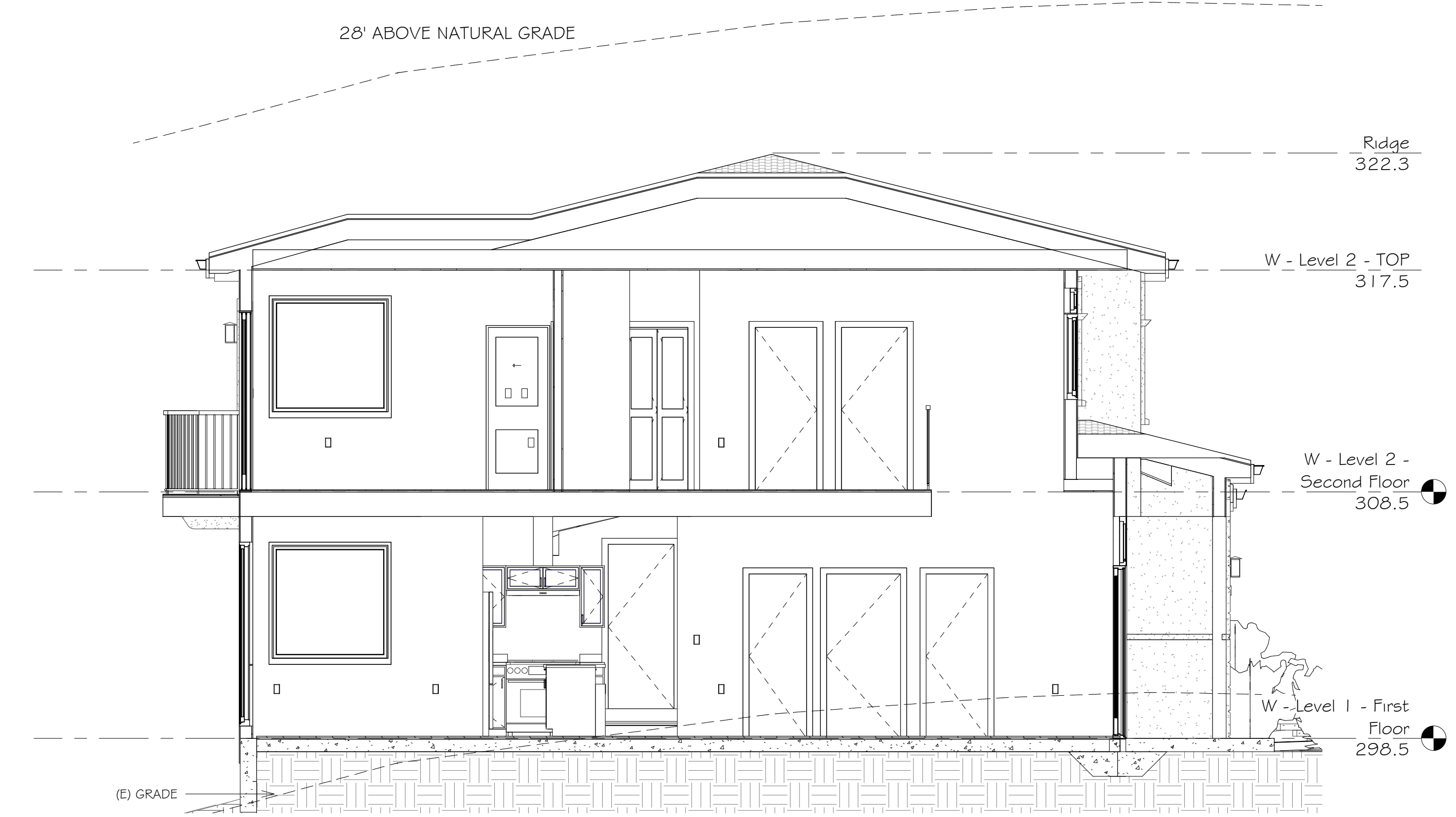
SHEET:  
**A3.01**  
OF SHEETS



1 DD - Section 1  
1/4" = 1'-0"



3 DD - Section 3  
1/4" = 1'-0"



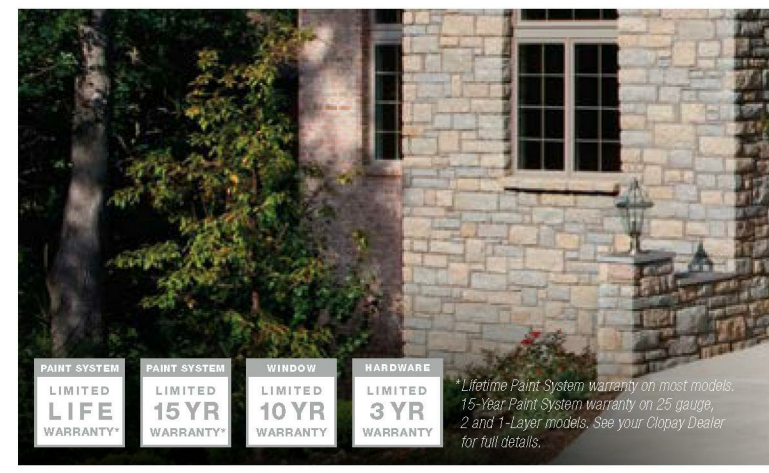
2 DD - Section 2  
1/4" = 1'-0"



4 DD - Section 4  
1/4" = 1'-0"

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# GALLERY® collection



Constructed of durable steel, this vintage style line is available in long or short grooved panel designs with various windows, colors and hardware options to create that one-of-a-kind look.

- STYLE AND CONSTRUCTION**
- Hot-dipped galvanized steel skin with a baked-on primer and top coat helps ensure durability and long-lasting beauty.
  - IntellioCore® polyurethane or polystyrene insulation with R-values ranging from 18.4 to 6.3.
  - Windows are standard with double strength clear glass and have optional snap-in grilles. Other glass options are available, see opposite page for available options.
  - Section joints and bottom weatherseal in a rust-resistant aluminum retainer help seal out the elements.

Calculated door section R-value is in accordance with (SASIB) 705-163.

## COLOR OPTIONS



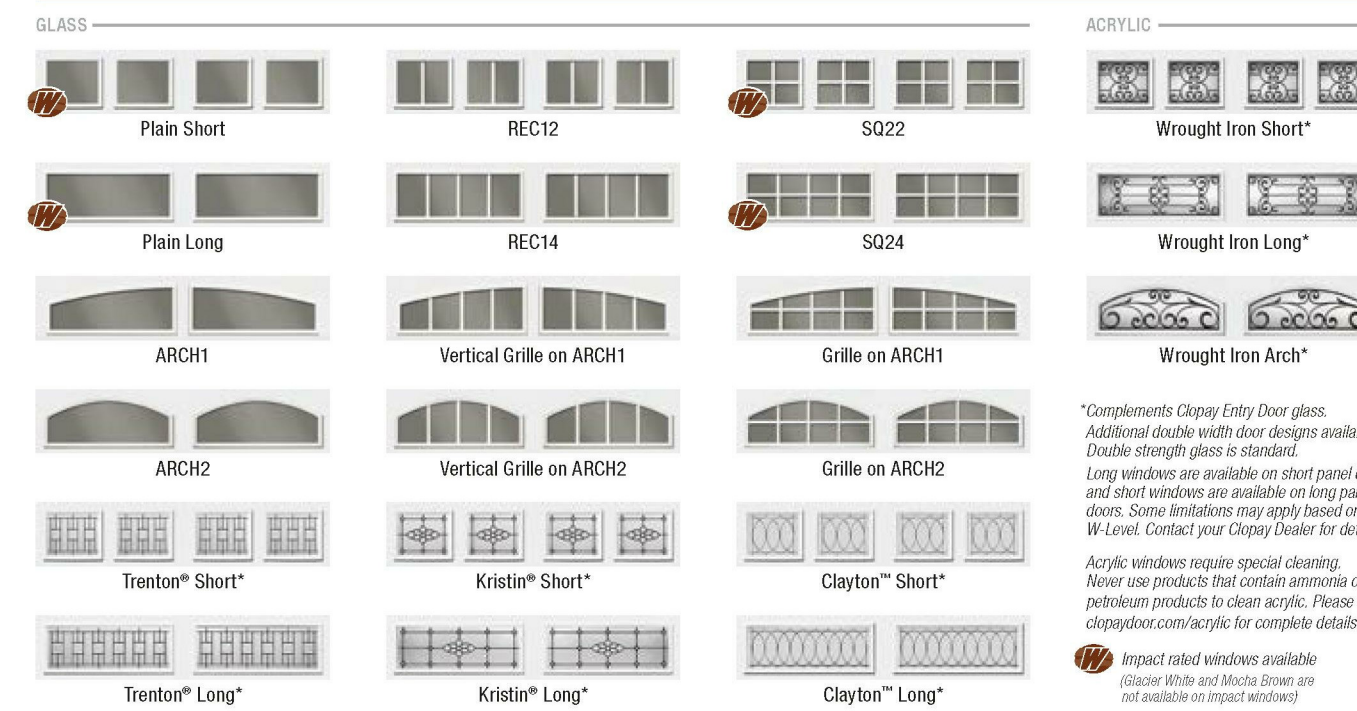
Due to the printing process, color may vary. Not available on all models. Complete color availability can be found on page 32. Popular in select markets, Glacier White is a lighter shade. Ultra-Grain® is a clear woodgrain paint coating offering the beauty of stained wood without the upkeep. Ultra-Grain® does not have a stain finish.

MODEL SPECIFICATIONS									
MODEL	GD2SU	GD2LU	GD1SU	GD1LU	GD2SP	GD2LP	GD1SP	GD1LP	
Panel Style	Short	Long	Short	Long	Short	Long	Short	Long	
Insulation	2" Polyurethane	2" Polyurethane	1-3/8" Polyurethane	1-3/8" Polyurethane	2" Bonded Polystyrene	2" Bonded Polystyrene	Bonded Polystyrene	Bonded Polystyrene	
Construction	3-Layer	3-Layer	3-Layer	3-Layer	3-Layer	3-Layer	3-Layer	3-Layer	
R-value	18.4	18.4	12.9	12.9	9.0	9.0	6.5	6.5	

# GALLERY® collection



## WINDOW OPTIONS



## SPECIALTY GLASS OPTIONS



MODEL SPECIFICATIONS						
MODEL	GD4S	GD4L	GD4SV	GD4LV	GD5S	GD5LV
Panel Style	Short	Long	Short	Long	Short	Short
Insulation	Non-Insulated	Non-Insulated	Polystyrene	Polystyrene	Non-Insulated	Polystyrene
Construction	1-Layer	1-Layer	2-Layer	2-Layer	1-Layer	2-Layer
R-value	N/A	N/A	6.3	6.3	N/A	6.3



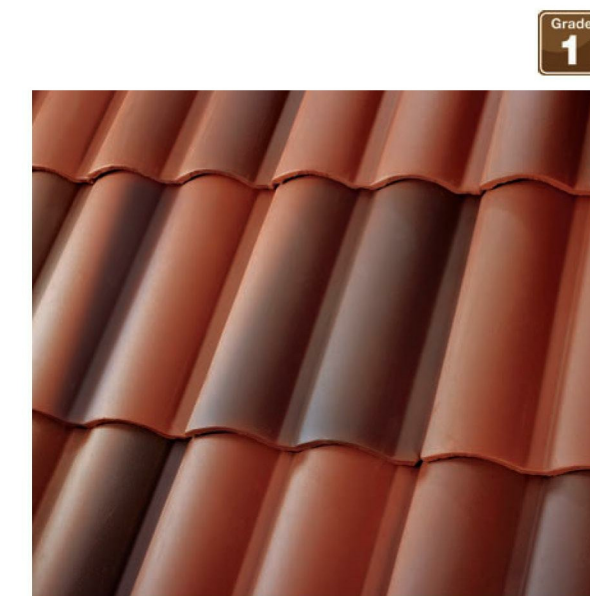
Santa Barbara Dark Sky is a traditional, craftsman/mission style collection from Maxim Lighting in Sienna finish with Mocha glass. Designed to meet the requirements of Dark Sky, these fixtures preserve and protect the nighttime environment and the heritage of dark skies through quality outdoor lighting.

Specifications			
Dimensions			
Product Depth (in.)	10.88	Product Height (in.)	22.63
Product Length (in.)	10.88	Product Width (in.)	9.13
Details			
Exterior Lighting Product Type	Outdoor Lanterns	Fixture Color/Finish	Sienna
Fixture Material	Aluminum	Glass/Lens Type	Water glass
Included	Hardware Included	Light Bulb Type Included	No Bulbs Included
Maximum Bulb Wattage	100 W	Maximum Wattage (watts)	100
Number of Bulbs Required	1	Outdoor Lighting Features	Weather Resistant
Light Bulb Shape Code	A19		
Power Type	Hardwired		
Product Weight (lb.)	6.00lb		
Style	Mission, Classic		

**US Tile®** by Boral®  
Build something great™



## PRODUCT INFORMATION



Profile: **ClayMax®**  
Color Name: **Newport Blend**  
SKU Number: **2UMDU7040**  
Product Type: **Lightweight**  
Color: **Black, Red Multicolor**

**Title Specifications**  
Size: **18" x 13"**  
Coverage: **88**  
Approx. Installed Weight: **580 lbs**  
Pieces per Pallet: **418**  
Squares per Pallet: **4.75**  
Approx. Weight per Pallet: **2900 lbs**

**Cool Rated Product**  
Reflectivity: **0.19**  
Aged Ref. (3 yr): **0.19\***  
Emmissivity: **0.86**  
Aged Em. (3 yr) **pending**  
SRI: **16**  
Aged SRI (3 yr): **16\***  
CRRC ID#: **0160a**  
Seller ID#: **0942**

\*Calculated Aged Value  
The printed color shown here may vary from actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.

1.800.669.TILE (8453)  
www.BoralRoof.com

	Initial	Weathered
Solar Reflectance	0.19	0.19*
Thermal Emittance	0.86	pending
Rated Product ID Number	0160a	
Licensed Seller ID Number	0942	
Classification	Production Line	

Cool Roof Rating Council ratings are determined for a fixed set of conditions, and may not be appropriate for determining seasonal energy performance. The actual effect of solar reflectance and thermal emittance on building performance may vary.  
Manufacturer of product stipulates that these ratings were determined in accordance with the applicable Cool Roof Rating Council procedures.

## REVISIONS

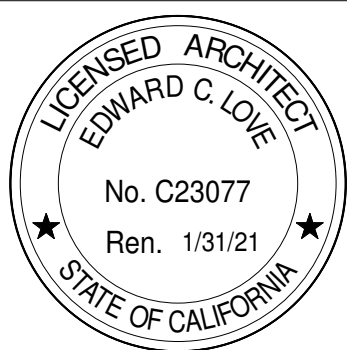


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Product Sheets



DATE: 03/02/20

SCALE:

DRAWN: GMH

JOB: ZHENG

SHEET:

A7.01

OF SHEETS



Model WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO)  
SHORT FORM PRESCRIPTIVE COMPLIANCE

JERRY WHITING  
340 PURISSIMA ST.  
HALF MOON BAY, CA 94019  
E LOBAPARTMHW@YAHOO.COM

ZHENG RESIDENCE  
EL GRANADA BLVD.  
EL GRANADA  
DATE: 3/7/19

THIS PROJECT DOES INCORPORATE LANDSCAPING EQUAL TO OR LESS THAN 2500 SQ. FT. AND WILL BE USING THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPE PROJECT  
TOTAL LANDSCAPE AREA: 12,100 SQ. FT.  
TURF AREA: N/A  
SPECIA LANDSCAPE AREA: N/A

WATER TYPE: POTABLE  
NAME OF WATER FURNISHER: CCW

I CERTIFY THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWELO.

Jerry Whiting 3/7/19

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION OF THE MWELO PER APPENDIX D

Jerry Whiting 3/7/19

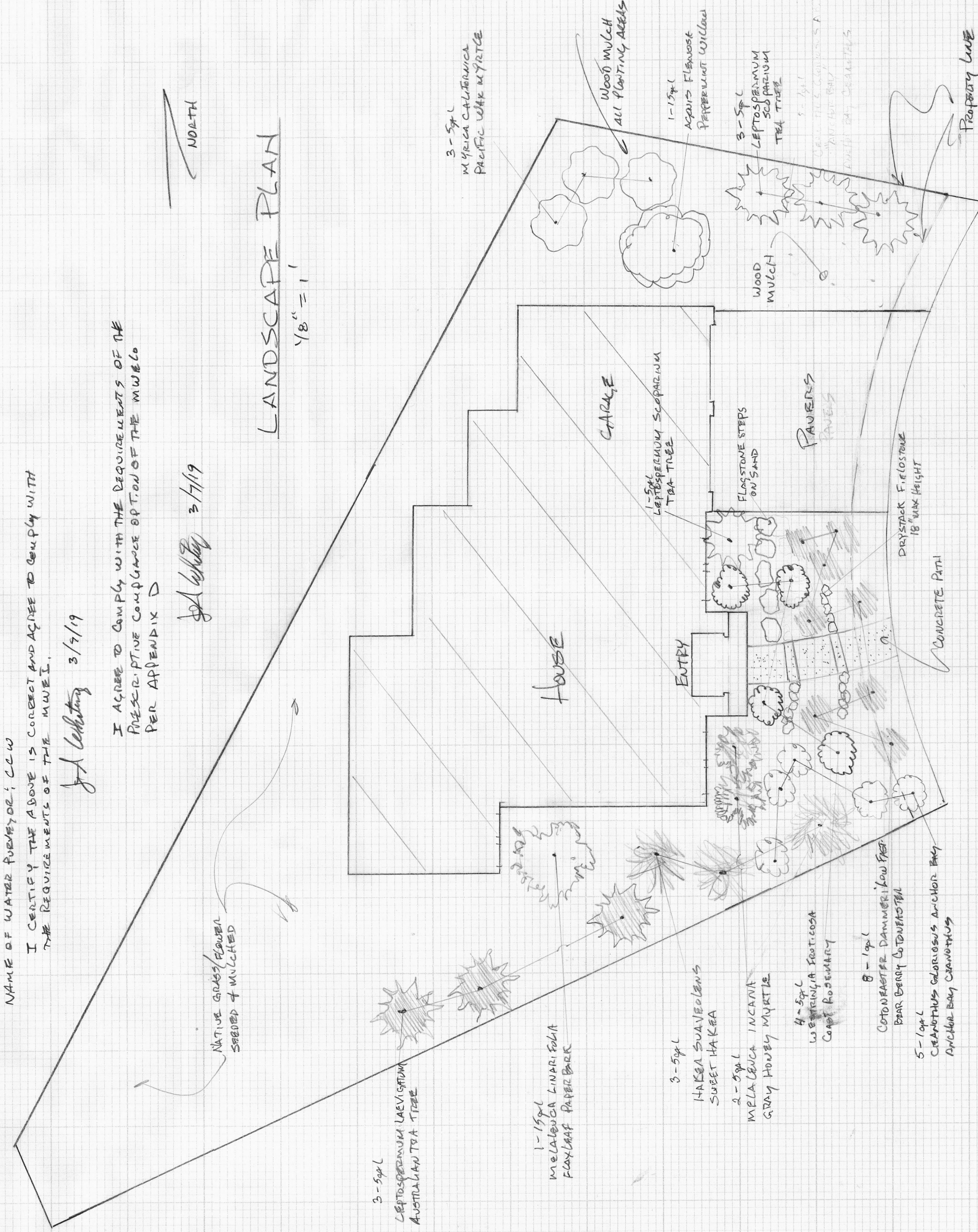
ZHENG  
EL GRANADA BLVD.  
EL GRANADA  
1/8" = 1'

FLORA FARMS  
340 PURISSIMA ST.  
HALF MOON BAY, CA 94019  
LIC # 549103  
3/7/19

# LANDSCAPE PLAN

1/8" = 1'

NORTH



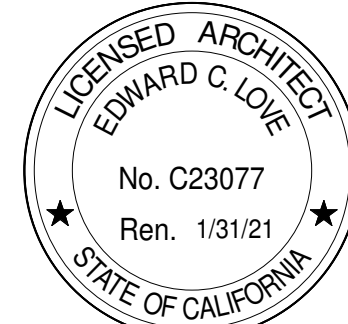
## PLANTING NOTES

- INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUBIC FEET PER 1000 SQ. FT. TO A DEPTH OF 6" INTO LANDSCAPE AREA
  - A MINIMUM OF 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF CREEPING, GROUND COVER OR TURF
- \* PLANTING TO BE ILLUMINATED

EL GRANADA BLVD.

PLANT LIST	QTY	SIZE	WI	PLANT TYPE
MYRICA CALIFORNICA PACIFIC WILLY MYRTLE	3	5gal	M	SHRUB
ACONIS FLAUXOSA PEPPERMINT WILLOW	1	15gal	L	TREE
LEPTOSPERMUM SCOPARIUM NEWZEALAND TEA TREE	3	5gal	M	SHRUB
CANTHUS GIGIOWS AB. ANCHOR BAY CANTHUS	5	1gal	L	GROUND COVER
COTONNESTER DAMMERT LOW FERT BEAR BERRY COTONNESTER	8	1gal	L	GROUND COVER
WESTRINGIA FRUTICOSA CONST ROSEMARY	4	5gal	L	SHRUB
MELALEUCA INCANNA GRAY HONEY MYRTLE	2	5gal	L	SHRUB
HAKA SORBOLENS SWEET HAKA	3	5gal	L	SHRUB
MELALEUCA LIMARICHA PAPER BARK	1	15gal	L	TREE
LEPTOSPERMUM LAEVIGATUM AUSTRALIAN TEA TREE	3	5gal	L	SHRUB
X CALLIFORNIA CONST NATIVE WILD FLORA MIX	SOLD BY S.O.S SEED 20 IN/ACRE			

TOTAL PLANTS  
2-15gal  
18-5gal  
13-1gal



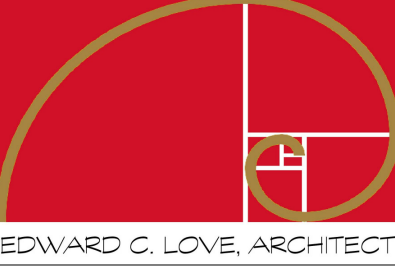
DATE: 03/02/20  
SCALE:  
DRAWN: Author  
JOB: ZHENG  
SHEET:

LP.01  
OF SHEETS

LANDSCAPE PLAN BY:  
JERRY WHITING  
FLORA FARMS  
340 PURISSIMA ST  
HALF MOON BAY, CA

New Residence for  
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REVISIONS