

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 18, 2021

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit, Use Permit, and Off-Street Parking Permit Exception, pursuant to Section 6328.4, 6401, and 6120, respectively, of the San Mateo County Zoning Regulations, to allow the remodel and expansion of a commercial kitchen for a “to-go” food establishment with an order/pick-up counter, restroom facilities, and 45 outdoor seats located at 251 Stage Road in the unincorporated Pescadero area of San Mateo County. The Use Permit is required for outdoor seating and the Off-Street Parking Permit Exception is required to waive 15 required off-street parking spaces. The project is appealable to the California Coastal Commission.

County File Number: PLN 2020-00300 (Simms)

PROPOSAL

The applicant is seeking a Coastal Development Permit and Use Permit to allow the remodel and expansion of a commercial kitchen for a “to-go” food establishment with an order/pick-up counter, restroom facilities, and 45 outdoor seats on the existing building slab of the former Pescadero Country Store at 251 Stage Road in Pescadero. The project involves adding approximately 428 sq. ft. to the existing 858 sq. ft. building that remains of the former Pescadero County Store. A Use Permit is required for outdoor seating and an Off-Street Parking Permit Exception to waive the 15 off-street parking spaces required for the proposed seating count due to limited space available at the property or nearby as a result of existing development and flood zone hazard constraints.

An Off-Street Parking Permit Exception to waive 16 parking spaces was approved under a separate Planning permit case, PLN 2018-00062, in 2018 for reconstruction of the Pescadero Country Store with expanded indoor seating but that approval has expired, and the project scope has changed to the subject “to-go” food establishment with outdoor seating.

RECOMMENDATION

That the Zoning Hearing Officer approve the Coastal Development Permit, Use Permit, and Off-Street Parking Permit Exception, County File Number PLN 2020-00300, by making the required findings and adopting the conditions of approval included in Attachment A.

BACKGROUND

Report Prepared By: Lawrence Truong, Project Planner; lktruong@smcgov.org

Applicant: Cindy Simms

Owner: Cindy and Steve Simms

Location: 251 Stage Road, Pescadero

APN: 086-020-260

Size: 0.25 acres

Existing Zoning: C-1/S-7/DR/CD (Neighborhood Business/5,000 sq. ft. lot minimum/Design Review/Coastal Development)

General Plan/Local Coastal Program Designation: Commercial, Neighborhood Commercial

Sphere-of-Influence: N/A

Existing Land Use: Former Pescadero Country Store

Water Supply: County Service Area 11

Sewage Disposal: Septic

Flood Zone: Zone AE (Regulatory Floodway); Community Panel Number 06081C0369E, effective date October 16, 2012.

Environmental Evaluation: Categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15301, Class 1, for operation of existing public or private facilities involving negligible or no expansion of existing or former use. Former use was a commercial grocery store with commercial kitchen and the project reestablishes a commercial kitchen for "to-go" food service.

Setting: The subject parcel is approximately 0.25 acres in size and is located off Stage Road. There is an approximately 858 square foot one-story commercial building on the

property along with the existing slab foundation of the former Pescadero Country Store damaged by fire in 2016. The property is within the Stage Road/Pescadero Road/Cloverdale Road County Scenic Corridor and is visible along Stage Road. The surrounding area consists of existing residential and commercial uses.

Chronology:

<u>Date</u>	<u>Action</u>
September 11, 2020	- Received application for the subject Coastal Development Permit and Use Permit, PLN 2020-00300.
December 16, 2020	- Project deemed complete.
February 4, 2021	- Zoning Hearing Officer hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

The project conforms with the following applicable General Plan policies:

Visual Quality

Policy 4.22 (*Scenic Corridors*) seeks to protect and enhance the visual quality of scenic corridors by managing the location and appearance of structural development.

The project involves the remodel and addition to the existing one-story commercial building. The property is located off Stage Road and within the Stage Road/Pescadero Road/Cloverdale Road County Scenic Corridor. Surrounding development includes older one- and two-story residences and one- and two-story businesses. The project proposes a one-story addition of 428 sq. ft. to the existing building. Thus, the proposed improvements would not impact the visual quality of scenic corridors and would be compatible with surrounding businesses in the area. Policy 4.52 (*Colors and Materials*) seeks to use colors and materials which: (1) blend with or complement the surrounding natural environment, (2) do not dominate or overpower the site, (3) are compatible with the size, scale, and architectural style of the structure, and (4) with the exception of greenhouses, are not highly reflective.

The building is designed to be compatible with the established historical building context of the commercial corridor along Stage Road. The project

involves colors and materials that will be barn red color hardi plank exterior walls with new composition roof.

Natural Hazards

Policy 15.46 (*Appropriate Land Uses and Densities in Flooding Hazard Areas*) and Policy 15.47 (*Review Criteria for Locating Development in Areas of Special Flood Hazard*) seek to consider rural land uses that do not expose significant numbers of people to flooding hazards, such as agriculture, timber production, public and private recreation, and general open space, to be the most appropriate for flooding hazard areas; consider higher density land uses to be appropriate within flood hazard areas in developed urban areas and rural service centers when adequate mitigation of the flood hazard can be demonstrated; retain natural floodplains and guide development to areas outside of areas of special flood hazard; and require any structure to be safely elevated above the base flood elevation and not contribute to the flooding hazard to surrounding structures.

A Federal Emergency Management Agency (FEMA) designated floodplain and floodway intersect the project site. The proposed project will require issuance of a building permit and compliance with all applicable codes and standards, including regulations related to development within applicable flood hazard areas. Additionally, the proposed project will use the existing foundation to not expand the footprint of development within the floodplain.

2. Conformance with the Local Coastal Program

The project conforms with the following applicable Local Coastal Program (LCP) policies:

Locating and Planning New Development

Policy 1.1 (*Coastal Development Permit*) requires a Coastal Development Permit for all development in the Coastal Zone.

A Coastal Development Permit (CDP) is being sought under the subject application to allow the remodel and expansion of a commercial kitchen for a “to-go” food establishment with an order/pick-up counter, restroom facilities, and a total of 45 outdoor seats.

Policy 1.17 (*Existing Developed Areas*) seeks to conserve, improve, and revitalize existing residential, commercial and industrial areas.

The proposed project involves the remodel and expansion of a commercial kitchen with an order/pick-up counter, restroom facilities, and a total of 45 outdoor seats that would conserve, improve, and revitalize the existing

commercial corridor along Stage Road. The site formerly supported the Pescadero Country store, which burned down in 2016.

Visual Resources

Policy 8.13(d) (*Special Design Guidelines for Coastal Communities*) seeks to encourage new buildings to incorporate architectural design features found in the historic buildings of the community, i.e., clean and simple lines, precise detailing, steep roof slopes, symmetrical relationship of windows and doors, wood construction, white paint, etc.; and require remodeling of existing buildings to retain and respect their traditional architectural features, if any.

The proposed building is designed to be compatible with the established historical building context of the commercial corridor along Stage Road. See staff's discussion in Section A.1 (Visual Quality) above.

Policy 8.18(a) (*Development Design*), 8.19 (*Colors and Materials*), and 8.20 (*Scale*) seek to require that development (1) blend with and be subordinate to the environment and the character of the area where located, and (2) be as unobtrusive as possible and not detract from the natural, open space or visual qualities of the area including, but not limited to, siting, design, layout, size, height, shape, materials, colors, access and landscaping, employ colors and materials in new development which blend, rather than contrast, with the surrounding physical conditions of the site, prohibit highly reflective surfaces and colors except those of solar energy devices, and relate structures in size and scale to adjacent buildings and landforms.

The one-story building would be similar in size and scale to surrounding development, which includes older one- and two-story businesses. The project involves colors and materials that will be barn red color hardi plank exterior walls with composition roofing. The proposed additions to the existing building are designed to be compatible with the established historical building context of the commercial corridor along Stage Road and will result in no more than 11 percent lot coverage where 50 percent is allowed pursuant to the "S-7" Zoning Regulations.

The property is within the Stage Road/Pescadero Road/Cloverdale Road County Scenic Corridor and is visible along Stage Road. The proposed building has a proposed front yard setback of approximately 91 feet and 6 inches from the property line, where no minimum front yard setback is required under the Zoning Regulations. Additionally, the 1,286 sq. ft. building (post-addition) will be located at the rear of the 0.25-acre parcel, farthest away from Stage Road, while leaving the existing slab foundation of the former Pescadero Country Store in front of the building open to accommodate outdoor seating. The surrounding development along Stage

Road consists of existing older one- and two-story residential and commercial uses, including many buildings with no front setback. Thus, the proposed improvements would not impact the visual quality of the scenic corridor and would be compatible with surrounding development in the area.

Recreation/Visitor-Serving Facilities

Policy 11.4 (*Recreation and Visitor-Serving Facilities Permitted in Coastal Zone*) seeks to permit, among other uses, necessary visitor-serving facilities as defined in Policy 11.1 (Visitor-Serving Facilities).

The proposed project will replace a long-established and popular visitor-serving facility lost by fire in 2016 that was considered an asset to the small rural community of Pescadero. The proposed use will reestablish a visitor-serving use designed to fit into the small-scale rural community character of Pescadero.

3. Conformance with Zoning Regulations

The project conforms with the following applicable Zoning Regulations:

Permitted Use

The project site is located within the Neighborhood Business/5,000 sq. ft. lot minimum/Design Review/Coastal Development (C-1/S-7/DR/CD) Zoning District which prioritizes commercial uses, which the proposed project supports.

Development Standards

The project parcel is zoned C-1/S-7 (Neighborhood Business /5,000 sq. ft. lot minimum). The following table provides an analysis of the project’s conformance with the zoning development standards for the property:

C-1/S-7 Development Standards and Off-Street Parking Regulations			
	Required	Existing	Proposed Addition
Minimum Lot Size	5,000 sq. ft.	+/- 10,890 sq. ft.	No Change
Minimum Front Yard Setback	None	106 ft., 6 in.	91 ft., 6 in.
Minimum Side Yard Setbacks			
Left Side	3 ft.	12 ft., 6 in.	No change
Right Side	3 ft.	23 ft.	No change
Minimum Rear Yard Setback	6 ft.	8 ft., 9 in.	No change

C-1/S-7 Development Standards and Off-Street Parking Regulations			
	Required	Existing	Proposed Addition
Minimum Lot Size	5,000 sq. ft.	+/- 10,890 sq. ft.	No Change
Maximum Building Height	3 stories/36 ft.	1 story/13 ft., 3 in.	1 story/23 ft., 9 in.
Maximum Lot Coverage	50%	7.8%	11.8%
Off-Street Parking	15	None	None*

Parking Standards

As mentioned previously, an Off-street Parking Permit Exception was approved under a separate Planning permit case, PLN 2018-00062 in 2018 to waive 16 required parking spaces associated with the restoration of the Pescadero County Store destroyed by fire, where restoration included an increase in seating from 10 to 47 indoor seats. No off-street parking spaces previously or currently exist onsite. The proposed project modifies the previous proposal for restoring the Pescadero County Store by proposing a “to-go” food establishment that involves 45 outdoor seats. Since the previous Off-street Parking Permit Exception approval has expired, pursuant to Section 6120 of the Zoning Regulations, the applicant is seeking a new parking exception to waive 15 parking spaces required for the proposed seating.

Findings

The applicant is seeking a Use Permit for outdoor seating and an Off-Street Parking Permit Exception to waive the 15 off-street parking spaces required for the proposed seating count, pursuant to Sections 6401 and 6120, respectively, of the Zoning Regulations, and in reference, Chapter 24. The following findings must be made in order to grant approval:

Off-street Parking Permit Exception

1. **That the establishment, maintenance and/or conducting of the off-street parking facilities as proposed are as nearly in compliance with the requirements as are reasonable possible.**

The subject parcel is unable to provide on-site parking due to the size of the parcel relative to the footprint of development (i.e., remaining building and slab foundation to accommodate outdoor seating) on-site. While the property owner owns the adjacent undeveloped property (APN 086-020-280) north of the subject parcel that has space to accommodate off-street parking, that property is located in a FEMA designated Floodway which requires hydrologic and hydraulic

analyses be completed for any encroachments to demonstrate there will be zero increases in flood levels within the designated floodway. The cost of these studies for a parking lot would make the project infeasible. Additionally, no development is proposed or being authorized as part of the subject permits on the adjacent parcel. Furthermore, the owner has considered the proposed seating to be necessary to sustain redeveloping the project site.

The project site is located within the short commercial corridor along Stage Road in Pescadero, north of Pescadero Creek Road. Parking along this commercial corridor has long been a challenge for the popular visitor destination that is limited primarily to street parking along Stage Road due to physical constraints of the land by existing development, bordering creeks, and FEMA flood designations. Nonetheless, Stage Road does accommodate street-parking on both sides of the roadway and a condition is included to require striping for 90-degree parking spaces along the Stage Road public right-of-way abutting the parcel and adjacent parcel, under common ownership, in compliance with the Department of Public Works standards in lieu of on-site parking. Therefore, staff believes that the project proposal is as nearly in compliance with the parking requirements as reasonably possible given the proposed scope of work relative to the limiting factors of the financial and operational burden to the business, existing surrounding physical constraints (i.e., surrounding development, bordering creeks), and FEMA designated floodway.

Use Permit

2. **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

There is no evidence to suggest that, as proposed and conditioned, the project, which includes 45 outdoor seats, will have any detrimental effect upon coastal resources or result in adverse impacts to properties or improvements in the area as the project will not obstruct ocean views, will not have any visual quality or resource impacts, and will be as nearly in compliance with the off-street parking requirements as are reasonably possible. The purpose and benefit of the project is to revitalize, reestablish and add to the Stage Road commercial corridor that serves visitors and the local rural Pescadero community. Additionally, the project would not be removing any existing off-street parking spaces.

B. PESCADERO MUNICIPAL ADVISORY COUNCIL

The Pescadero Municipal Advisory Council (PMAC) reviewed the subject project and confirmed they support the project and have no comments.

C. CALIFORNIA COASTAL COMMISSION

The California Coastal Commission (CCC) reviewed the subject project and confirmed they have no comments.

D. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15301, Class 1, for operation of existing public or private facilities involving negligible or no expansion of existing or former use. Former use was a commercial grocery store with commercial kitchen and the project reestablishes a commercial kitchen for “to-go” food service.

E. REVIEWING AGENCIES

Building Inspection Section
Department of Public Works
Environmental Health Services
San Mateo County Fire Department
Pescadero Municipal Advisory Council
California Coastal Commission

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2020-00300 Hearing Date: February 18, 2021

Prepared By: Lawrence Truong
Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15301, Class 1, for operation of existing public or private facilities involving negligible or no expansion of existing or former use. Former use was a commercial grocery store with commercial kitchen and the project reestablishes a commercial kitchen for “to-go” food service.

Regarding the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 of the Zoning Regulations and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP), specifically in regard to Locating and Planning New Development, Visual Resources and Recreation/Visitor-Serving Facilities components of the LCP. Staff has determined that the project is located in a rural area designated Neighborhood Business, the building is designed to be compatible with the established historical building context of the commercial corridor along Stage Road, and the proposed use serves to support the rural commercial community of Pescadero.
3. That the project is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of Pescadero Marsh.

4. That the project conforms to the specific findings required by the policies of the San Mateo County LCP with regard to Locating and Planning New Development, Visual Resources, and Recreation/Visitor-Serving Facilities as discussed in the staff report dated February 18, 2021 and summarized in Finding No. 2 above.

Regarding the Off-Street Parking Permit Exception, Find:

5. That the establishment, maintenance and/or conducting of the off-street parking facilities as proposed are as nearly in compliance with the requirements as are reasonable possible since the subject parcel is unable to provide on-site parking due to the size of the parcel relative to the footprint of existing development onsite and flood hazard constraints on-site and within the area.

Regarding the Use Permit, Find:

6. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood since there is no evidence to suggest that the proposed project, as conditioned and approved, will have any detrimental effect upon coastal resources or result in adverse impacts to properties or improvements in the area as the project will not obstruct ocean views, have any visual quality or resource impacts, or significantly impact parking supply as the proposed project will be as nearly in compliance with the off-street parking requirements as are reasonably possible. Furthermore, the proposed project supports the rural commercial community of Pescadero.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and materials approved by the Zoning Hearing Officer on February 18, 2021. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.
2. The Coastal Development Permit (CDP), Use Permit, and Off-Street Parking Permit Exception approval shall be valid for one (1) year from the date of approval, in which time a building permit shall be issued, and construction commenced. The CDP and Use Permit may be extended beyond one (1) year if the applicant requests an extension in writing and submits payment of applicable extension fees at least thirty (30) calendar days before the expiration date.

3. The Coastal Development Permit and Use Permit approval shall be for the proposed project only. Any change in use or intensity of use shall require an amendment to the applicable Coastal Development Permit and Use Permit. Amendments shall require an application for amendment, payment of applicable fees, and consideration at a public hearing.
4. These permit approvals authorize a total of 45 outdoor seats. Any increase in seating shall require an amendment to the Coastal Development Permit and Use Permit approvals.
5. No site disturbance shall occur, including any grading, until plan compliance with all applicable building, fire, and environmental health service codes and standards are achieved and a valid building permit has been issued.
6. These permit approvals do not allow for the removal of any Significant or Heritage sized trees. Removal of any such tree with a diameter equal to or greater than 12 inches as measured 4.5 feet above the ground shall require a separate tree removal permit.
7. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems by:
 - a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
 - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing applications of pesticides and fertilizer to avoid polluting runoff.

8. The applicant is responsible for ensuring that all contractors are aware of all stormwater quality measures and implement such measures. Failure to comply with the construction BMPs will result in the issuance of the correction notices, citations or a project stop order.
 - a. All landscaping shall be properly maintained and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration and minimize the use of fertilizers, herbicides and pesticides that can contribute to runoff pollution.
 - b. Where subsurface conditions allow, the roof downspout systems from all structures shall be designed to drain to a designated, effective infiltration area or structure (refer to BMP Handbook for infiltration system designs and requirements).
9. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction related vehicles shall impede through traffic along the right-of-way on Stage Road. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access along Stage Road. There shall be no storage of construction vehicles in the public right-of-way.
10. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
11. These permits do not authorize or approve any uses or development on the adjacent parcel, APN 086-020-280, under common ownership. Any proposed uses or development on this adjacent parcel shall be subject to obtaining all necessary permits and comply with all applicable codes and regulations, including parking requirements.

12. Any development or uses on the adjacent parcel, APN 086-020-280, requires hydrologic and hydraulic analyses for encroachment into a FEMA designated floodway. Such studies must demonstrate to the satisfaction of the County's designated Flood Plain Administrator that any proposed development or uses will result in a zero rise in flood level within the FEMA designated floodway area.

Building Inspection Section

13. A valid building permit shall be issued prior to the commencement of any work.

Department of Public Works

14. The Stage Road public right-of-way abutting the project parcel and adjacent parcel, APN 086-020-280, under common ownership, shall be striped for 90-degree parking spaces in compliance with the Department of Public Works standards. The applicant shall obtain an encroachment permit prior to any work within the public right-of-way, including striping of parking spaces.
15. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
16. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Drainage Section

17. The project shall comply with the San Mateo County Drainage Policy and the San Mateo Countywide National Pollution Discharge Elimination System (NPDES) permit. Prior to the issuance of the Building permit, the applicant shall submit a plan with construction details conforming with County standards, and a drainage analysis including narrative and calculations showing pre-development and post-development runoff onto and off of the parcel(s) demonstrating compliance with the Policy for review and approval by the County's Drainage Review Section.

Environmental Health Services

18. The applicant shall notify Environmental Health Consumer Protection Plan Review to update application and new plan revisions at the building application stage.

San Mateo County Fire Department

19. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their back-ground and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign. Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
20. A Knox padlock or key switch will be required if there is limited access to property. CFC 506.1. For application and instructions please email smcfdfiremarshal@fire.ca.gov.
21. Engineered fire suppression system and hood and duct: The kitchen cooking area shall be protected as required by a UL-300 compliant engineered fire suppression system and a hood and duct grease laden vapor extraction system. Submit plans to the San Mateo County Building Department for approval by the Fire District. In addition, the kitchen area shall have a minimum of at least one 40-pound "K" rated fire extinguisher mounted in the path of egress.
22. Hood system shall have current tag containing the service provider, date of service, and shall be provided in a conspicuous location.
23. Fire Extinguishers: There must be at least one 2A-10BC fire extinguisher for each 3,000 sq. ft., travel distance not to exceed 75 feet with at least one extinguisher per floor per Title 19, California Code of Regulations. Show location of extinguishers on plans.
24. Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge or effort. Exception: Main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating, "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". The letters in the sign shall not be less than 1-inch in height.
25. Exit Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type. Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Department for review and approval.

26. Exit Signage: Where required: When more exits from a story are required by Chapter 10 of the CBC, exit signs shall be installed at stair enclosures, horizontal exits and other required exits from the story. When 2 or more exits are required from a room or area, exit signs shall be installed at the required exits from the room or area and where otherwise necessary to clearly indicate the direction of egress. Exception: Main exit doors, which obviously are clearly identifiable as exits (glass door). Show exit plans on plans submitted to the San Mateo County Building Department for review and approval.
27. Exit signs shall be internally illuminated with approved emergency lighting.
28. Exit shall meet Section 10 of the 2019 California Fire Code.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.04 0 0.02 0.04 Miles

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1:1,128 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

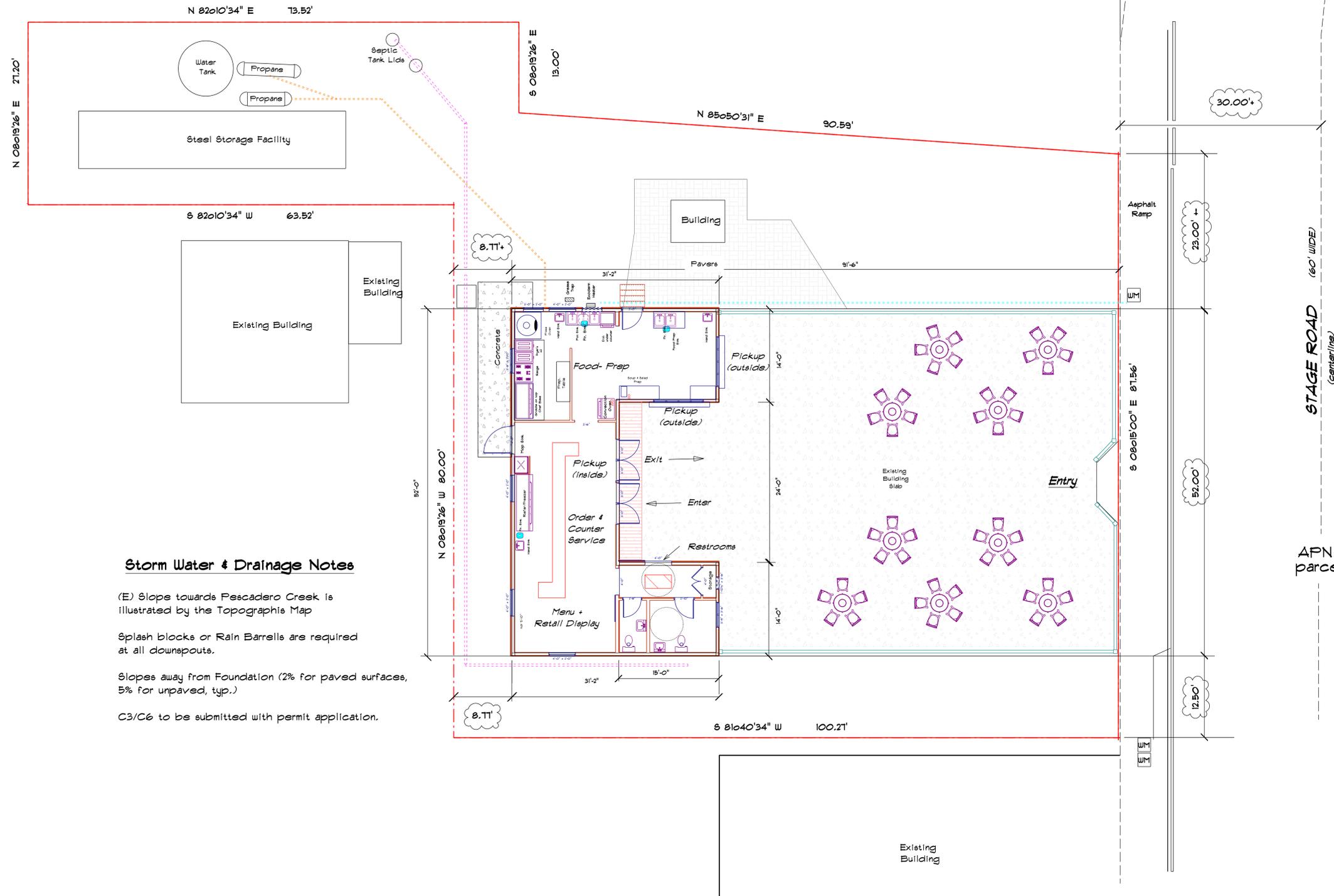
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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

VOLUME 61 PARCEL MAPS 88



Storm Water & Drainage Notes

(E) Slope towards Pescadero Creek is illustrated by the Topographic Map

Splash blocks or Rain Barrells are required at all downspouts.

Slopes away from Foundation (2% for paved surfaces, 5% for unpaved, typ.)

C3/C6 to be submitted with permit application.

APN: 086-020-260
 parcel size: 11,000 sq.ft. +/-

- water
- septic
- propane

Table of Contents		
1	SITE PLAN	P-1
2	Boundary & Topo Survey	SU-1
3	Floor Plan Proposed	A-1
4	Elevations/Sections	A-2
5	Eng'rg Intro. Notes	S0
6	Eng'rg Foundation/Roof	S1
7	Eng'rg Foundation Details	S2
8	Eng'rg Roof Details	S3

BASIS OF BEARINGS

THE BEARING, SOUTH 08°15'00" EAST, OF THE CENTERLINE OF STAGE ROAD, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY WHICH WAS FILED FOR RECORD IN VOLUME 23 OF MAPS PAGE 74 ON MAY 10, 2002, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK DESIGNATED "H 1240" AT THE SOUTHWESTERLY SIDE OF THE CONCRETE BRIDGE OVER PESCADERO CREEK WITH AN ELEVATION OF 36.13 FEET.

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4626468, AS TITLE REFERENCE FOR ALL EASEMENTS OF RECORD PLOTTED HEREON.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

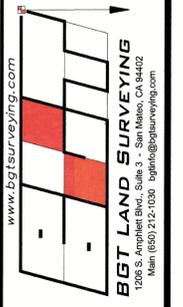
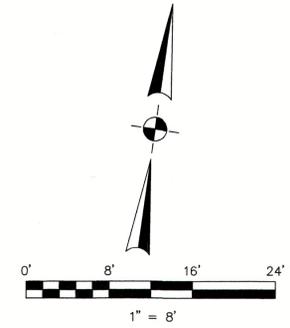
SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: NOVEMBER 1, 2016
JOB NUMBER: 16-133

PARCEL 3

VOLUME 61 PARCEL MAPS 88

VACANT PARCEL



BOUNDARY AND TOPOGRAPHIC SURVEY
PARCEL 1 - VOLUME 61 PARCEL MAPS 88
251 STAGE ROAD
PESCADERO, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
086-020-280

Prepared For:
CINDY SIMMS
P.O. BOX 369
PESCADERO, CA 94060

Date: NOV. 2016
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: LHL

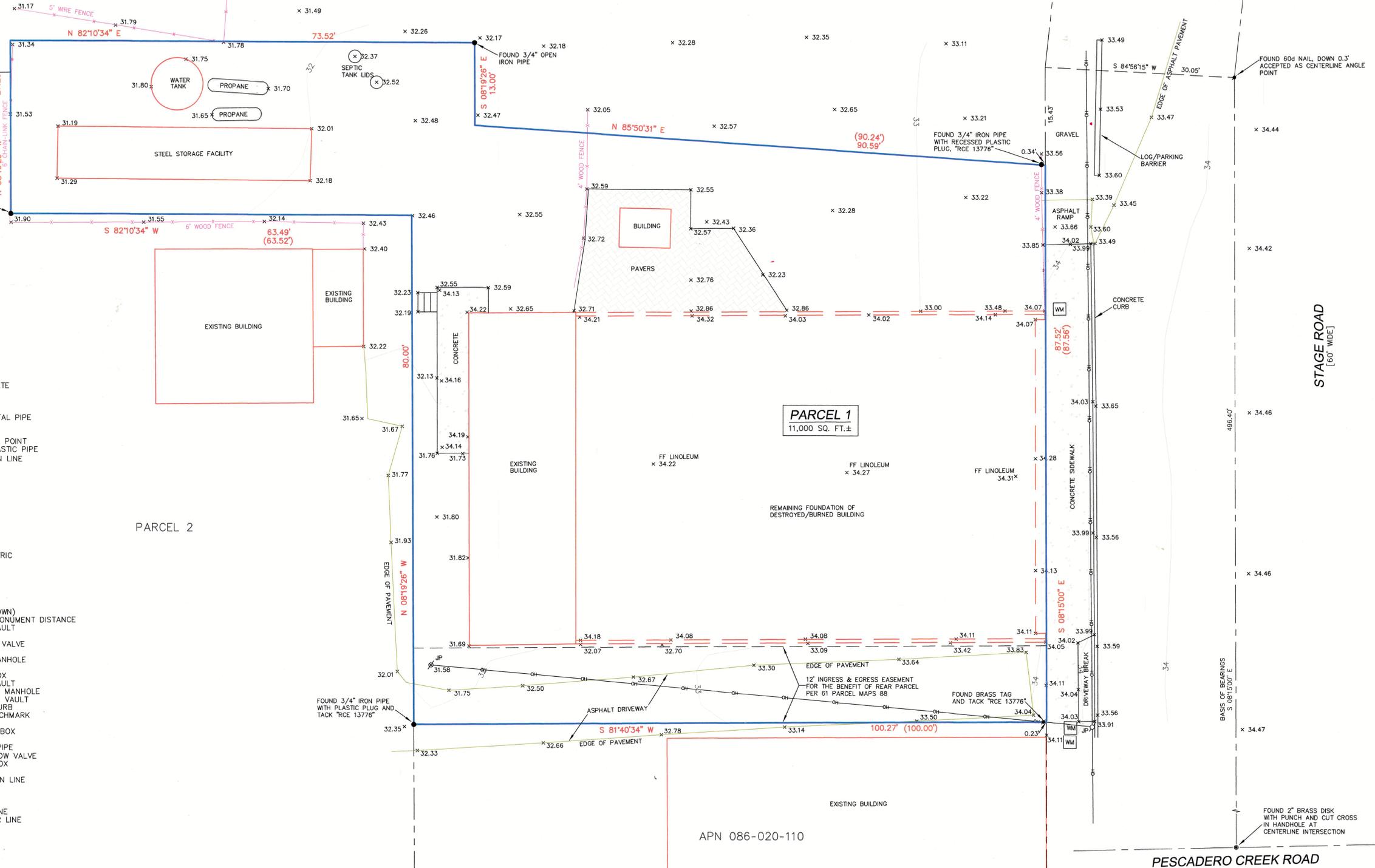
Revisions:

SU-1

Job No. 16-133

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

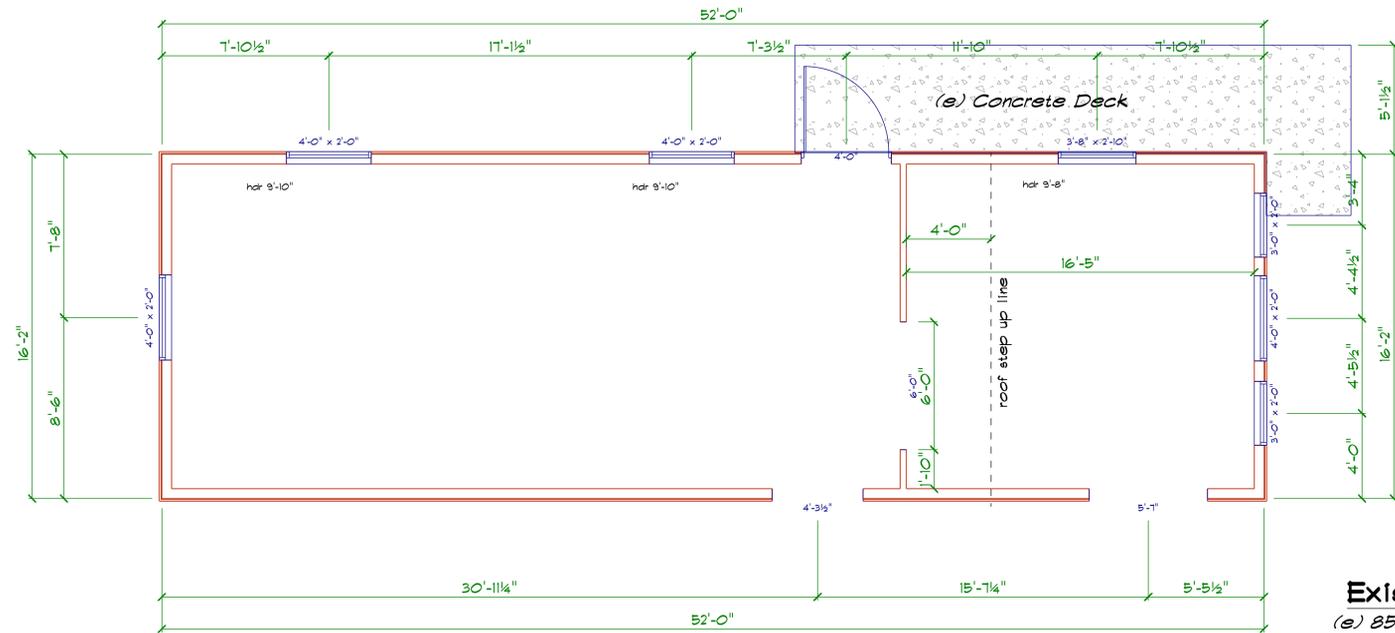


PARCEL 1
11,000 SQ. FT. ±

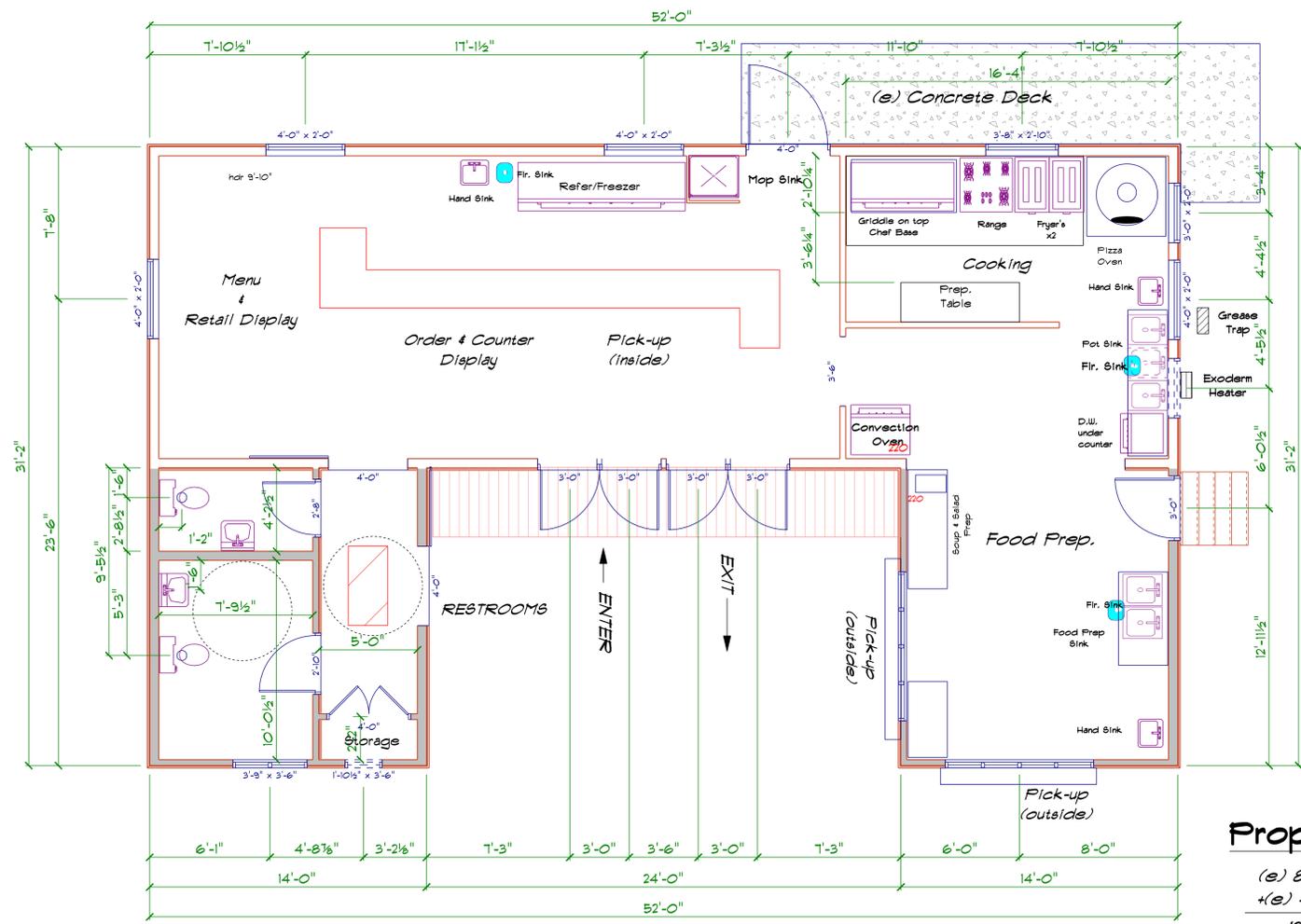
APN 086-020-110

PESCADERO CREEK ROAD

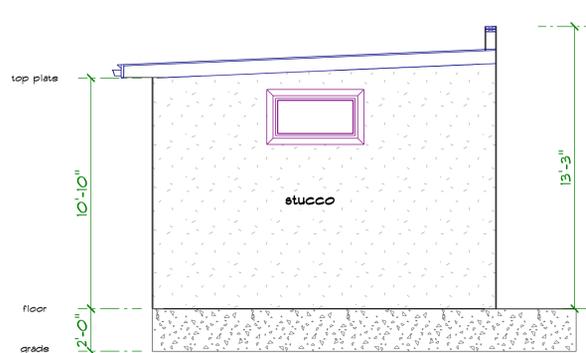
STAGE ROAD
[60' WIDE]



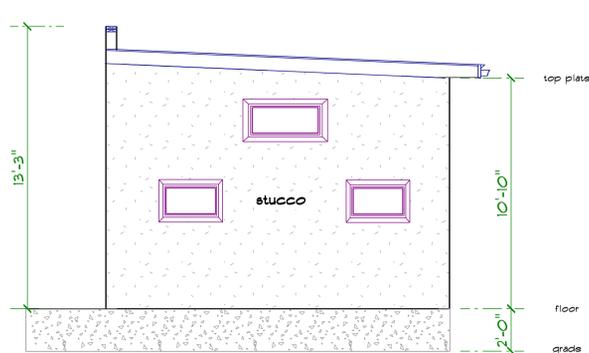
Existing Floor Plan
 (e) 857.8 sq. ft. (enclosed)



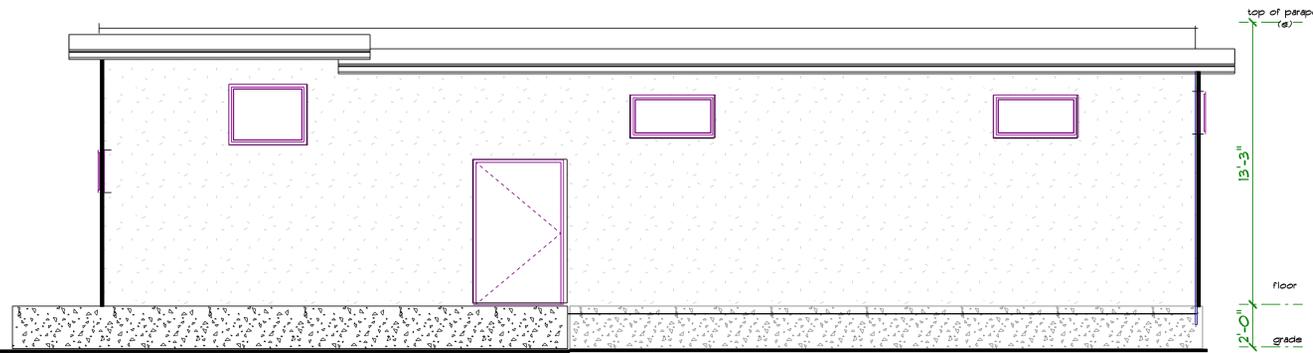
Proposed Floor Plan
 (e) 857.8 sq. ft. (enclosed)
 +(e) 427.5 sq. ft. (enclosed)
 = 1285.3 sq. ft. (enclosed)



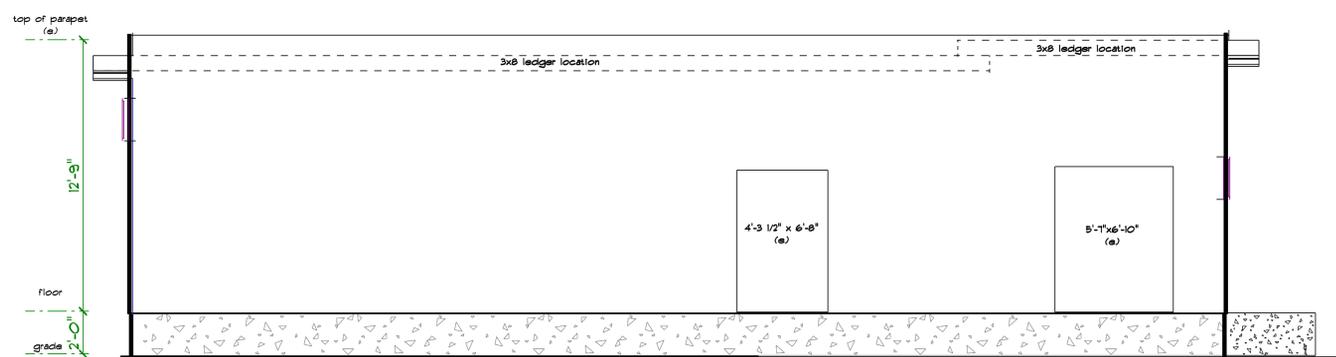
Left Elevation (e)



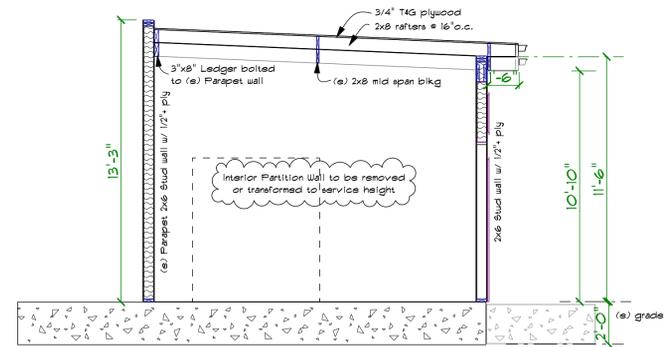
Right Elevation (e)



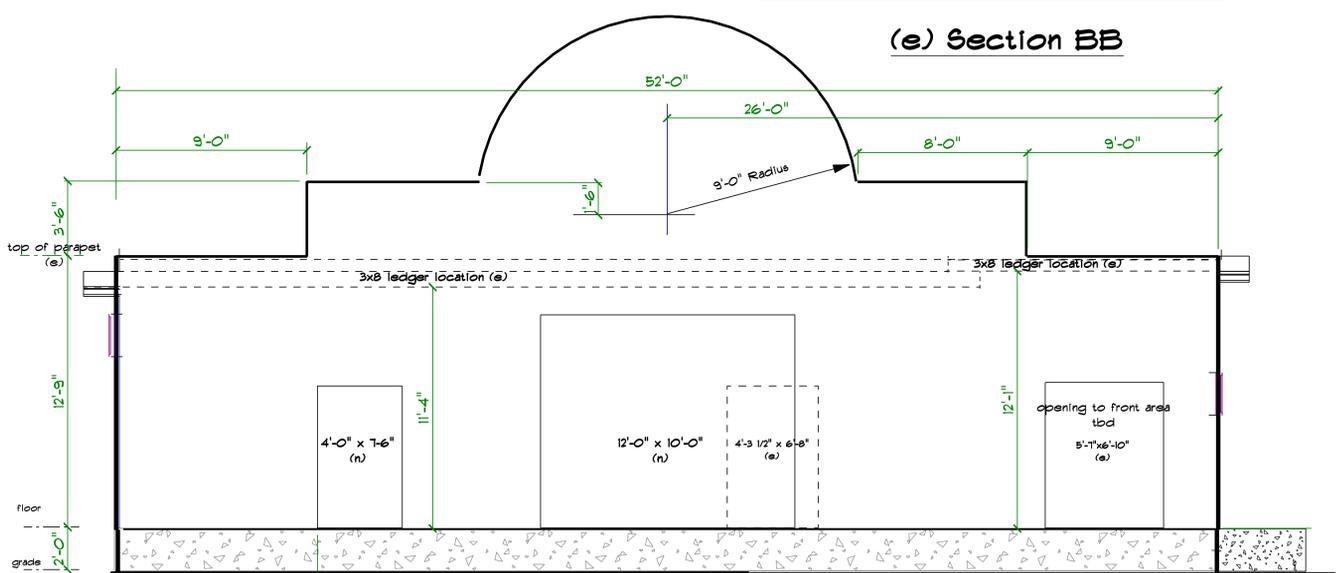
Rear Elevation (e)



Front Elevation (e)



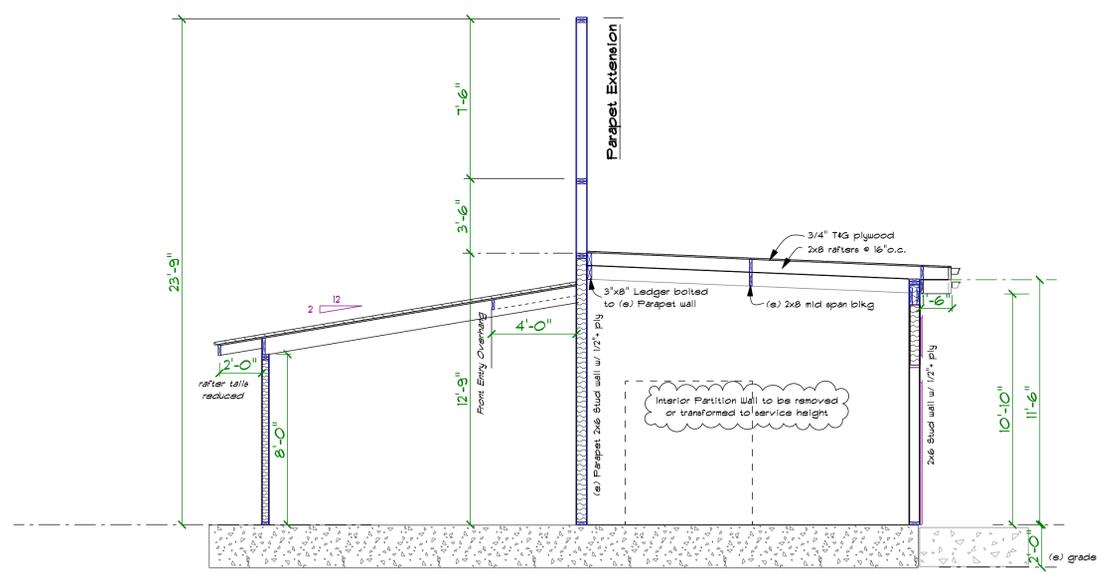
(e) Section BB



Proposed Elevation Frame



Proposed Front Elevation



Proposed Section Expansion

SHEET INDEX

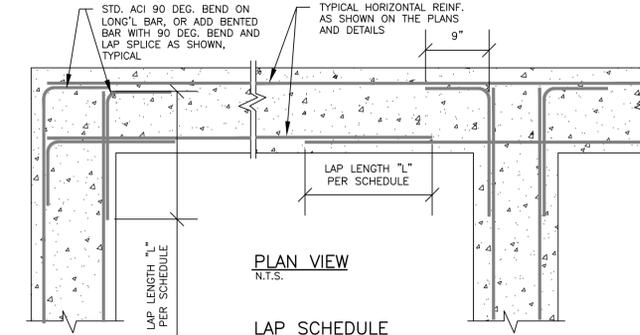
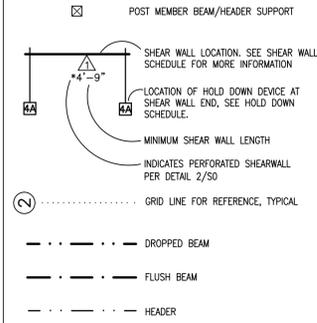
- S0: SHEET INDEX, LEGEND, TECHNICAL SPECIFICATIONS, SHEARWALL AND HOLDDOWN SCHEDULES, PLAN NOTES AND DESIGN CRITERIA
- S1: FOUNDATION PLAN AND ROOF FRAMING PLAN, LINE 2 WALL FRAMING, AND SECTIONS.
- S2: FOUNDATION AND ROOF FRAMING DETAILS.
- S3: DETAILS

SEISMIC DESIGN CRITERIA:

RESIDENTIAL SEISMIC DESIGN CATEGORY	D2
SOIL SITE CLASS	D
SITE COEFFICIENTS	F _a =1.0 F _v =1.7
SHORT PERIOD MAP VALUE	S _s =1.500
1.0S PERIOD MAP VALUE	S ₁ =0.600
SPECTRAL RESPONSE ACCELERATION FOR SHORT PERIOD	S _{ds} =1.268
SPECTRAL RESPONSE ACCELERATION FOR 1-SECOND PERIOD	S _{d1} =0.87
SEISMIC COEFF.	C _s =1.8

DESIGN LOADS	
(E) ROOF FRAMING	16 PSF
(N) ROOF FRAMING	16 PSF
EXTERIOR WALLS DEAD LOAD	18 PSF
INTERIOR WALLS	10 PSF
FLOOR LL	40 PSF
ROOF LL	20 PSF
DECK LL	N/A
BEARING PRESSURE	1500 PSF

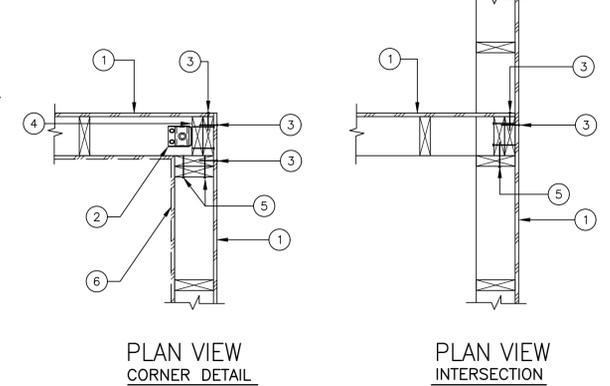
LEGEND



LAP SCHEDULE

BAR SIZE	LAP LENGTH "L"	
	TOP BARS	OTHER BARS
#4	24"	16"
#5	30"	20"
#6	40"	28"

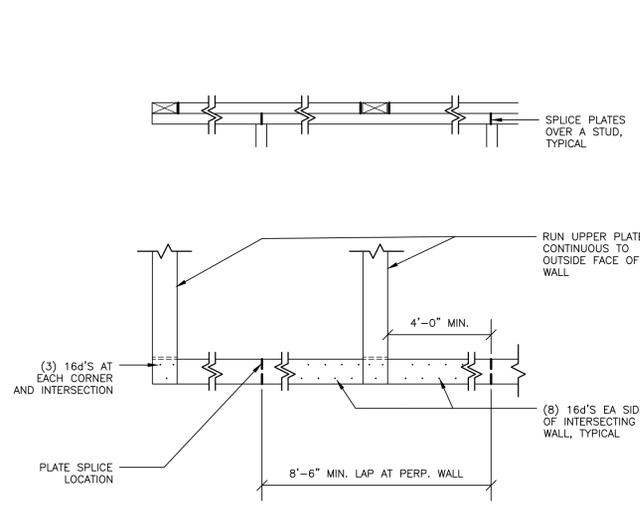
NOTE: LAP LENGTHS SHOWN ASSUME CLASS B SLICE CONDITIONS AND CAN BE USED AT ANY POINT ALONG A MEMBER.



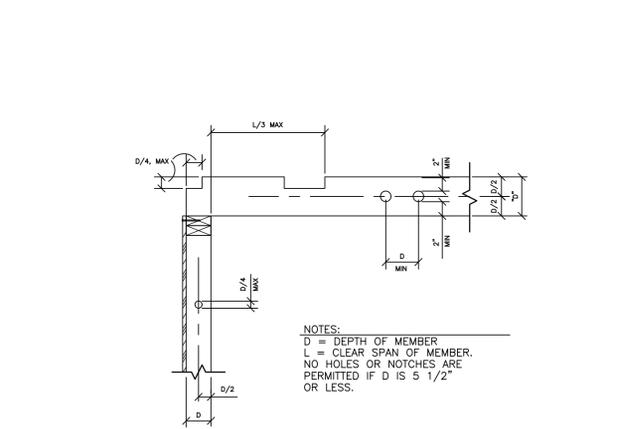
- NOTES:**
- SHEAR WALL SHEATHING AS SPECIFIED IN SHEAR WALL SCHEDULE.
 - SHEAR WALL HOLD DOWN DEVICE AS SPECIFIED ON THE PLANS.
 - TYPICAL SHEAR WALL EDGE NAILING AS SPECIFIED IN SHEAR WALL SCHEDULE. (T.E.N.)
 - SHEAR WALL BOUNDARY MEMBER - DOUBLE 2X MEMBER, OR SINGLE 4X MEMBER.
 - STITCH NAILING: (2) 16d'S EVERY 12" ON CENTER.
 - DASHED LINES REPRESENT CONDITION WHERE PLYWOOD OCCURS ON INSIDE FACE OF FRAMING.

NOTES:
"TOP BARS" OCCUR WHERE AT LEAST 12" OF CONCRETE IS TO BE PLACED BELOW THE REBAR IN QUESTION. OTHERWISE THE BARS ARE "OTHER BARS."
SPlice ALL SLAB REINFORCING AS SHOWN ON THE "OTHER BAR" COLUMN.

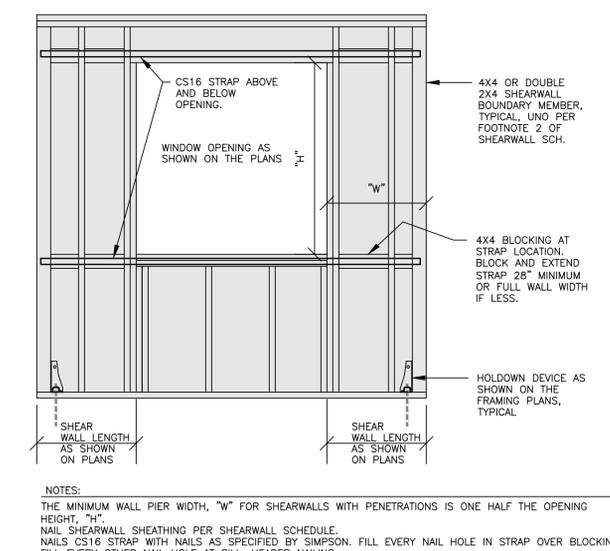
3 SO TYPICAL REINFORCEMENT DETAILS



4 SO TYPICAL WALL PLATE FRAMING



1 SO TYPICAL SHEAR WALL DETAILS



SHEARWALL SCHEDULE
1/2" STRUCTURAL 1 RATED PLYWD SHEATHING¹¹

SYMBOL	TYPICAL WALL SHEATHING EDGE NAILING (T.E.N.)	ANCHOR BOLTS	SOLE PLATE		FRAMING CLIPS ¹⁰	ALLOWABLE SHEAR
			NAILING	SDS SCREWS		
1	8d'S NAILS AT 6" OC: 0.131" X 2 1/2" COMMON OR 0.113" X 2 1/2" GALV BOX	5/8" DIA. X 12" LONG BOLTS AT 4'-0" ON CENTER	(3) 16d'S EVERY 16" ON CENTER	1" DIA. X 3 1/2" SDS SCREWS AT 24" OC	A3S FRAMING CLIPS AT 24" ON CENTER	280 PLF
2	8d'S NAILS AT 4" OC: 0.131" X 2 1/2" COMMON OR 0.113" X 2 1/2" GALV BOX	5/8" DIA. X 12" LONG BOLTS AT 3'-0" ON CENTER	16d'S EVERY 4" ON CENTER	1" DIA. X 3 1/2" SDS SCREWS AT 15" OC	A3S FRAMING CLIPS AT 16" ON CENTER	430 PLF
3	8d'S NAILS AT 3" OC: 0.131" X 2 1/2" COMMON OR 0.113" X 2 1/2" GALV BOX	5/8" DIA. X 12" LONG BOLTS AT 30" ON CENTER	16d'S EVERY 3" ON CENTER	1" DIA. X 3 1/2" SDS SCREWS AT 12" OC	A3S FRAMING CLIPS AT 12" ON CENTER	550 PLF
4	SIMPSON STRONGWALL	INSTALL PER MANUFACTURES INSTRUCTIONS				

- NOTES:**
- USE 4X BOUNDARY MEMBER AT EACH END OF SHEARWALL OR DBL 2X STITCHED TOGETHER WITH (2) 10d NAILS AT 12" OC.
 - WHERE PANELS ARE APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL JOINTS FROM EACH SIDE.
 - ALL PANEL EDGE SHALL BE BACKED BY 2 INCH NOMINAL OR WIDER FRAMING.
 - ALL BRACED WALL LINES HAVING SHEARWALLS SHALL HAVE A DOUBLE TOP PLATE SPICED AS SHOWN ON THIS SHEET, OR TIED TO A COLLECTOR MEMBER AS SHOWN ON THE FRAMING PLANS.
 - ALL ANCHOR BOLTS SHALL HAVE A MINIMUM OF A 3"x3"x1/4" PLATE WASHER PER CBC2308.3.2 EXCEPT FOR SHEAR SYMBOL 1, MEMBERS RECEIVING EDGE NAILING FROM ADJOINING PANELS SHALL BE NOT LESS THAN 3 INCH NOMINAL FRAMING NAILS SHALL BE STAGGERED.
 - ALL NAILS SHALL BE COMMON NAILS OR HOT DIPPED GALVANIZED BOX NAILS.
 - ALL NAILS INSTALLED INTO PRESERVATIVE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL DUE TO THE CORROSIVE NATURE OF THIS MATERIAL, ON FASTENERS.
 - FRAMING CLIPS PER THIS SCHEDULE ARE ONLY REQUIRED AT LOCATIONS WHERE THE SHEARWALL PLYWD IS INTERRUPTED, IE AT INTERIOR SHEARWALL LOCATIONS WHERE THE SECOND FLOOR FRAMING CAUSES A BREAK IN THE SHEARWALL SHEATHING.
 - WHERE THE SHEARWALL SHEATHING IS APPLIED OVER 1/2" DRYWALL, USE 10d NAILS.
 - VALUES SHOWN ARE FOR 15/32" STRUCTURAL 1 RATED PANELS.

HOLDOWN SCHEDULE

SYMBOL	SIMPSON HOLDOWN	ANCHOR BOLT DIAMETER	REFERENCE DETAIL	NOTES	ALLOWABLE LOAD (LBS)
1	A CS16			SECOND FLOOR HOLDOWN STRAP FROM SHEAR WALL BOUNDARY MEMBER IN WALL ABOVE AND BELOW ALIGNED.	1705
	B MST48				3960
	C MST60				6235
2	A ST6224			SECOND FLOOR HOLDOWN STRAP FROM SHEARWALL BOUNDARY MEMBER TO FLOOR FRAMING MEMBER BELOW.	2540
	B MSTC66B3				4505
	-				-
3	A HDU2-SDS2.5	5/8" A.T.R.		SECOND FLOOR HOLD DOWN DEVICE IN PAIR WITH ALL THREAD ROD BETWEEN FROM SHEAR WALL BOUNDARY MEMBER ABOVE TO SAME BELOW.	3075
	B HDU4-SDS2.5	5/8" A.T.R.			4565
	C HDU5-SDS2.5	5/8" A.T.R.			5645
4	A HDU2-SDS2.5	5/8"	3/S1	ANCHOR INSTALLED IN EXISTING CONCRETE.	1800
	B HDU2-SDS2.5	5/8"		FIRST FLOOR HOLDOWNS WITH ANCHOR BOLT INTO CONCRETE. INSTALL PER MANUF. INSTRUCTIONS.	3075
	C HDU5-SDS2.5	5/8"	1/S0		5645
	D HDU8-SDS2.5	7/8"			6970

- NOTES:**
- FOR HOLDOWNS AT FOUNDATION, USE SSTB OR SB BOLT BY SIMPSON, AS FOLLOWS:
- | HOLDOWN | STEM WALL FOUNDATION | SLAB FOUNDATION |
|---------|----------------------|-----------------|
| HDU2 | SSTB24 | SSTB16 |
| HDU4 | SSTB24 | SSTB20 |
| HDU5 | SSTB24 | SSTB24 |
- AT EXISTING FOUNDATION LOCATIONS, IN CURED CONCRETE, FOR HDU2 HOLDOWN DEVICE, USE 1/2" DIAMETER GALVANIZED ALL THREAD ROD DRILLED AND EPOXIED 12" INTO EXISTING CONCRETE. USE SIMPSON BRAND SET-XP EPOXY. THIS OPERATION REQUIRES SPECIAL INSPECTION.

- WOOD FRAMING**
- ALL 2X FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER, UNLESS NOTED OTHERWISE ON THE PLANS. ALL STUDS SHALL BE STUD GRADE DOUGLAS FIR.
 - ALL BEAMS OTHER THAN DOOR HEADERS SHALL BE DOUGLAS FIR NO. 1 OR ENGINEERED LUMBER BEAMS AS NOTED ON THE PLANS.
 - ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED DOUGLAS FIR NO. 2 OR CALIFORNIA REDWOOD. THE EXPOSED ENDS OF FIELD CUT TREATED MEMBERS SHALL HAVE A BRUSH APPLIED PRESERVATIVE ADDED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - OTHER THAN AS STATED IN CBC 2308.7.4, NO FRAMING MEMBERS SHALL BE CUT OR NOTCHED WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
 - ALL BOLTS SHALL BE ZINC COATED AND HAVE CUT FLAT WASHERS ON EACH END. BOLT HOLES SHALL BE 1/16" IN DIAMETER LARGER THAN THE BOLT DIAMETER UNLESS EXPOSED TO THE WEATHER. ALL EXPOSED FASTENERS SHALL BE HOT DIPPED GALVANIZED.
 - ALL NAILS EXPOSED TO THE WEATHER SHALL BE GALVANIZED. IN ADDITION, ALL FASTENERS IN CONTACT WITH TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
 - ALL FRAMING CONNECTORS AND OTHER HARDWARE SHALL BE SIMPSON BRAND OR THE APPROVED EQUIVALENT. FRAMING CONNECTORS IN CONTACT WITH TREATED LUMBER SHALL BE TRIPLE ZINC COATED (G185) OR STAINLESS STEEL AS RECOMMENDED BY SIMPSON.
 - GLULAM BEAMS SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 2400 PSI, AND AN ALLOWABLE SHEAR OF 165 PSI. GLULAM BEAMS SHALL BE MARKED ANSI/APTC STANDARD 190.1.
 - ALL ENGINEERED LUMBER JOISTS AND BEAMS SHOWN ON THE PLANS SHALL BE BY THE BOISE CASCADE COMPANY OR THE APPROVED EQUIVALENT. THE CONTRACTOR SHALL REVIEW AND FOLLOW ALL OF THE MANUFACTURER'S DETAILS FOR THE PROPER INSTALLATION OF THE JOISTS INCLUDING BUT NOT LIMITED TO BRACING, BLOCKING, NAILING, NOTCHING, BORING, ETC.
 - ALL LVL BEAMS NOTED ON THE PLANS SHALL BE VERSALAM LVL 2.0 BY BOISE CASCADE OR APPROVED EQUIVALENT. 3", 5", AND 7" WIDE LVL BEAMS SHOULD BE VERSALAM 2.0 3100 WITH A BENDING STRESS OF 3100 PSI. 1 1/2" WIDE LVL BEAMS SHOULD BE 2.0 2800 WITH A BENDING STRESS OF 2800 PSI. ALL LVL BEAMS SHOULD HAVE A MODULUS OF ELASTICITY OF 2,000,000 AND AN ALLOWABLE SHEAR STRESS OF F_v=285 PSI.

STATEMENT OF SPECIAL INSPECTION:
PURSUANT TO SECTION 1705 OF THE 2019 CBC, THE FOLLOWING SPECIFIC REQUIREMENTS SHALL APPLY TO THE PROJECT WITH RESPECT TO TESTING AND SPECIAL INSPECTIONS AS REQUIRED BY THE CBC. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS STATED HEREIN AND HAVE ALL REQUIRED INSPECTIONS PERFORMED AND PROVIDE REQUIRED DOCUMENTATION TO THE BUILDING OFFICIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETAIN THE PROPER AGENCY TO PERFORM THE REQUIRED TEST OR INSPECTION.

WOOD CONSTRUCTION: TESTING AND INSPECTION TO BE PERFORMED BY THE STRUCTURAL ENGINEER OF RECORD

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	ADDITIONAL ACTIONS REQUIRED
1. INSPECTION OF NAILING FOR SHEARWALLS WHERE THE NAIL SPACING IS LESS THAN 6" OC		X	
2. INSPECTION OF EPOXY INSTALLATION OF SHEARWALL ELEMENTS		X	

ABBREVIATIONS

ABBREVIATIONS	ANCHOR BOLT	HSS	HOLLOW STEEL SECTION
AB	ASPHALT CONCRETE <td>HORIZ</td> <td>HORIZONTAL</td>	HORIZ	HORIZONTAL
AC	ARCHITECTURAL <td>LF</td> <td>LINEAL FEET</td>	LF	LINEAL FEET
ATR	ALL THREAD ROD <td>MAX</td> <td>MAXIMUM</td>	MAX	MAXIMUM
CL	CENTERLINE <td>MIN</td> <td>MINIMUM</td>	MIN	MINIMUM
COL	COLUMN <td>MB</td> <td>MACHINE BOLT</td>	MB	MACHINE BOLT
CONC	CONCRETE <td>(N)</td> <td>NEW</td>	(N)	NEW
DBL	DOUBLE <td>OC</td> <td>ON CENTER</td>	OC	ON CENTER
DEG	DEGREE <td>OPP</td> <td>OPPOSITE</td>	OPP	OPPOSITE
DF	DOUGLAS FIR <td>PL</td> <td>PROPERTY LINE</td>	PL	PROPERTY LINE
DIA	DIAMETER <td>PLF</td> <td>POUNDS PER LINEAL FOOT</td>	PLF	POUNDS PER LINEAL FOOT
(E)	EXISTING <td>PSF</td> <td>POUNDS PER SQUARE FOOT</td>	PSF	POUNDS PER SQUARE FOOT
EA	EACH <td>PTDF</td> <td>PRESSURE TREATED DOUGLAS FIR</td>	PTDF	PRESSURE TREATED DOUGLAS FIR
EMBED	EMBEDMENT <td>S.A.D.</td> <td>SEE ARCHITECTS DRAWINGS</td>	S.A.D.	SEE ARCHITECTS DRAWINGS
EQ	EQUAL <td>SQ</td> <td>SQUARE</td>	SQ	SQUARE
EX	EXISTING <td>STD</td> <td>STANDARD</td>	STD	STANDARD
FG	FINISHED FLOOR <td>T.E.N.</td> <td>TYPICAL EDGE NAILING</td>	T.E.N.	TYPICAL EDGE NAILING
FT	FEET <td>TS</td> <td>TUBE STEEL</td>	TS	TUBE STEEL
GLV	GALVANIZED <td>TYP</td> <td>TYPICAL</td>	TYP	TYPICAL
GLD	GRIDLINE <td>UNLESS NOTED OTHERWISE</td> <td></td>	UNLESS NOTED OTHERWISE	
GLB	GLULAM BEAM <td>VAR</td> <td>VARIABLE</td>	VAR	VARIABLE
HR	HEADER <td>VERT</td> <td>VERTICAL</td>	VERT	VERTICAL
		V.L.F.	VERIFY IN FIELD

TECHNICAL SPECIFICATIONS

- GENERAL NOTES**
- ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN ON THE PLANS FOR SIMILAR CONSTRUCTION.
 - ALL DIMENSIONS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECT'S PLANS AND NOTIFY THE ENGINEER IN THE EVENT OF A CONFLICT PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED TO THE ENGINEER IN THE FORM OF A DETAILED SKETCH FOR REVIEW BEFORE AN APPROVAL WILL BE GIVEN, AND BEFORE PROCEEDING WITH THE WORK.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, 2019 EDITION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE ENGINEER IN THE EVENT OF A CONFLICT.
 - THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM BUILDING DEPARTMENT OF JURISDICTION PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY THE BUILDING INSPECTOR AT LEAST 48 HOURS PRIOR TO POURING ANY CONCRETE.
 - USE APPROPRIATE FASTENERS FOR NAILING INTO TREATED LUMBER, IE GALVANIZED OR STAINLESS STEEL.
 - SHEARWALL HOLDOWN LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATION TO BE DETERMINED BY CONTRACTOR SUCH THAT THE HOLDOWNS ARE SITUATED AT EACH END OF THE SHEARWALLS SHOWN, AND THEY ARE CONNECTED TO BOUNDARY MEMBERS AS SHOWN IN THE FRAMING DETAILS.
 - SHEARWALL LENGTHS SHOWN ARE CONSIDERED MINIMUMS AND DO NOT NECESSARILY REFLECT THE TRUE LENGTH OF THE FRAMED WALL. NOTIFY THE ENGINEER IN THE EVENT THAT THE FRAMED WALL WILL BE LESS THAN THE SHEARWALL LENGTH STATED, PRIOR TO PROCEEDING.
- CONCRETE**
- ALL CONCRETE WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITION OF THE ACI BUILDING CODE AND THE LATEST EDITION OF THE MANUALS OF CONCRETE PRACTICE.
 - THE CONCRETE FOR THE BUILDING FOUNDATIONS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI. THE USE OF ANY ADMIXTURE SHALL BE APPROVED BY THE ENGINEER.
 - THE MAXIMUM AGGREGATE SIZE SHALL BE 3/4" INCH FOR PUMP DELIVERED CONCRETE.
 - REINFORCEMENT, ANCHOR BOLTS, SLEEVES, AND OTHER SUCH ITEMS TO BE CAST MONOLITHICALLY IN CONCRETE SHALL BE SECURELY FASTENED AND IN PLACE PRIOR TO CALLING FOR INSPECTION.
 - RECYCLED FLY ASH MAY BE SUBSTITUTED FOR THE REQUIRED CEMENT CONTENT AT THE RATE OF 25% MAXIMUM.
 - CONCRETE FORM BOARDS SHALL BE REUSED OR RECYCLED.
 - SUBMIT MIX DESIGN AND CURING METHOD TO THE ENGINEER FOR REVIEW PRIOR TO PLACING CONCRETE.
 - VAPOR BARRIER UNDER INTERIOR BUILDING SLABS SHALL BE 10 MIL VAPOR BARRIER.
- REINFORCING STEEL**
- REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 40 FOR #4 AND SMALLER BARS, GRADE 60 FOR #5 AND LARGER BARS. SPLICES SHALL BE STAGGERED WHERE POSSIBLE. SPLICE BARS 40 BAR DIAMETERS, MINIMUM.
 - SUPPORTING DEVICES FOR THE REINFORCEMENT SHALL BE SPACED SUFFICIENTLY TO PROPERLY SUPPORT THE REINFORCEMENT AND PREVENT EXCESSIVE DEFLECTION THAT MAY RESULT IN IMPROPER BAR PLACEMENT.
 - THE FOLLOWING MINIMUM BAR COVERS SHALL BE MAINTAINED:
CONCRETE EXPOSED TO EARTH OR WEATHER: 1 1/2 INCHES
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - ALL ANCHOR BOLTS SHALL BE 5/8" DIAMETER BY 12" LONG HOT DIPPED GALVANIZED "J" BOLTS WITH 3" SQUARE X 1/4" PLATE WASHERS. USE TWO BOLTS MINIMUM PER SILL PLATE MEMBER, 6" MINIMUM AND 12" MAXIMUM FROM EACH END.
- FOUNDATION EXCAVATION NOTES**
- THE FOUNDATION ELEMENTS SHOWN HEREON WERE DESIGNED BASED ON THE LOW BEARING VALUES REPORTED IN THE CBC TABLE 1806.2 (1500 PCF) IN LIEU OF A SPECIFIC GEOTECHNICAL INVESTIGATION PREPARED FOR THIS SITE.
 - THE FOUNDATION DIMENSIONS SHOWN ON THESE PLANS SHOULD BE CONSIDERED MINIMUMS. ALL FOOTINGS SHALL BE EXCAVATED INTO AND BEAR ONTO FIRM NATIVE MATERIAL OR PROPERLY COMPACTED FILL MATERIAL. LOOSE NEAR SURFACE SOILS MAY REQUIRE FOOTINGS TO HAVE ADDITIONAL DEPTH OR WIDTH, OR BOTH.
 - NOTIFY THE ENGINEER PRIOR TO PROCEEDING IN THE EVENT THAT UNUSUAL SOIL CONDITIONS ARE ENCOUNTERED.
 - ALL EXCAVATED MATERIAL SHALL BE DEPOSITED OFF SITE IN A LEGAL MANNER, OR INCORPORATED INTO OTHER ONSITE GRADING PROVIDED IT IS DONE SO BASED ON ACCEPTED STANDARDS TO PREVENT EROSION.
- FRAMING NOTES**
- IN ADDITION TO THOSE FASTENERS SHOWN ON THESE PLANS, THE CONTRACTOR IS DIRECTED TO TABLE 2304.10.1 OF THE 2019 CALIFORNIA BUILDING CODE, "FASTENING SCHEDULE" FOR FURTHER NAILING REQUIREMENTS.
 - ALL PLYWOOD WALL SHEATHING SHALL BE 1/2" CDX AND NAILED AT 6" OC, EDGE AND 12" OC FIELD WITH 8d'S UNLESS NOTED OTHERWISE AT SHEARWALL LOCATIONS.
 - ALL ROOF SHEATHING SHALL BE 1/2" CDX MINIMUM, AND NAILED AT 6" EDGE, 12" FIELD WITH 10d'S.
 - ROOF SHEATHING SHALL INCORPORATE A RADIANT BARRIER IF REQUIRED BY ARCHITECTS PLANS. VERIFY WITH ARCHITECT.
 - USE DOUBLE JOISTS UNDER PARALLEL WALLS, TYPICAL UNLESS NOTED OTHERWISE.
 - FLOOR SHEATHING SHALL BE 3/4" TAG CDX PLYWOOD NAILED WITH 100'S AT 6" OC EDGE, 12" FIELD UNLESS NOTED OTHERWISE. USE SUBFLOOR ADHESIVE AS WELL.
 - IN GENERAL, OSB SHEATHING MAY BE SUBSTITUTED FOR PLYWOOD SHEATHING PROVIDED IT HAS THE EQUIVALENT APA RATING - FOR BOTH FLOOR AND WALL SHEATHING.
 - PROTECT ANNULAR SPACES AROUND OPENINGS IN PLATES AND EXTERIOR WALLS.
 - ALL HOLDOWN ANCHOR BOLTS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING

DATE: _____

REVISION: _____

DESCRIPTION: SHEET INDEX, DESIGN LOADS, LEGEND, TECHNICAL SPECIFICATIONS, SHEARWALL AND HOLDOWN SCHEDULE

CINDY'S 251 STAGE ROAD PESCADERO, CA

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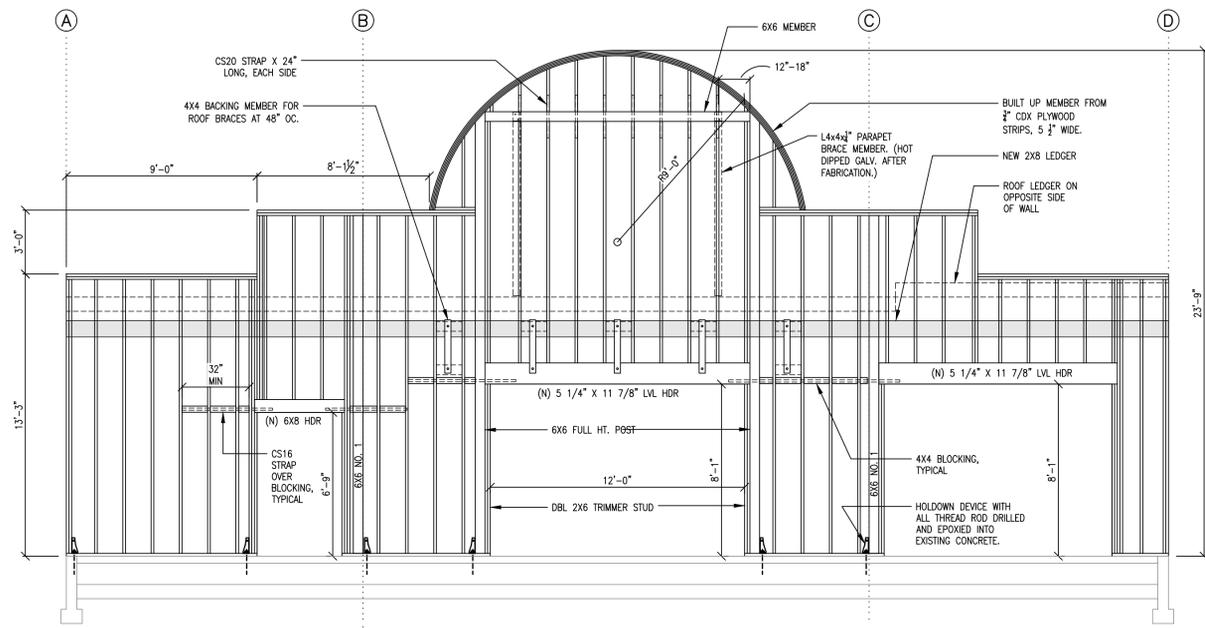
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REGISTERED PROFESSIONAL ENGINEER
No. C 055138
CIVIL
STATE OF CALIFORNIA
6-11-20

JOB NO.: 20-31
DATE: 6/11/20
DRAWN BY: ACR
SCALE: AS NOTED

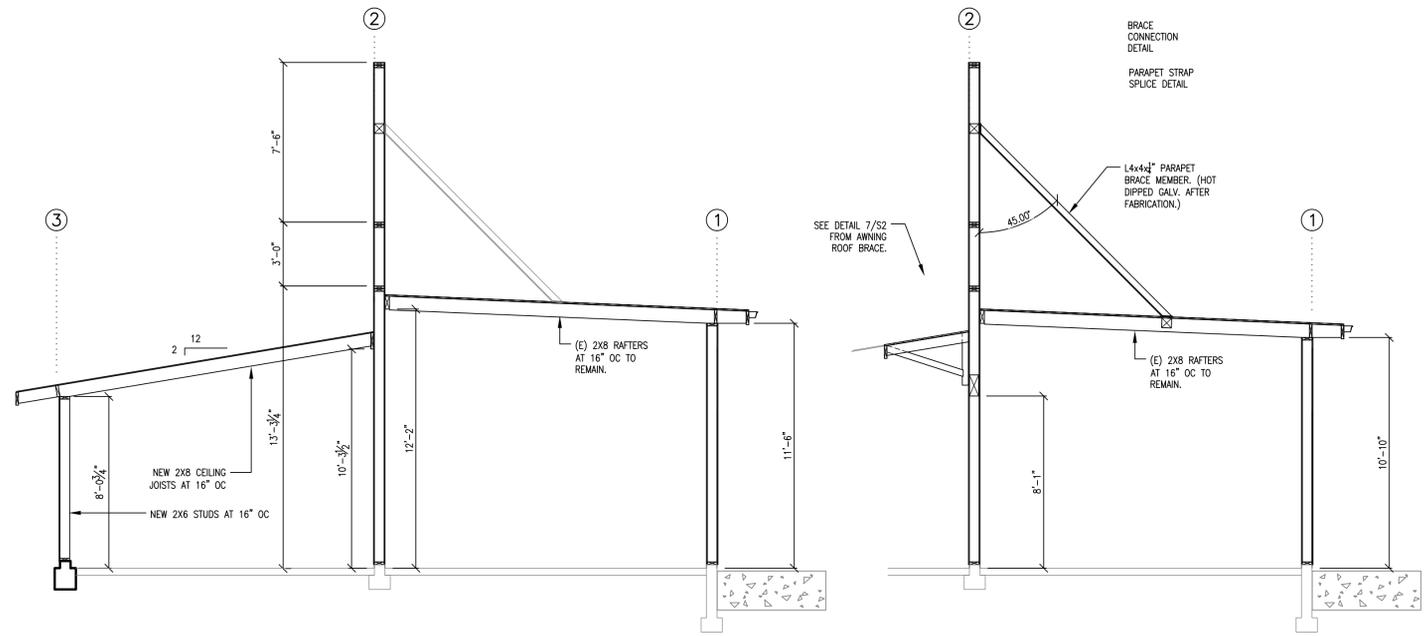
SHEET

S0



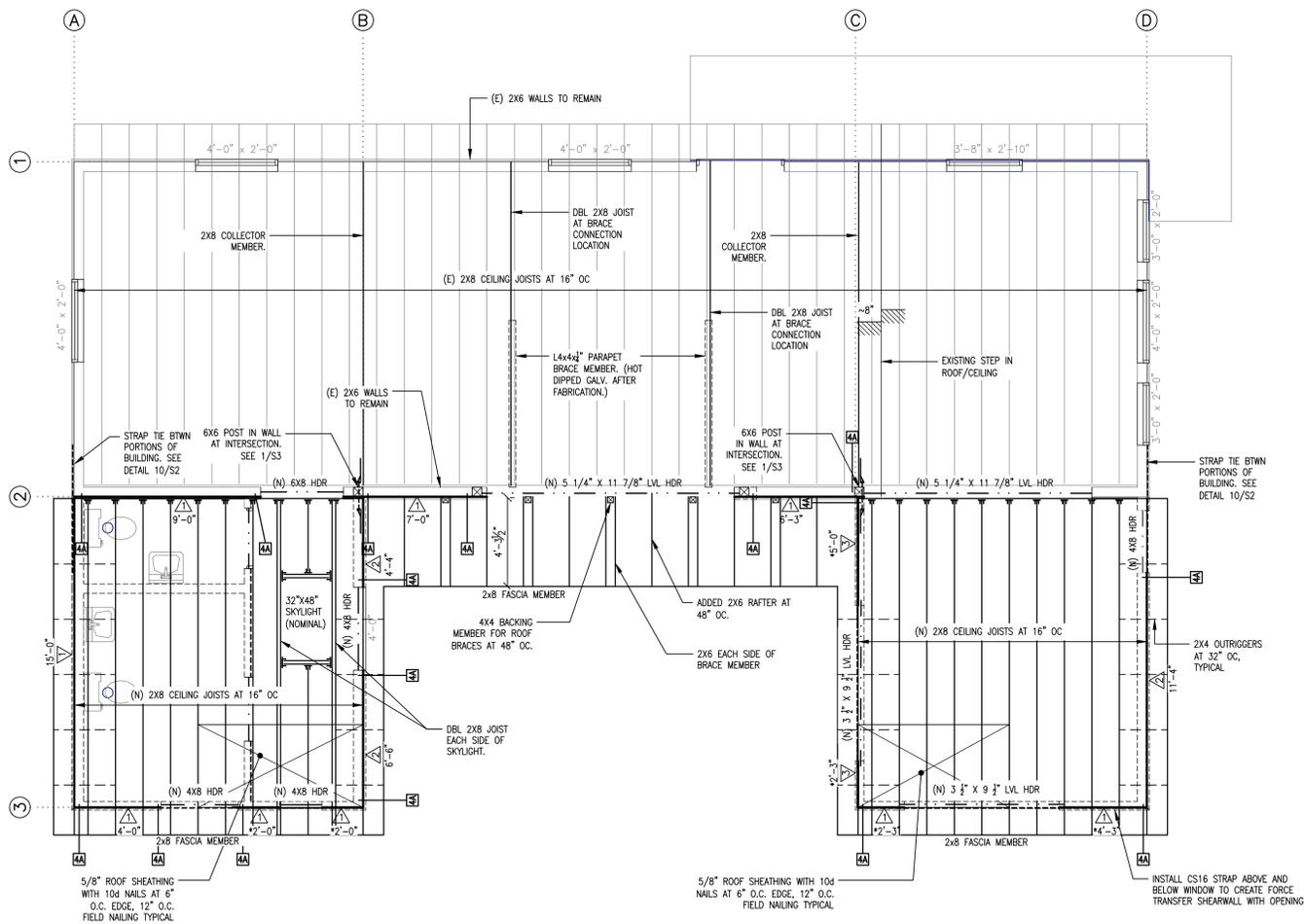
FRAMING ELEVATION, LINE 2.
SCALE: 1/4"=1'-0"

NOTE:
EXISTING 2X6 WALL STUDS TO REMAIN, BUT THEY ARE TO REMAIN AS THE EXISTING ROOF IS CONNECTED TO THEM. REMOVE EXISTING TOP PLATES, AND SISTER ON NEW FULL HEIGHT MEMBERS AS SHOWN.



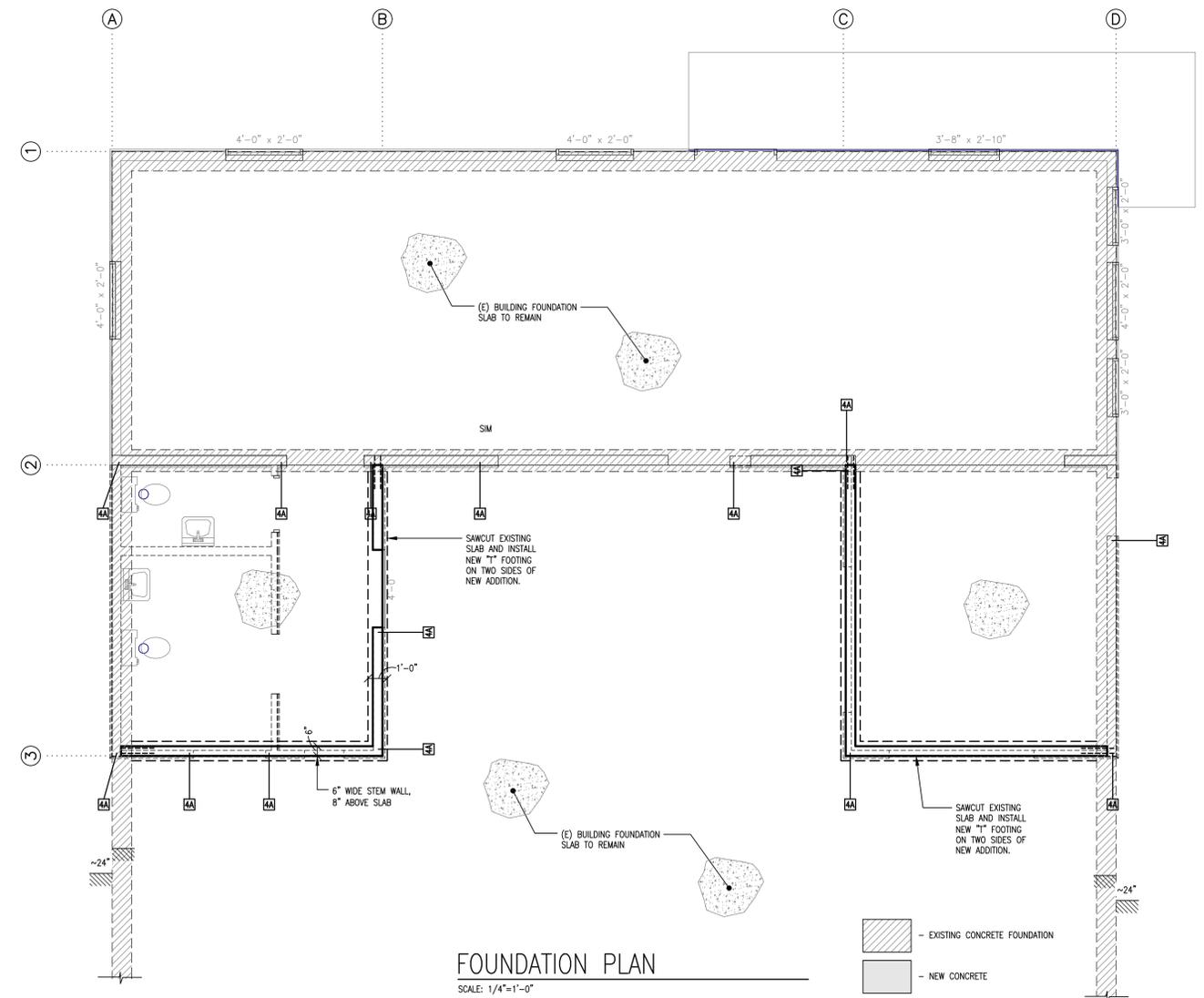
TYPICAL BUILDING SECTION 2/S1
SCALE: 1/4"=1'-0"

TYPICAL BUILDING SECTION 1/S1
SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

GENERAL PLAN NOTES:
1. SEE ARCHITECTS DRAWINGS FOR DIMENSIONS. DIMENSIONS SHOWN HEREON ARE FOR REFERENCE ONLY. VERIFY WITH ARCHITECTS DRAWINGS. NOTIFY THE ENGINEER IN THE EVENT OF A CONFLICT PRIOR TO PROCEEDING.
2. USE APPROPRIATE FASTENERS FOR NAILING INTO TREATED LUMBER, IE GALVANIZED OR STAINLESS STEEL.
3. SHEARWALL HOLDOWN LOCATIONS SHOWN ARE APPROXIMATE. ACTUAL LOCATION TO BE DETERMINED BY CONTRACTOR SUCH THAT THE HOLDOWNS ARE SITUATED AT EACH END OF THE SHEARWALLS SHOWN, AND THEY ARE CONNECTED TO BOUNDARY MEMBERS AS SHOWN IN THE FRAMING DETAILS.
4. SHEARWALL LENGTHS SHOWN ARE CONSIDERED MINIMUMS AND DO NOT NECESSARILY REFLECT THE TRUE LENGTH OF THE FRAMED WALL. NOTIFY THE ENGINEER IN THE EVENT THAT THE FRAMED WALL WILL BE LESS THAN THE SHEARWALL LENGTH STATED, PRIOR TO PROCEEDING.



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

EXISTING CONCRETE FOUNDATION
NEW CONCRETE

REVISION	DESCRIPTION	DATE

FOUNDATION AND ROOF FRAMING PLANS

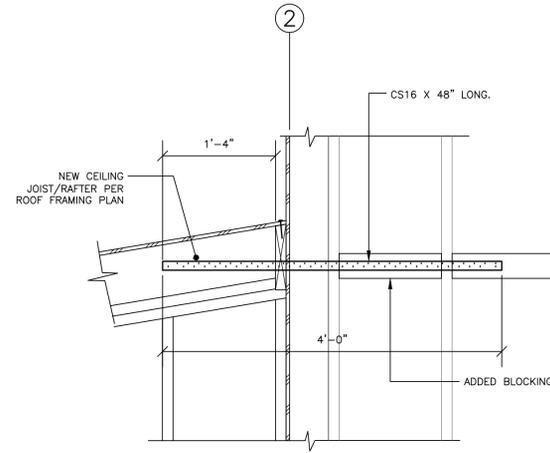
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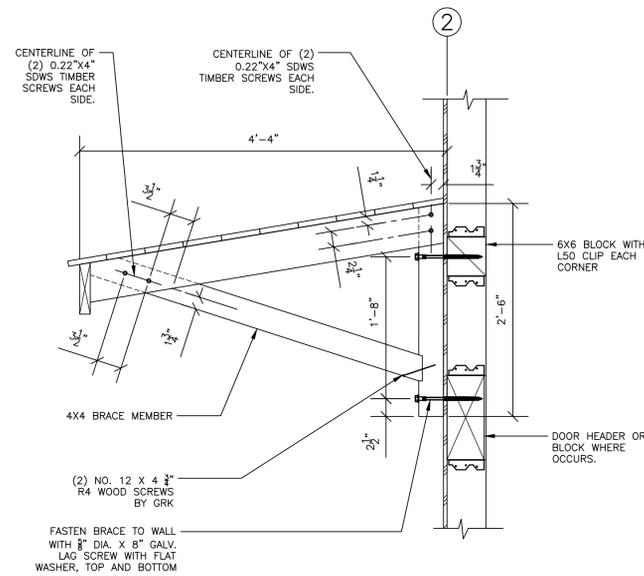


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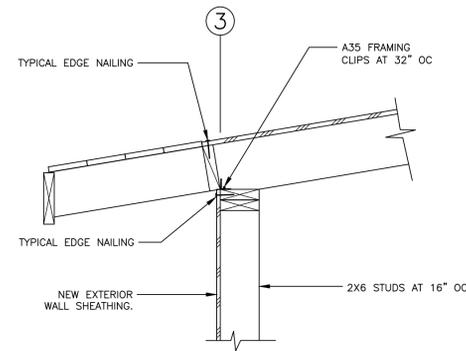
SHEET
S1



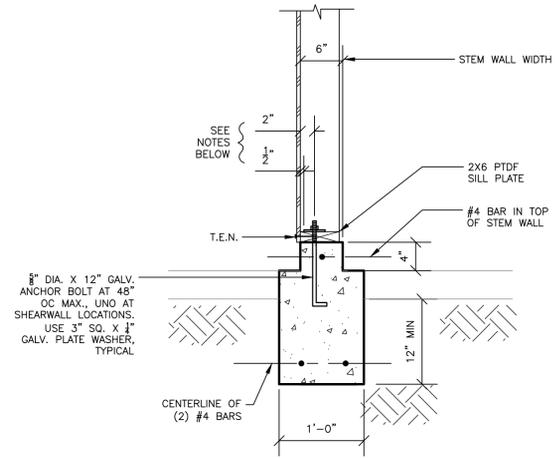
10
S2 STRAP TIE AT LINES (A) AND (D)



7
S2 SHED ROOF BRACE DETAIL

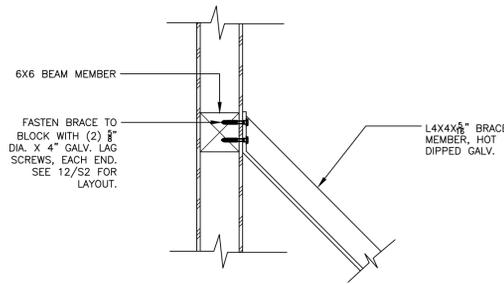


4
S2 NEW ROOF FRAMING AT EAVE

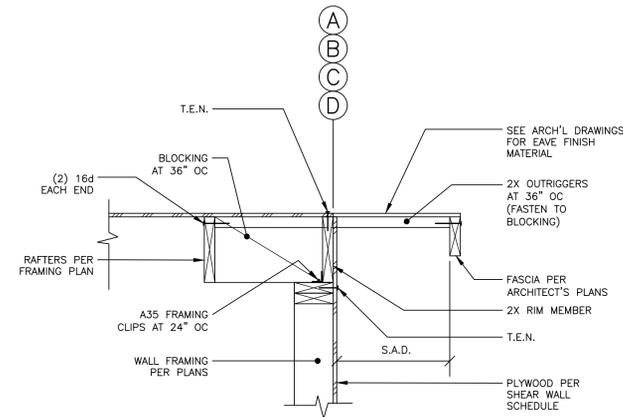


NOTES:
1. LOCATE ANCHOR BOLTS AS NOTED SO THAT PLATE WASHER IS WITHIN 1/2\"/>

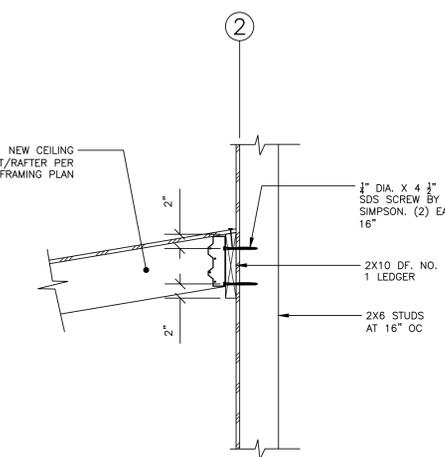
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S2 NEW CONTINUOUS FOOTING AT SLAB FOUNDATION



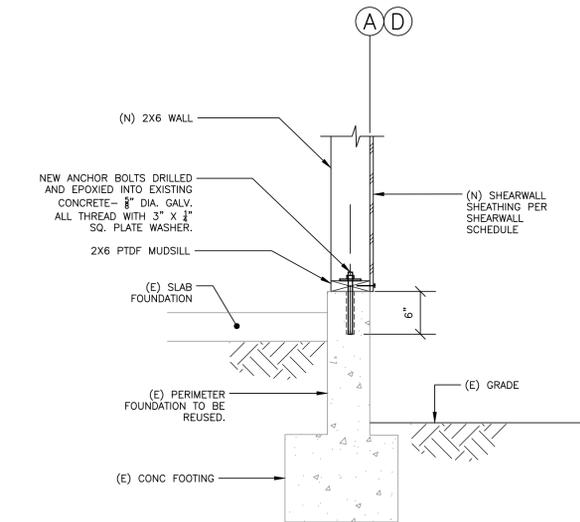
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S2 PARAPET BRACE TOP CONNECTION



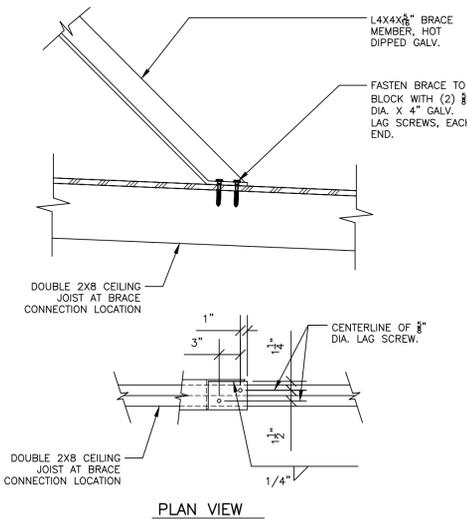
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S2 TYPICAL EAVE FRAMING AT GABLE END



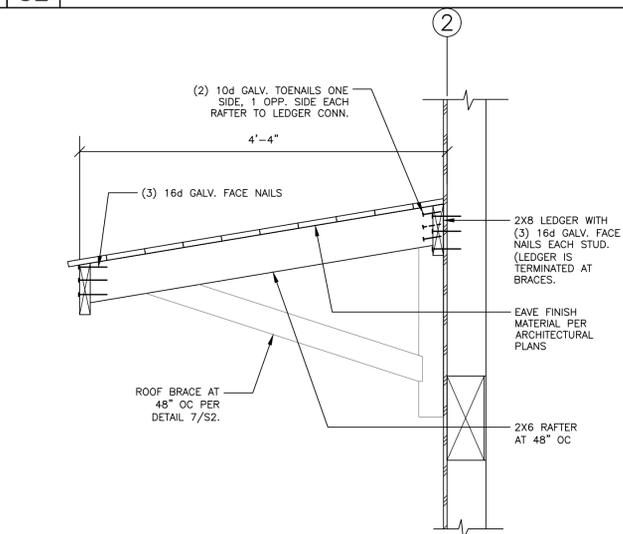
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S2 NEW ROOF LEDGER CONNECTION



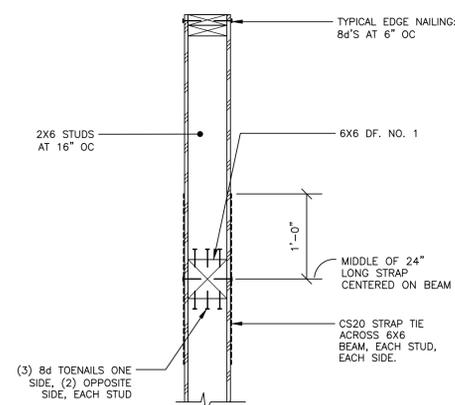
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S2 SHEAR TRANSFER AT LINES (A) AND (D)



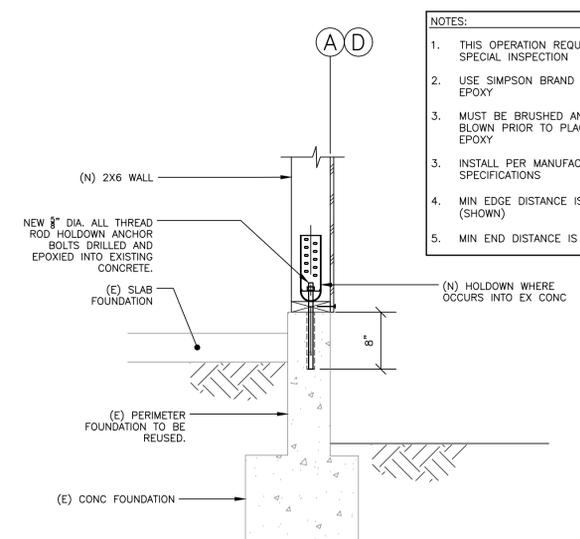
12
S2 PARAPET BRACE BOTTOM CONNECTION



9
S2 SHED ROOF INTERMEDIATE RAFTER CONN.



6
S2 UPPER PARAPET WALL FRAMING



3
S2 EPOXY HOLDOWN INTO EX CONCRETE

REVISION	DESCRIPTION	DATE

FOUNDATION AND ROOF FRAMING DETAILS

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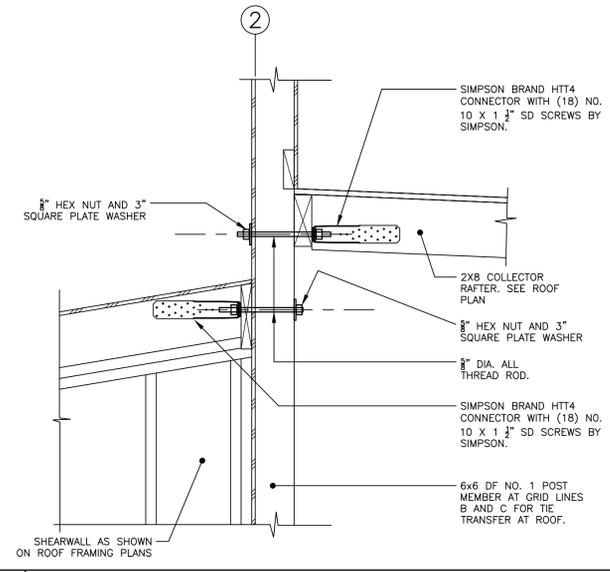
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S2



1	DRAG STRUT TIE AT LINES (B) AND (C)
S3	

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ROOF FRAMING DETAILS

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SHEET

S3