COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

DATE: August 19, 2021

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Use Permit, pursuant to Section 6431 of the San Mateo County Zoning Regulations, for the construction of a 1,176 sq. ft. detached accessory dwelling unit where 800 sq. ft. is the maximum allowed size on a 16,117 sq. ft. parcel located at 526 Bay Road in the unincorporated Menlo Oaks area of San Mateo County.

County File Number: PLN 2020-00466 (Gerard/Mighty Buildings)

PROPOSAL

The applicant is seeking a Use Permit to exceed the maximum size allowed for an accessory dwelling unit on the subject parcel in order to construct a 1,176 sq. ft. detached accessory dwelling unit (ADU) in the rear yard of the 16,117 sq. ft. parcel located at 526 Bay Road in Menlo Oaks. The maximum allowed size for an ADU on the property is 800 sq. ft. based on the size of the primary single-family residence being 1,170 sq. ft. The County's ADU regulations limit the size of a detached ADU to 35% of the livable floor area of the existing primary residence. In this case, that would limit the detached ADU to 409 sq. ft. However, State law, in this case, supersedes local regulations and allows at least an 800 sq. ft. ADU. To exceed the 800 sq. ft. limit requires an exception to the County's Zoning Regulations. The two-bedroom, two-bathroom ADU will include a 238 sq. ft. deck with trellis off of the west side, and minimal grading and no tree removal is required.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit, County File Number PLN 2020-00466, by making the required findings and adopting the conditions of approval listed in Attachment A of this staff report.

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner; sburlison@smcgov.org

Applicant: Mighty Buildings, Ken Bane

Owner: Damien Gerard

Location: 526 Bay Road, Menlo Oaks

APN: 062-160-180

Size: 16,117 sq. ft.

Existing Zoning: R-1/S-90 (Single-family Residential/S-90 Combining District)

General Plan Designation: Medium Low Density Residential

Sphere-of-Influence: Menlo Park

Existing Land Use: Single-family residential

Water Supply: California Water Service Company – Bear Gulch

Sewage Disposal: West Bay Sanitary District
Flood Zone: Flood Zone X (area of minimal flood hazard); FEMA Panel Number 06081C0306E, effective October 16, 2012.

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15303, Class 3, related to the construction of an accessory dwelling unit in an urbanized residential zone.

Setting: The subject parcel is a relatively flat, rectangular 16,117 sq. ft. parcel located on the west side of Bay Road in Menlo Oaks. There is an existing one-story single-family residence with attached two-car garage located in the front portion of the property. The surrounding area consists of existing one-story and two-story single-family residences.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Policy 4.36 (*Urban Area Design Concept*) and Policy 8.15 (*Land Use Compatibility*) seek to maintain and improve upon the appearance and visual character of development in urban areas, ensure that proposed development contributes to the orderly and harmonious nature of the locality, and protect and enhance the character of existing single-family areas.

The project involves construction of a new detached accessory dwelling unit (ADU) located in the rear yard, approximately 15 feet from the rear property line and 95 feet behind the main residence located in the front of the property. The ADU will be pre-manufactured with a flat roof and is proposed to be approximately 12 feet in height. A trellis over decking (238 sq. ft.) will extend 10 feet out from the west side of the ADU and ramp access will be provided at the rear/main entrance to the unit (facing the rear property line). The project is designed and located to minimize visual impacts to the area. Additionally, numerous trees will be maintained around the perimeter of the property to help screen and soften the appearance of development from neighboring properties.

2. Conformance with the Zoning Regulations

a. Zoning Standards

The project parcel is located in the R-1/S-90 (Single-family Residential/S-90 Combining District) Zoning District. The proposed project complies with the development standards of the S-90 District that are applicable to ADUs and Accessory Dwelling Unit standards contained in Chapter 22.5, as outlined below:

S-90 Development Standards (applicable to ADUs)		
Standard	**Required**	**Proposed**
Maximum Lot Coverage	30%	22.5%
Maximum Floor Area	4,835 sq. ft.	3,007 sq. ft.
Accessory Dwelling Unit Standards		
Standard	**Required**	**Proposed**
Minimum Front Setback	20 ft.	161 ft.
Minimum Side Setbacks	4 ft.	10 ft. (right) 15 ft. (left)
Minimum Rear Setback	4 ft.	15 ft.
Maximum Height	26 ft.	12 ft., 2 in.
Minimum Distance to Primary Residence	5 ft.	95 ft.
Maximum Size	800 sq. ft.*	1,176 sq. ft**

Parking	None***	Existing 12 ft. wide driveway
*800 sq. ft. or 35% of the livable floor area of the primary residence, whichever is larger, up to a maximum of 1,500 sq. ft. **Use Permit required to exceed size limit. ***No ADU parking required if within ½ mile of a public transit stop.		

b. Use Permit Findings

Pursuant to Section 6431 of the Zoning Regulations, a Use Permit is required when a proposed ADU does not meet all of the applicable ADU standards, as recited in the above table. In order to grant approval of a Use Permit as required by Section 6431, and in reference, Section 6503, the following finding must be made:

That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The project site is located in a non-coastal area and is surrounded by one- and two-story single-family residences. The proposed project will continue to utilize the property for single-family residential purpose while adding to the overall affordable housing supply in the County with the proposed Accessory Dwelling Unit. The proposed ADU will be in the rear-most portion of the property and is designed to be approximately 12 feet in height with a flat roof for minimal visibility from surrounding properties. Additionally, a number of trees proposed to be maintained around the perimeter of the property will help to screen and soften the appearance of the new development.

Although the ADU is proposed to exceed the maximum size limitation allowed for the property based on the size of the existing primary residence, when combined with existing development, the project would not cause total development on the site to exceed the maximum allowed lot coverage or floor area standards of the S-90 Zoning District. Therefore, staff believes the project will not be detrimental to the public welfare or injurious to property or improvements in the area.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15303, Class 3, related to the construction of an accessory dwelling unit in an urbanized residential zone.

C. REVIEWING AGENCIES

Building Inspection Section
Geotechnical Section
Department of Public Works
Parks Department – County Arborist
Menlo Park Fire Protection District
West Bay Sanitary District
California Water Service – Bear Gulch District

ATTACHMENTS

A. Recommended Findings and Conditions of Approval
B. Vicinity Map
C. Project Plans
D. Arborist Report prepared by Arborwell, dated June 11, 2021

SSB:cmc – SSBFF0761_WCU.DOCX

Attachment A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2020-00466 Hearing Date: August 19, 2021

Prepared By: Summer Burlison, Project Planner For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. The project is categorically exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15303, Class 3, related to the construction of an accessory dwelling unit in an urbanized residential zone.

For the Use Permit, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood as the project site is not located in the coastal zone and is designed and located to minimize impacts to neighboring properties and the public, and aside from an exception to the size of the ADU, the project will conform with all other zoning development standards.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on August 19, 2021. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.

2. This Use Permit is valid for one (1) year from the date of final approval in which time a valid building permit shall be issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable fees sixty (60) days prior to expiration.

3. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section. Additionally, construction shall not commence until a valid building permit is issued.

4. To reduce the impact of any construction-related activities on neighboring properties, comply with the following:

    a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

    b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

    c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along nearby right-of-ways. All construction vehicles shall be parked on-site outside public right-of-ways or in public locations which do not impede safe access. There shall be no storage of construction vehicles in the public right-of-way.

5. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site by:

    a. Protecting areas not to be disturbed using a vegetative buffer strip or fence/barrier.

    b. Covering construction materials stored on-site with a tarp or other waterproof material when not in use.

    c. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.

    d. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.

6. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).

7. This permit does not allow for the removal of any trees. Removal of any tree with a diameter equal to, or greater than, 12 inches as measured 4.5 feet above the ground shall require a separate tree removal permit.

8. The applicant shall include a Tree Protection Plan and arborist report as part of the building permit submittal documents. The Tree Protection Plan shall incorporate recommendations from the project arborist, including for tree protection, and that at a minimum conform with the tree protection standards set forth in Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance. Additionally, the location of tree protection fencing on the plan shall be consistent with the arborist recommendations.

9. A Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a building permit to ensure tree protection measures are installed adequately and in accordance to approved arborist recommendations prior to the start of ground disturbing activities.

10. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758, including but not limited to $5.00 per sq. ft. over 2,500 sq. ft. of residential floor area.

    Impact Fees. Accessory dwelling units of less than seven hundred fifty (750) sq. ft. in size shall be exempt from all impact fees. Accessory dwelling units of greater than 750 sq. ft. in size shall only be charged impact fees in an amount equal to the standard impact fee for such a unit, multiplied by the proportion of the accessory dwelling unit to the primary dwelling unit.

Drainage Section

11. At the time of building permit submittal, the project will be required to comply with the County's "prescriptive" drainage review requirements. A final grading and drainage plan and completed C.3 and C.6 Development Review Checklist shall be submitted as part of the building permit submittal.

Geotechnical Section

12. A Geotechnical Report with screening for liquefaction shall be performed at the building permit stage. An existing house foundation healthiness evaluation could be provided for existing liquefaction hazard damage potential for the parcel. The geotechnical report may be submitted electronically to geo@smcgov.org . The appointed Project Geotechnical Engineer (PGE) shall review and approve the foundation and grading plans. The PGE shall also observe and approve relevant grading and foundation construction activities.

Department of Public Works

13. No construction work within the County right-of-way shall occur unless County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

14. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

California Water Service – Bear Gulch District

15. Any improvements to the water system shall be at the owner's expense, including additional services or fire protection needs.

16. All storm and sewer lines must maintain minimum separation from water lines of 10-foot horizontal separation and 1-foot vertical separation below the water main or service line.

17. Service lines which go thru one property to another property must have legal easements granted with documentation submitted to Cal Water before installation.

18. The applicant shall install a reduced pressure backflow device at the meter.

West Bay Sanitary District

19. The development must comply with all current District Regulations and Standards (www.westbaysanitary.org).

20. A Class 1D Sewer Permit is required for the connection of the ADU.

21. In order to be approved for the additional wastewater flow, CCTV of the existing sewer lateral must be submitted to the District office for review.

22. There is a sewer main in an easement adjacent to the side of the property if the owner/contractor doesn't want to install such a long lateral, or slopes cannot be achieved. However, an inflow/infiltration fee of minimally $1,275 is due if the ADU has an independent connection at the main. This later shall conform to District specifications from the property line clean out to the main.

23. At the building permit stage, a full set of detail plans, including profile and slopes shall be provided that demonstrate compliance with District standards.

24. District staff will provide the main connection for the sewer lateral if needed. The contractor will be responsible for excavation of the area (3 feet by 5 feet by the depth of the pipe, with al appropriate shoring, steel plates, etc.

25. No pool drains, roof gutters, surface drainage, or groundwater sump pumps are allowed to connect to the sanitary sewer.

26. The contractor shall ensure all storm drainage away from sanitary sewer clean outs.

27. Additional connection fees may be due, pending further review.

28. The lateral from the building to the PLCO shall meet the requirements of the County's Building Department.

29. The District reserves the right to provide additional comments in response to subsequent submittals.

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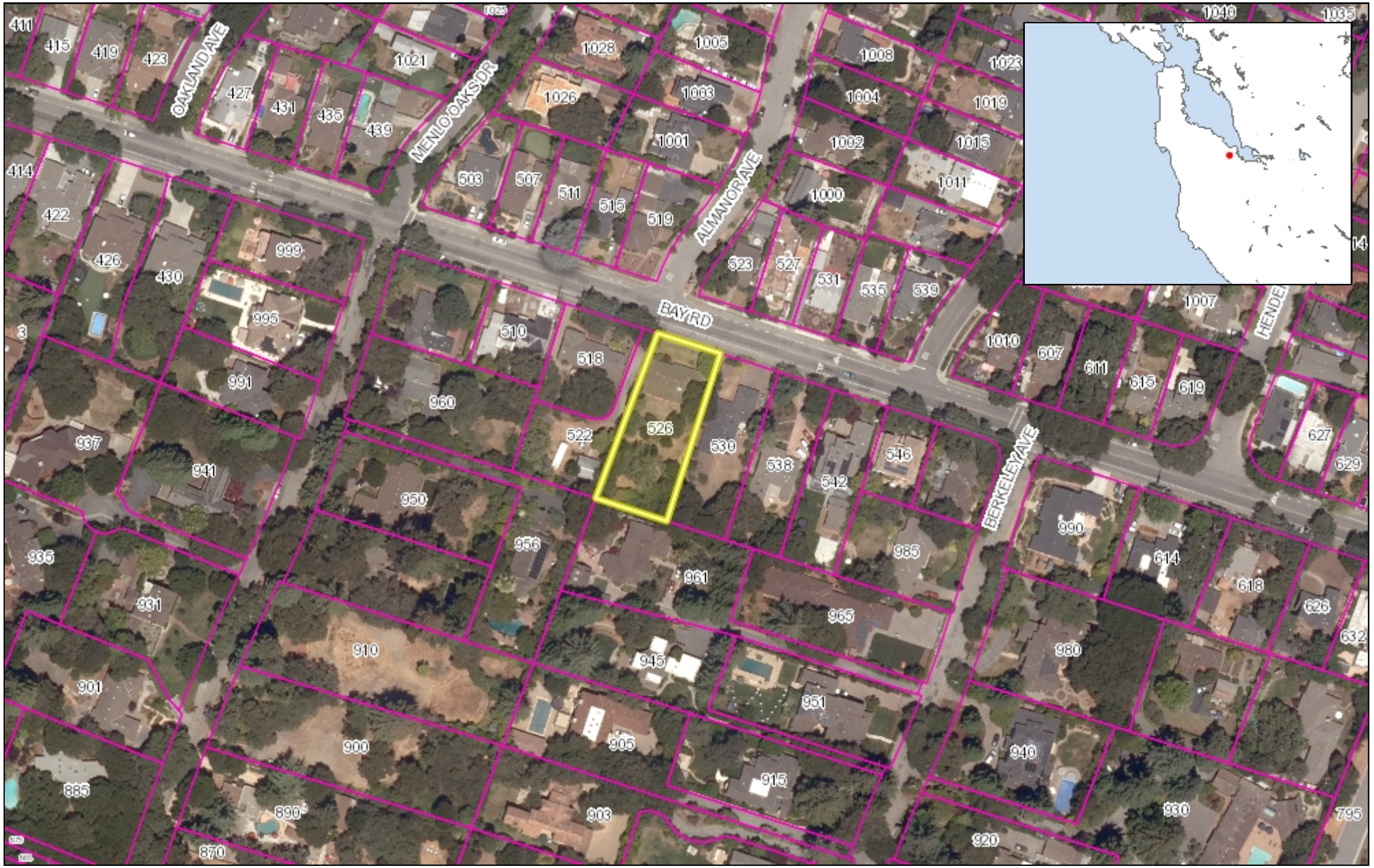
COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B

San Mateo County

PLN2020-00466 - 526 Bay Road



0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

1: 2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

GERARD RESIDENCE

DETACHED ADU

526 BAY ROAD

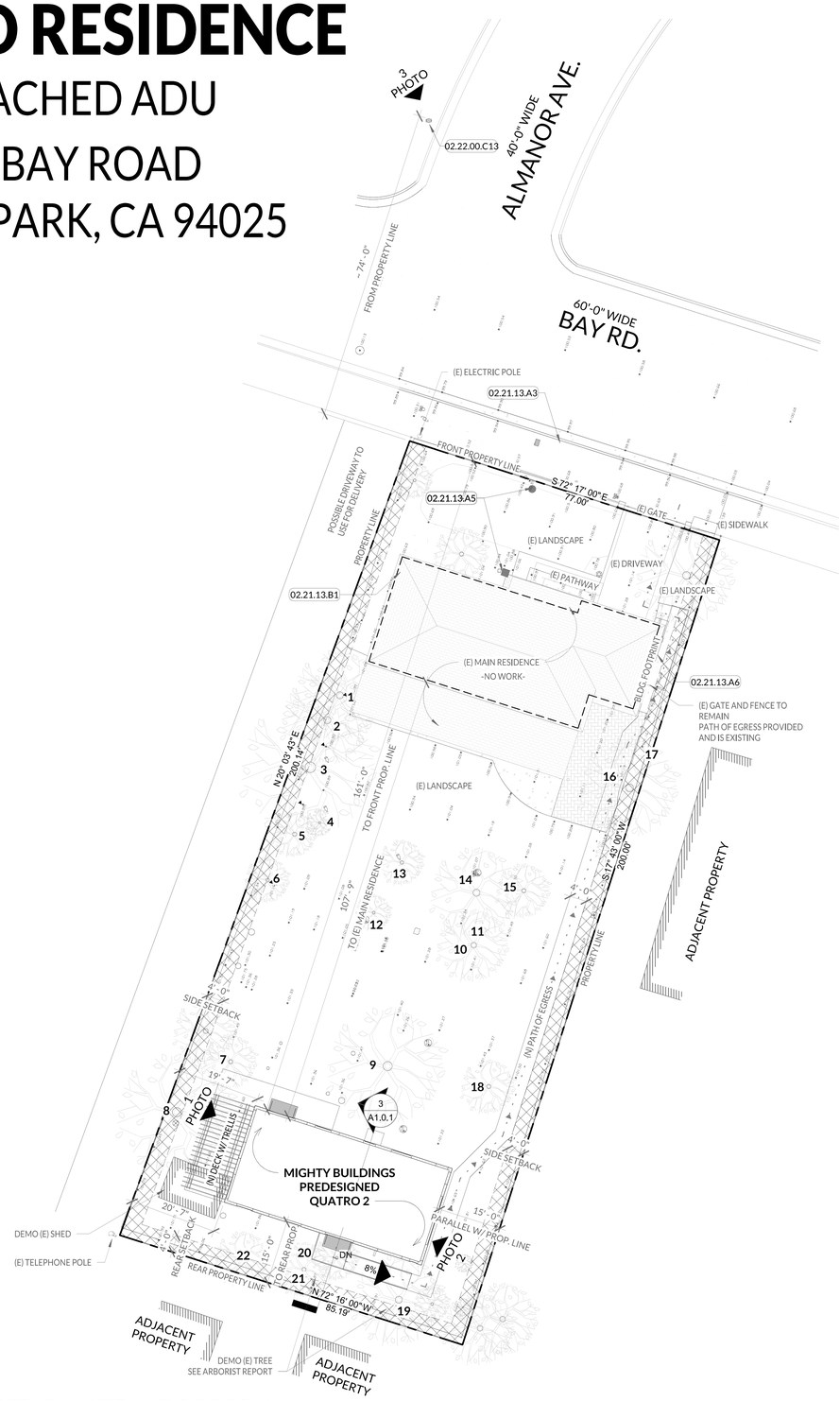
MENLO PARK, CA 94025

ABBREVIATIONS

@	AT	LB. or #	POUND or NUMBER
A.B.	ANCHOR BOLT	LS	LANDSCAPING
ADJ.	ADJUSTABLE	LT.	LIGHT
AFF	ABOVE FINISHED FLOOR	LTWT.	LIGHTWEICH
ALT.	ALTERNATE	LVL.	LEVEL
ALUM.	ALUMINUM	MAX.	MAXIMUM
AMP.	AMPERAGE	MDF	MEDIUM DENSITY FIBERBOARD
APPROX.	APPROXIMATE		
ASTM	AMERICAN SOCIETY of TESTING MATERIALS	MECH.	MECHANICAL
		MFR.	MANUFACTURER
ARCH	ARCHITECTURAL	MIN.	MINIMUM
BFF	BELOW FINISHED FLOOR	MISC.	MISCELLANEOUS
BLDG.	BUILDING	MTL.	METAL
BLKG.	BLOCKING	(N)	NEW
BTM.	BOTTOM	N.E.C.	NATIONAL ELECTRIC CODE
BTWN	BETWEEN	N.G.	NATURAL GRADE
CAB	CABINET	NIC	NOT IN CONTRACT
CALCS.	CALCULATIONS	N.T.S.	NOT TO SCALE
CBC	CALIFORNIA BUILDING CODE	O/	OVER
CJ	CONTROL JOINT	O.C.	ON CENTER
CMC	CALIFORNIA MECHANICAL CODE	O.D.	OUTSIDE DIAMETER
		OPG.	OPENING
CEC	CALIFORNIA ELECTRICAL CODE	OPP.	OPPOSITE
		PERF.	PERFORATED
CCC	CALIFORNIA PLUMBING CODE	P.L.	PROPERTY LINE
		PLYWD.	PLYWOOD
CLG.	CEILING	PR.	PAIR
CL	CENTERLINE	PSI	POUNDS PER SQUARE INCH
CLO.	CLOSET	P.T.	PRESSURE TREATED
CLR.	CLEAR	R.	RISER
C.M.U.	CONCRETE MASONRY UNIT	R.D.	ROOF DRAIN
COL.	COLUMN	REINF.	REINFORCING
CONC.	CONCRETE	RFTR.	RAFTER
CONN.	CONNECTION	RM.	ROOM
CONT.	CONTINUOUS	REQ.	REQUIREMENT
CSMT	CASEMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DBL.	DOUBLE		
DET.	DETAIL	S.E.D.	SEE ELECTRICAL DRAWINGS
DEG.	DEGREE	S.M.D.	SEE MECHANICAL DRAWINGS
DIA.	DIAMETER	S.P.D.	SEE PLUMBING DRAWINGS
DIAPH.	DIAPHRAGM	S.S.D.	SEE STRUCTURAL DRAWINGS
DIM.	DIMENSION	S.C.	SOLID CORE
DN.	DOWN	SCHED.	SCHEDULE
D.S.	DOWNSPOUT	SD	SMOKE DETECTOR
DWG.	DRAWING	SECT.	SECTION
(E)	EXISTING	SF/SQ.FT.	SQUARE FOOT or SQUARE FEET
'E'	EGRESS		
EA.	EACH	SHR.	SHEAR
ELEC.	ELECTRICAL	SHT.	SHEET
ELEV.	ELEVATION	SIM.	SIMILAR
EJ	EXPANSION JOINT	SPEC.	SPECIFICATIONS
EMB.	EMBEDMENT	SQ.IN.	SQUARE INCH
EPS	EXTRUDED POLYSTYRENE FOAM	S.S.	STAINLESS STEEL
		ST.	STRAP
EQ.	EQUAL	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
FDN.	FOUNDATION	STRUCT.	STRUCTURAL
FD	FLOOR DRAING	STO.	STORAGE
F.F.	FINISH FLOOR	S.W.	SHEAR WALL
F.H.	FIRE HYDRANT	SYM.	SYMBOL
F.J.	FLOOR JOIST	TEMP. or 'T'	TEMPERED
FLASH'G	FLASHING	T.J.	TOOLED JOINT
FLR.	FLOOR	T.O.C.	TOP OF CURB or CONCRETE
FLOUR.	FLOURESCENT	T.O.S.	TOP OF SLAB or SHEATHING
F.O.	FACE OF	T.O.W.	TOP OF WALL
F.O.S.	FACE OF STUD	TP	TOP OT PLATE
FR.	FRENCH	TRNSM	TRANSOM
FTG.	FOOTING	T.S.	TUBE STEEL
GA	GUAGE	T&B	TOP AND BOTTOM
GALV.	GALVANIZED	T&G	TONGUE AND GROOVE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TYP.	TYPICAL
		U.B.C.	UNIFORM BUILDING CODE
GLU-LAM	GLUE LAMINATED	U.L.	UNDERWRITERS LABORATORIES
GR.	GRADE		
GSM	GALVANIZED SHEET METAL	U.M.C.	UNIFORM MECHANICAL CODE
G.C.	GENERAL CONTRACTOR		
GYP. BD.	GYPSUM BOARD	UNO	UNLESS NOTED OTHERWISE
H.B.	HOSE BIB	UTIL.	UTILITY
H.C.	HOLLOW CORE	V	VOLTS or VOLTAGE
HD	HOLD DOWN	VERT.	VERTICAL
H.H.	HEAD HEIGHT	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	W/	WITH
HR.	HOUR	W.C.	WATER CLOSET
HT.	HEIGHT	WD.	WOOD
ID	INSIDE DIAMETER	W.H.	WATER HEATER
INCL.	INCLUDE	W.O.	WHERE OCCURS
INFO.	INFORMATION	W.I.	WROUGHT IRON
INSUL.	INSULATION or INSULATED	WP	WEATHER PROOF
INT.	INTERIOR	W.U.I.	WILDLAND URBAN INTERFACE
JST.	JOIST		
LANDSC.	LANDSCAPING	W.W.F.	WELDED WIRE FABRIC
		W.W.M.	WELDED WIRE MESH

SYMBOL LEGEND

- 10'-0 — ELEVATION REFERENCE
- 1 / A101 — SIM — DETAIL REFERENCE — VIEW NUMBER — DETAIL SHEET
- 1 / A101 — SIM — SECTION REFERENCE — VIEW NUMBER — SECTION SHEET
- 1 / A3.1 — ELEVATION REFERENCE — VIEW NUMBER — ELEVATION SHEET
- 4 / A9.1 / 3 — 1 / 2 — INTERIOR ELEVATION REFERENCE — VIEW NUMBER — ELEVATION SHEET
- 1t / 2680 — DOOR TAG - SEE SCHEDULE OR DOOR SIZE (WIDTH HEIGHT)
- 1t / 5040 S.H. — WINDOW TAG - SEE SCHEDULE OR WINDOW SIZE (WIDTH HEIGHT) & OPENING METHOD
- **Room Name** / Floor Finish — ROOM DESIGNATION & FLOOR FINISH
- A — PARTITION REFERENCE
- CENTER LINE
- 'E' — EGRESS WINDOW
- 'T' — TEMPERED GLAZING
- 00.00.00.A1 — KEYNOTE - REF. TO SCHEDULE
- 1 — REVISION TRIANGLE
- 99 — EQUIPMENT TAG - REF. TO SCHEDULE
- 10 — KEY TO REFERENCE NOTES
- X-12 — SCHEDULE TYPE-REF. NO.
- M-12 — SCHEDULED KEYNOTE (MOULDINGS)
- DIMENSION TO FACE OF STUD, CONCRETE, OR MASONRY WALL (U.N.O.)



1 ARCHITECTURAL SITE AND ROOF PLAN

SCALE: 1/16" = 1'-0"

PROJECT DIRECTORY

OWNER:
GERARD FAMILY
526 BAY ROAD
MENLO PARK, CA 94025
PHONE: (669) 258-1495
CONTACT: Damien Gerard
EMAIL:

REPRESENTATIVE:
MIGHTY BUILDINGS
610 85TH AVENUE
OAKLAND, CA 94621
PHONE: (510) 634-5501
CONTACT: Hernan Lauber
EMAIL: hernan@mightybuildings.com

ARCHITECT:
DOMUM
6532 LONETREE BLVD., SUITE 102
ROCKLIN, CA 95765
PHONE: (888) 352-2721
CONTACT: Tim Alatorre
EMAIL: tim@domum.design

ARBORIST:
ARBORWELL
2337 AMERICAN AVE.
HAYWARD, CA 94545
PHONE: 888-969-8733
CONTACT: Neil Woolner
EMAIL: nwoolner@arborwell.com

PROJECT INFORMATION

PROJECT SUMMARY:

A NEW STATE PREAPPROVED (#HCD-21-XX) PRE-MANUFACTURED ACCESSORY DWELLING UNIT (ADU) OF 1,176 SF IS TO BE ADDED ON SITE.

ZONING: R-1/S-90

	EXISTING	PROPOSED
SITE AREA:	16117.2 SF	
OCCUPANCY:	SINGLE FAMILY (R3)	UNCHANGED
CONSTRUCTION TYPE:	V-B	UNCHANGED
FIRE SPRINKLER:	NO	UNCHANGED
NUMBER OF STORIES:	NONE (0)	ONE (1)
BLDG. HEIGHT:	0"	12' - 2"

SITE PHOTOS

PHOTO - 1

PHOTO - 2

PHOTO - 3

SITE AND ROOF PLAN NOTES

02.21.13.A3	(E) WATER METER TO REMAIN
02.21.13.A5	APPROX. LOCATION OF (E) SEWER LINE.
02.21.13.A6	(E) GAS METER AND SERVICE REGULATOR TO REMAIN.
02.21.13.B1	(E) 100A ELECTRICAL PANEL AND METER TO REMAIN
02.22.00.C13	(E) FIRE HYDRANT

FIRE NOTES

- NO NEW GATES, EXISTING GATE AND FENCE TO REMAIN W/PATH OF EGRESS AND ALL GATES TO HAVE KNOX OVERRIDE KEY SWITCH INSTALLED.
- FIRE SPRINKLER & FIRE PROTECTION PLANS: NONE
- GENERATORS: NONE

INDEX OF DRAWINGS

ARCHITECTURAL

STATE INDEX OF DRAWINGS

FOR REFERENCE ONLY. STATE APPROVED HCD# 21-XX

BUILDING AREA

EXISTING BUILDING AREA		PROPOSED BUILDING AREA	
(E) MAIN RESI.	1,170 SF	(E) MAIN RESI.	1,170 SF
TOTAL CONDITIONED SPACE	1,170 SF	(N) ADU	1,176 SF
		TOTAL CONDITIONED SPACE	2,346 SF
COVERED PORCH	661 SF		
GARAGE/STORAGE	386 SF	(E) COVERED PORCH	661 SF
SHED	140 SF	(E) GARAGE	386 SF
	1,187 SF		1,047 SF
TOTAL AREA	2,357 SF	TOTAL AREA	3,393 SF

TOTAL NEW CONDITIONED: 1,176 SF
LOT COVERAGE RATIO 3,000 SF /16117.2 SF = 0.25
FLOOR AREA RATIO 3,000 SF /16117.2 SF = 0.25

APPLICABLE CODES

ALL WORK SHALL FULLY COMPLY WITH BUT NOT BE LIMITED TO:

A. 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
B. 2019 CALIFORNIA BUILDING CODE (CBC)
C. 2019 CALIFORNIA PLUMBING CODE (CPC)
D. 2019 CALIFORNIA MECHANICAL CODE (CMC)
E. 2019 CALIFORNIA ELECTRIC CODE (CEC)
F. 2019 CALIFORNIA FIRE CODE (CFC)
G. 2019 CALIFORNIA REFERENCED STANDARDS CODE
H. 2019 GREEN BUILDINGS STANDARDS CODE (GBC)
I. 2019 CALIFORNIA ENERGY CODE
J. 2019 ENERGY STANDARDS
K. ALL OTHER APPLICABLE CODES AND ORDINANCES (CITY AND COUNTY).

GOVERNING AUTHORITIES AND CODES TAKE PRECIDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATLY.

DEFERRED SUBMITTALS

A. MECHANICAL HVAC SYSTEM DRAWINGS
B. ELECTRICAL POWER DISTRIBUTION DRAWINGS
C. NATURAL GAS DISTRIBUTION DRAWINGS
D. PLUMBING DRAWINGS

NORTH ARROW & SCALE

1/16"=1'-0"

0' 2' 6' 10' 20' 30' 48'

VICINITY MAP

DOMUM
info@domum.design 888-352-ARC1
6532 Lonetree Blvd. Suite 102, Rocklin, CA 95765

526 BAY ROAD
MENLO PARK, CA 94025
APN: 062-160-180

GERARD RESIDENCE
DETACHED ADU

Proj. No: 2020.512

LICENSED ARCHITECT TIMOTHY E. ALATORRE C-32555 STATE OF CALIFORNIA

Issue / Revision Schedule:

No.	Date	Description

COVER SHEET

A0.0.1

23-06-2021 18:23:57

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01.00.00 - GENERAL REQUIREMENTS

01.00.00.A1 CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, AS WELL AS THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL GOVERNING AUTHORITIES, INCLUDING CURRENT EDITIONS OF THE CBC, CMC, CPC, NEC, AND FPA. ALL BIDS SHALL INCLUDE ALL MATERIALS, PRODUCTS, AND PROCEDURES NECESSARY FOR FULL AND COMPLETE INSTALLATION AND FUNCTIONING OF ALL BUILDING COMPONENTS AND SYSTEMS, WHETHER SPECIFIED OR NOT. IN ADDITION, ALL WORK ON THE SITE SHALL FULLY CONFORM WITH ACCEPTABLE INDUSTRY STANDARDS NOTED IN THE SPECIFICATION SECTIONS. CONFLICTS BETWEEN VARIOUS CODES AND STANDARDS SHALL BE BID BASED ON THE MOST STRINGENT REQUIREMENTS.

01.00.00.AA1 CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BID. SUBMITTAL OF BID SHALL BE UNDERSTOOD TO CERTIFY THAT CONTRACTOR HAS EXAMINED THE SITE AND IS FAMILIARIZE WITH EXISTING CONDITIONS ON THE SITE. EXISTING CONDITIONS SHALL NOT BE ACCEPTED AS REASON FOR A CHANGE ORDER UNLESS SUCH CONDITION IS NOT VISIBLE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

01.00.00.B1 CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE REQUIREMENTS OF ALL LOCAL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT SHOULD UNIDENTIFIED CONDITIONS BE DISCOVERED.

01.00.00.BB1 CONTRACTOR SHALL CLEAN THE CONSTRUCTION SITE AT THE END OF EACH WORKING DAY TO BROOM CLEAN CONDITION, AND SHALL PROPERLY DISPOSE OF ALL DEBRIS.

01.00.00.C1 PRODUCTS ARE TO BE INSTALLED AND/OR APPLIED IN FULL ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, A AND INSTALLATION INSTRUCTIONS. AVAILABLE MANUFACTURER'S WARRANTIES WILL BE INITIATED BY THE CONTRACTOR AND DELIVERED TO THE OWNER PRIOR TO FINAL PAYMENT. USE SPECIFICATION GRADE PRODUCTS WHERE REQUIRED FOR A FULL AND COMPLETE INSTALLATION BUT NOT SPECIFIED ON THE PLANS OR IN THESE SPECIFICATIONS.

01.00.00.CC1 IF THE CONTRACTOR DEVIATES FROM THE CONSTRUCTION DOCUMENTS, OR MAKES ASSUMPTIONS ABOUT EXECUTION OF THE WORK WITHOUT CONSULTING THE ARCHITECT OR OWNER, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR THOSE PORTIONS OF THE WORK, AND SHALL BE RESPONSIBLE FOR ANY CHANGES REQUIRED BY THE ARCHITECT TO BRING THE PROJECT INTO COMPLIANCE WITH THE CONTRACT DOCUMENTS.

01.00.00.D1 DELIVER ALL MAINTENANCE MANUALS, PARTS LISTS, AND OPERATING INSTRUCTIONS TO OWNER PRIOR TO FINAL PAYMENT.

01.00.00.E1 THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND CARE AT ALL TIMES IN ALL TRENCHING, EXCAVATING, GRADING, DRILLING OR ANY OTHER OPERATION THAT PENETRATES THE SURFACE OF THE SITE AREA ADJACENT TO THE SITE OR THE PUBLIC RIGHT OF WAY. ANY DAMAGE TO SURROUNDING SITES SHALL BE REPAIRED BY THE CONTRACTOR, AND ALL LIABILITY RESULTING FROM SUCH DAMAGE SHALL BE ASSUMED BY THE CONTRACTOR. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT ALL TEMPORARY OR PERMANENT SHORING, BRACING, PILING, BARRICADES, FOUNDATIONS UNDERPINNING, AND/OR EXTENSIONS, ETC., AS REQUIRED TO PROTECT EXISTING IMPROVEMENTS, (INCLUDING POWER POLES, UTILITIES, STREETS, ALLEYS, SIDEWALKS, CURBS, ETC.) FROM DAMAGE, SETTLEMENTS, ETC., DURING AND AFTER CONSTRUCTION ACTIVITIES. THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE, THEREFORE, THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING DURING CONSTRUCTION.

01.00.00.F1 CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE STARTING WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

01.00.00.G1 DRAWINGS ARE NOT INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND PROCEDURES REQUIRED FOR THE PERFORMANCE OF HIS WORK IN, ON, OR ABOUT THE JOB SITE.

01.00.00.H1 DETAILS NOTED AS 'TYPICAL' SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.

01.00.00.J1 WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.

01.00.00.K1 IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.

01.00.00.L1 WORK NOT INCLUDED IN CONTRACT: ITEMS DESIGNATED AS N.I.C. OR 'BY OWNER' SHALL BE EXCLUDED FROM THIS CONTRACT. ALL OTHER LABOR AND MATERIALS REQUIRED BY THESE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

01.00.00.M1 THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR JOB SITE CONDITIONS OR COMPLIANCE WITH SAFETY REGULATIONS GOVERNING WORK PERFORMED ON THIS PROJECT. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

01.00.00.N1 UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE ARCHITECT. AN EXCEPTION IS AS ALLOWED BY THE UBC FOR SOLID WOOD FRAMING

01.00.00.P1 FOR ALL OMISSIONS AND IN ALL CASES WHERE A CONFLICT MAY OCCUR, SUCH AS BETWEEN NOTES ON A DRAWING AND THE SPECIFICATIONS, THE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO BIDDING. THE ARCHITECT WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS, AND THE RESULTING ADDITIONAL COSTS OR CREDITS SHALL BE INCLUDED IN GENERAL CONTRACTORS BASE BID. IN THE EVENT THAT THIS REQUIREMENT IS NOT ADHERED TO, ADDITIONAL CHARGES DURING THE CONSTRUCTION PHASE WILL NOT BE CONSIDERED BY THE OWNER OR ARCHITECT. SUB-CONTRACTOR'S FAILURE DURING THE BID PHASE TO BRING DISCREPANCIES OR UNAVAILABILITY OF PROPRIETARY PRODUCTS TO THE GENERAL CONTRACTOR'S ATTENTION WILL NOT BE CONSIDERED BY OWNER OR ARCHITECT AS AN APPROPRIATE REASON FOR ADDITIONAL COMPENSATION.

01.00.00.Q1 IN HANDLING AND STORING PRODUCTS ON SITE, CONTRACTOR SHALL:
(A) TRANSPORT, DELIVER, HANDLE, AND STORE MATERIALS AND EQUIPMENT AT THE PROJECT SITE IN SUCH A MANNER AS TO PREVENT THE INTRUSION OF FOREIGN MATTER OR MOISTURE AND TO PREVENT DAMAGE.
(B) PACKAGING: PROVIDE PACKAGED MATERIAL IN MANUFACTURERS ORIGINAL CONTAINERS WITH SEALS UNBROKEN AND LABELS INTACT UNTIL INCORPORATED INTO THE WORK.
(C) REMOVE ALL DAMAGED, BLEMISHED, OR OTHERWISE UNSUITABLE MATERIAL AND EQUIPMENT PROMPTLY FROM PROJECT SITE.
(D) ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON PREMISES.

01.00.00.R1 IN USING AN 'OR EQUAL' PRODUCT INSTEAD OF THAT SPECIFIED, THE CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE ARCHITECT FOR THE SUBSTITUTED PRODUCT. IN ADDITION, THE CONTRACTOR CERTIFIES:
(A) HE HAS PERSONALLY INVESTIGATED PROPOSED PRODUCT OR METHOD AND DETERMINED THAT IT IS EQUAL OR SUPERIOR IN ALL RESPECTS TO THAT SPECIFIED.
(B) THE SUBSTITUTE MANUFACTURER WILL PROVIDE THE SAME GUARANTEE AND WARRANTY AS FOR THE PRODUCT SPECIFIED.
(C) HE WILL COORDINATE INSTALLATION OF THE SUBSTITUTION INTO WORK, MAKING SUCH CHANGES AS MAY BE REQUIRED FOR WORK TO BE COMPLETE IN ALL RESPECTS.
(D) HE WAIVES ALL CLAIMS FOR ADDITIONAL COST RELATED TO SUBSTITUTION WHICH SUBSEQUENTLY BECOMES APPARENT.
(E) PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY AVAILABILITY OF ALL MATERIALS AND POSSIBLE DELAYS OF DELIVERY DUE TO NECESSARY FILED MEASUREMENTS, ETC.. CONTRACTOR'S FAILURE TO PLACE MATERIAL ORDERS, OR HIS FAILURE TO LET SUB-CONTRACTS IN A TIMELY MANNER IN ORDER TO OBTAIN THE SPECIFIED PRODUCTS ON TIME, WILL NOT BE CONSIDERED AS AN APPROPRIATE REASON IN CASE OF A REQUEST FOR MATERIAL SUBSTITUTION.
(F) COLORS, FINISHES, ETC. MATCH THAT OF THE SPECIFIED PRODUCT.

01.00.00.S1 ALL PERMITS, FEES AND INSPECTIONS SHALL BE PAID BY THE CONTRACTOR, UNLESS A WRITTEN ARRANGEMENT OTHERWISE IS MADE WITH THE OWNER PRIOR TO RECEIPT OF BIDS.

01.00.00.T1 PROJECT RECORD DOCUMENTS:
(A) PROMPTLY FOLLOWING AWARD OF THE CONTRACT, SECURE FROM THE OWNER, AT NO COST TO THE CONTRACTOR, ONE COMPLETE SET OF THE CONTRACT DOCUMENTS, TO BE USED ONLY AS THE "JOB RECORD SET".
(B) THROUGHOUT PROGRESS OF THE WORK, MAINTAIN AN ACCURATE RECORD OF CHANGES IN THE CONTRACT DOCUMENTS. DO NOT USE THE JOB RECORD SET FOR ANY PURPOSE OTHER THAN TO RECORD CHANGES OCCURRING IN THE CONTRACT DOCUMENTS DURING PROGRESS OF THE WORK.
(C) UPON COMPLETION OF THE WORK, AND AS A CONDITION OF ITS ACCEPTANCE, DELIVER THE PROPERLY ANNOTATED JOB RECORD SET TO THE OWNER.

01.00.00.U1 DEMOLITION: PAY REQUIRED FEES, SECURE REQUIRED PERMITS, DEMOLISH, AND COMPLETELY AND APPROPRIATELY DISPOSE OF ALL SPECIFIED ELEMENTS OF EXISTING BUILDINGS AS SHOWN ON DRAWINGS AT A LEGAL DISPOSAL SITE. EXECUTE DUST CONTROL MEASURES AS REQUIRED BY LOCAL AUTHORITIES. COMPLETELY REPAIR/REPLACE ANY SITE FEATURE, SURFACE, OR STRUCTURE DAMAGED DURING DEMOLITION AT NO COST TO THE OWNER AND TO THE SATISFACTION OF THE ARCHITECT.

01.00.00.V1 EXCEPT AS OTHERWISE SPECIFIED, ALL WORK UNDER THIS CONTRACT SHALL BE GUARANTEED FOR (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE JOB.

01.00.00.W1 THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND REMOVE ALL TEMPORARY LIGHT, POWER, AND WATER, INCLUDING PIPING, WIRING, LAMPS AND OTHER EQUIPMENT NECESSARY FOR THE WORK. THE CONTRACTOR SHALL NOT DRAW WATER FROM ANY FIRE HYDRANT, EXCEPT TO EXTINGUISH A FIRE WITHOUT FIRST OBTAINING A PERMISSION FROM THE WATER COMPANY CONCERNED.

01.00.00.X1 THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ENCLOSED TOILETS FOR THE USE OF EMPLOYEES ENGAGED IN THE WORK. THESE ACCOMMODATIONS SHALL BE MAINTAINED IN NEAT AND SANITARY CONDITION AND SHALL ALSO COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS.

01.00.00.Y1 THE CONTRACTOR SHALL KEEP AT THE WORK SITE A COPY OF THE PLANS AND SPECIFICATIONS, TO WHICH THE ARCHITECT SHALL HAVE ACCESS AT ALL TIMES.

01.00.00.Z1 THE PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS WILL GOVERN THE WORK. ANYTHING IN THE SPECIFICATIONS AND NOT ON THE PLANS, OR ON THE PLANS AND NOT IN THE SPECIFICATIONS SHALL BE AS THOUGH MENTIONED IN BOTH.

02.00.00 - EXISTING CONDITIONS

02.00.00.A1 PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO PERFORM ALL WORK IN CONNECTION WITH THE DEMOLITION AND CLEARANCE OF THE SITE OR STRUCTURE AS INDICATED ON THE PLANS.

02.00.00.A2 AT ALL AREAS TO RECEIVE CONCRETE, OR AS NOTED ON THE PLANS, REMOVE ALL GRASS OR ORGANIC GROWTH TO NATURAL GRADE AND TREAT WITH APPROVED WEED KILLER. GUARANTEE NO WEED GROWTH FOR ONE YEAR AFTER APPLICATION.

03.00.00 - CONCRETE

03.00.00.A1 THE PROVISIONS OF THE "GENERAL CONDITIONS" ARE HEREBY INCORPORATED TO FORM A PART OF THE DIVISION. IF ANY DISCREPANCY BETWEEN THOSE SPECIFICATIONS AND THE STRUCTURAL PLANS EXIST, THE STRUCTURAL PLANS SHALL TAKE PRECEDENCE.

03.00.00.A2 THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT, LABOR, MATERIALS, TOOLS, TRANSPORTATION AND SERVICES REQUIRED TO PERFORM AND COMPLETE ALL CONCRETE AND CEMENT FINISH NECESSARY AND INCIDENTAL TO THE WORK AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.

03.00.00.A3 ALL CONCRETE WILL BE PROTECTED FROM WEATHER A WATER DAMAGE DURING POURING AND FINISHING.

03.00.00.A4 MATERIALS SHALL BE NEW AND SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

A) REINFORCING BARS - SHALL BE AS SHOWN AND DESCRIBED ON THE STRUCTURAL ENGINEERING DRAWINGS.

B) MESH - SHALL BE AN APPROVED MAKE OF ELECTRICALLY-WELDED WIRE MESH OF SIZES CALLED FOR ON DRAWINGS. A.S.T. M. DESIGNATION A- 185.

C) WATER - WATER REQUIRED FOR ALL PURPOSES SHALL BE CLEAN, FREE FROM STRONG ACIDS, ALKALI, OIL OR ORGANIC MATERIALS & WILL BE SUPPLIED BY THE CONTRACTOR.

D) EXPANSION JOINT MATERIAL - SHALL BE ASPHALT MASTIC STRIPS (PREFORMED) COMPOSED OF CANE FIBER OF CELLULAR NATURE, OR OTHER SUITABLE AND APPROVED FIBER IMPREGNATED WITH A DURABLE ASPHALTIC COMPOUND. THICKNESS THROUGHOUT TO BE 112" OR AS SHOWN ON THE STRUCTURAL ENGINEERING DRAWINGS.

E) VAPOR BARRIER - SHALL BE 6 MIL. POLYETHYLENE MEMBRANE OR EQUAL. VAPOR BARRIER SHALL BE USED OVER GRAVEL OR SAND FULL UNDER SLAB. FILM SHALL BE PURCHASED IN 8'-0" OR WIDER ROLLS.

F) GRAVEL FILL - SHALL BE CLEAN, WASHED GRAVEL 3/4-TO 112" IN SIZE, OR CRUSHED STONE OF SAME SIZE, AND SHALL BE PLACED UNDER ALL SLABS WHERE INDICATED ON PLANS, AT LEAST 2" DEEP OR AS SHOWN ON STRUCTURAL ENGINEERING DRAWINGS.

G) ANCHOR BOLTS - AT WALLS U.N.O. ON PLANS SHALL BE 5/8"- DIA. X 10" LONG SPACED WITH FLAT SQUARE WASHIER AT 6'-0" O.C. FOR SINGLE STORY STRUCTURES AND 4'-0" O.C. FOR 2-STORY STRUCTURES, WITH AT LEAST 2 BOLTS PER SILL PLATE MEMBER AND BOLTS A MAXIMUM OF 12- FROM CORNERS. EMBED BOLTS A MM. OF 7" INTO CONCRETE.

03.00.00.A5 PRIOR TO VAPOR BARRIER, SUB-GRADE SHALL BE SMOOTH AND ROLLED TO PREVENT PROTRUSIONS WHICH MAY CAUSE DAMAGE TO BARRIER. VAPOR BARRIER SHALL BE LAPPED NOT LESS THAN 6" WITH TOP LAP PLACED IN SAME DIRECTION CONCRETE IS TO BE SPREAD. USE UNDER ALL SLABS RESTING ON GRAVEL FILL. RUN CONTINUOUS AS MUCH AS POSSIBLE. WORKMEN SHALL AVOID WALKING ON FILM BEFORE SLABS ARE POURED.

03.00.00.A6 REINFORCEMENT SHALL BE AS INDICATED ON THE STRUCTURAL ENGINEERING DRAWINGS.

03.00.00.A7 REINFORCING BARS SHALL BE COVERED BY CONCRETE BY THE FOLLOWING MINIMUM AMOUNTS:
A) 3" AT FOOTINGS.
B) 3/4" AT SLABS NOT EXPOSED TO WEATHER.
C) 1-1/2" AT SLABS EXPOSED TO WEATHER.

03.00.00.A8 REINFORCING MESH SHALL BE LAPPED ONE BAY MINIMUM WITH WIRE TIES @ 48" O.C.

03.00.00.A9 CONCRETE SHALL BE AS INDICATED ON THE STRUCTURAL ENGINEERING DRAWINGS, AND SHALL ATTAIN A MINIMUM COMPRESSIVE OF 2000 PSI AT 28 DAYS U.N.O.

03.00.00.A10 THE AMOUNT OF WATER SHALL NOT EXCEED 7-112 GALLONS PER SACK OF CEMENT.

03.00.00.A11 THE AMOUNT OF COMBINED FINE AND COARSE AGGREGATE SHALL BE 1:112" AND SHALL CONFORM TO U.B.C. STANDARD NO.26-2 OR 26-3. MAXIMUM SIZE USED IN A PARTICULAR LOCATION SHALL BE SUCH AS TO PRODUCE DENSE UNIFORM CONCRETE FREE FROM IRREGULARITIES

03.00.00.A12 READY-MIXED CONCRETE SHALL COMPLY WITH ASTM DESIGNATION C-94-48.

03.00.00.A13 LIGHT-WEIGHT CONCRETE SHALL NOT BE DELIVERED TO THE WORK SITE WITH THE TOTAL SPECIFIED AMOUNT OF WATER INCORPORATED THEREIN. MIXING TIME SHALL BE AT LEAST FIVE (5) MINUTES AT THE JOB SITE AFTER ALL WATER HAS BEEN ADDED. READY-MIXED CONCRETE SHALL BE REJECTED IF NOT PLACED WITHIN NINETY MINUTES AFTER WATER HAS BEEN ADDED.

03.00.00.A14 FORMS CONTAINING CONCRETE, TOP OF CONCRETE WALLS BETWEEN FORMS, AND ALL EXPOSED CONCRETE SURFACES AFTER FORMS HAVE BEEN REMOVED SHALL BE PROPERLY CURED USING EITHER CURING COMPOUND WITH 2 COATS OR MAINTAINED IN A THOROUGHLY WET CONDITION FOR NOT LESS THAN 24 HOURS AND MOIST FOR NOT LESS THAN 7 DAYS AFTER PLACING OF CONCRETE, OR AS DIRECTED BY THE ARCHITECT.

03.00.00.A15 FOOTINGS AND SLABS SHALL REST ON FIRM NATURAL SOIL OR COMPACTED FILL.

03.00.00.A16 BEFORE POURING FOOTINGS, SEE THAT BOTTOMS OF EXCAVATIONS ARE PROPERLY LEVELED AND TAMPED. BEFORE POURING CONCRETE SLABS, BE SURE THAT TERMITE POISONING HAS BEEN APPLIED, REINFORCING IS AS SPECIFIED, & COLUMN FOOTINGS HAVE BEEN PROPERLY LOCATED AND POURED.

03.00.00.A17 CONCRETE SHALL BE DELIVERED TO THE POINT OF POURING DIRECTLY FROM TROUGHS OF TRUCKS OR BY CARTS, AND SHALL NOT BE DUMPED INTO CARTS OR FORMS WITH A FALL OF MORE THAN SIX (6) FEET.

03.00.00.A18 TAMP FRESHLY POURED CONCRETE INTO PLACE WITH STEEL RAMMER UNTIL CONCRETE IS THOROUGHLY COMPACT AND WITHOUT VOIDS. SCREED SLABS TO TRUE PLANES, LINES, AND GRADES.

03.00.00.A19 CONCRETE SLABS SHALL BE FINISHED AS FOLLOWS:
A) FLOORS- METAL TROWEL FINISH U.N.O.
B) RAMPS & WALKS - BROOM FINISH OR AS NOTED ON THE PLANS (REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION)

03.00.00.A20 FLOATING AND TROWELING -- WHEN SLABS HAVE HARDENED SUFFICIENTLY THEY SHALL BE FLOATED TO A COMPACT & SMOOTH SURFACE, WITH NO COARSE AGGREGATE VISIBLE. METAL TROWEL SLABS MAY BE FINISHED BY HAND METAL TROWELING OR BY MACHINE TROWELING. AFTER LEVELING AND COMPACTING THE SURFACE SHALL BE THOROUGHLY TROWELED BY EITHER HAND STEEL TROWEL OR BY A MOTOR DRIVE ROTARY TROWEL. THE FINAL TROWELING SHALL BE FOR THE PURPOSE OF BURNISHING & SHALL BE PERFORMED SUFFICIENTLY LATE SO THAT A SHEEN WILL SHOW ON THE SURFACE. HAND TROWELING OR MACHINE TROWELING OPERATIONS SHALL LEAVE A SMOOTH, HARD, IMPERVIOUS EVEN SURFACE, WITH NO TROWEL MARKS.

03.00.00.A21 EDGES OF EXPOSED SLABS SHALL BE FINISHED WITH A ROUNDED EDGING TOOL, LEAVING THE EXPOSED CORNERS SLIGHTLY ROUNDED & CLEAN CUT, FREE FROM BURRS AND OBSTRUCTIONS.

03.00.00.A22 IF ANY CONCRETE WORK IS NOT FORMED AS INDICATED; OR IS NOT TRUE TO INTENDED ALIGNMENT; OR IS NOT PLUMB OR LEVEL WHERE SO INTENDED; OR IS NOT TRUE TO INTENDED GRADES AND LEVELS; OR HAS VOIDS, HONEYCOMB THAT HAS BEEN FILLED, UNLESS UNDER THE DIRECTION OF THE OWNER; OR HAS ANY SAWDUST, SHAVING, WOOD OR DEBRIS EMBEDDED IN IT; OR DOES NOT FULLY CONFORM TO THE SPECIFICATION, THEN SUCH CONCRETE SHALL BE DEEMED DEFECTIVE AND SHALL BE REMOVED FROM THE SITE AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.

07.60.00 - FLASHING AND SHEET METAL

07.60.00.A8 PROVIDE FOR THERMAL EXPANSION AND CONTRACTION, AND BUILDING MOVEMENT IN COMPLETED WORK, WITHOUT OVER STRESSING THE MATERIAL, BREAKING CONNECTIONS OR PRODUCING WRINKLES AND DISTORTION IN FINISHED SURFACES.

07.60.00.A10 SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

07.80.00 - FIRE AND SMOKE PROTECTION

07.80.00.A1 LIMITED OCCUPANCY SEPARATION FROM (U-1) GARAGE TO (R-3) ONE OR TWO FAMILY DWELLING UNITS

07.92.00 - JOINT SEALANTS

07.92.00.A4 SEALANT AND CAULKING SHALL BE 'DOW CORNING' 799 SILICONE GLASS & METAL BUILDING SEALANT OR ARCHITECT APPROVED EQUAL. PRIME SURFACES WHERE REQUIRED BY MANUFACTURER. COLOR: CLEAR.

07.92.00.A5 WARRANT SEALANT & CAULKING AGAINST ALL DEFECTS OF MATERIAL AND APPLICATION FOR A PERIOD OF FIVE YEARS AFTER DATE OF SUBSTANTIAL COMPLETION.

09.91.00 - PAINTING

09.91.00.A1 THE NUMBER OF COATS SPECIFIED IS THE MINIMUM NUMBER ACCEPTABLE, IF FULL COVERAGE IS NOT OBTAINED WITH THE SPECIFIED NUMBER OF COATS, APPLY SUCH ADDITIONAL COATS AS ARE NECESSARY TO PRODUCE THE REQUIRED FINISH, AT NO EXTRA COST TO THE OWNER.

09.91.00.A2 DELIVER MATERIALS TO THE PROJECT SITE IN UNOPENED CONTAINERS BEARING MANUFACTURER'S NAME AND PRODUCT DESCRIPTIONS CORRESPONDING TO DESIGNATION NO MATERIAL LIST.

09.91.00.A3 STORE MATERIALS IN A DRY, CLEAN, WELL VENTILATED AREA. STORE CONTAINERS CLOSED. COMPLY WITH LEGAL REQUIREMENTS.

09.91.00.A4 ALL MATERIALS USED MUST COMPLY WITH LOCAL AIR POLLUTION CONTROL DISTRICT REGULATIONS AN FEDERAL LEAD CONTENT LAWS.

09.91.00.A5 ENVIRONMENTAL REQUIREMENTS:
1. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR ENVIRONMENTAL CONDITIONS UNDER WHICH COATINGS AND COATING SYSTEMS CAN BE APPLIED.
2. DO NOT APPLY FINISH IN AREAS WHERE DUST IS BEING GENERATED.
3. ENSURE ADEQUATE VENTILATION DURING ALL INTERIOR PAINTING.
4. APPLY NO PAINT IN RAIN, FOG, OR MIST OR WHEN TEMPERATURE IS BELOW THAT RECOMMENDED BY PAINT MANUFACTURER.

09.91.00.A6 SURFACES TO RECEIVE PAINT SHALL BE CLEAN, DRY, SMOOTH AND DUST FREE BEFORE APPLICATION OF ANY MATERIAL.

09.91.00.A7 WOOD: SAND SMOOTH AND REMOVE DUST. FILL OPEN JOINTS, CRACKS, NAIL HOLES, AND OTHER PITS OR DEPRESSIONS FLUSH AND SMOOTH WITH PUTTY TO MATCH PAINT FINISH. TOUCH UP KNOTS AND SAP STREAKS WITH SHELLAC OR OTHER ACCEPTABLE SEALER BEFORE PRIMING.

09.91.00.A8 PROTECT OR REMOVE HARDWARE AS REQUIRED TO PREVENT HARDWARE SURFACES FROM RECEIVING PAINT.

09.91.00.A12 TOUCH UP AND RESTORE FINISH WHERE DAMAGED. TOUCH UP ABRADED, STAINED OR OTHERWISE DISFIGURED PORTION OR REFINISH AS NECESSARY TO PRODUCE AN ACCEPTABLE JOB. DO NOT MAR SURFACE FINISH OF ITEMS BEING CLEANED.

09.91.00.A13 REMOVE SPILLED, SPLASHED, OR SPLATTERED PAINT FROM ALL FINISHED SURFACES AND FLOORS.

09.91.00.A14 SCRAPE, SANDBLAST, WIRE BRUSH OR WATER BLAST SURFACES AS NEEDED TO REMOVE CRACKED, PEELING, OR BUBBLING PAINT PRIOR TO NEW APPLICATION. CHECK WITH ARCHITECT BEFORE SANDBLASTING OR WATER BLASTING ANY SURFACE.

22.34.00 - FUEL-FIRED DOMESTIC WATER HEATERS

22.34.00.A1 PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.P.C. 507.

22.34.00.A3 PROVIDED WATER HEATER WITH COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE AND A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. w/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER CPC. 608.3 & 608.5

22.34.00.A4 PROVIDE PIPE BOLLARD PER PLAN PER CMC 308 AND CPC 508.14(2).

26.00.00 - ELECTRICAL

26.00.00.A1 ACCEPTABLE INDUSTRY STANDARDS:
° NATIONAL ELECTRICAL COUNCIL

26.10.00 - MEDIUM-VOLTAGE ELECTRICAL DISTRIBUTION

26.10.00.A1 THESE DRAWINGS ARE FOR SCHEMATIC LAYOUT PURPOSES ONLY; REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS UNDER SEPARATE PERMIT FOR CIRCUITING, PANEL SCHEDULES, TYPICAL DETAILS, SPECIAL REQUIREMENTS ETC. ALL ELECTRICAL WORK SHALL BE PROVIDED AS SHOWN ON DRAWINGS AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.

26.10.00.A13 ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO COMPLY WITH THE SPECIFIC MANUFACTURERS REQUIREMENTS.

26.10.00.A14 SEE ELECTRICAL DESIGN-BUILD DRAWINGS FOR TYPES AND MANUFACTURERS' SPECIFICATIONS FOR ALL ELECTRICAL COMPONENTS: FIXTURES, PANEL BOXES, RISERS, CIRCUITING, ETC.

26.10.00.A15 CONTRACTOR SHALL COORDINATE ANY ELECTRICAL WORK WHICH REQUIRES INTERRUPTION OF POWER TO ANY AREA NOT WITHIN THE SCOPE OF WORK FOR THIS PROJECT WITH THE BUILDING ENGINEER AND PROPERTY MANAGER PRIOR TO INTERRUPTION. NO POWER SHALL BE INTERRUPTED DURING NORMAL BUSINESS HOURS.

26.50.00 - LIGHTING

26.50.00.A1 THIS LIGHTING DESIGN SHALL CONFORM TO THE STATE OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, CALIFORNIA ENERGY CONSERVATION LIGHTING STANDARDS FOR NEW NON-RESIDENTIAL BUILDINGS, SEE LIGHTING COMPLIANCE FORMS ON ELECTRICAL DESIGN-BUILD CONSTRUCTION DRAWINGS.

26.50.00.A2 ARCHITECTURAL DRAWING SHALL SHOW LIGHT FIXTURE AND SWITCHING LOCATION ONLY. ANY CONFLICTS SHALL BE CLARIFIED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. COORDINATE WITH ALL TRADES INVOLVED.

26.56.00 - EXTERIOR LIGHTING

26.56.00.A1 INSTALL ALL DOWNLIGHT AND WALLWASH LIGHT FIXTURES IN THE CENTERS OF STUCCO SOFFITS, UNLESS OTHERWISE INDICATED. INSTALL ALL DOWNLIGHTS AS DIMENSIONED. REVIEW ALL CONFLICTS WITH ARCHITECT IN FIELD.

27.00.00 - COMMUNICATIONS

27.50.00.A1 MAIN TELECOMUNICATION POINT OF ENTRY (MPOE) - PROVIDE RECESSED WEATHER TIGHT ENCLOSURE, ADJACENT TO MAIN ELECTRICAL PANEL AT THE EXTERIOR OF THE BUILDING. PROVIDE AN INTERSYSTEM BONDING TERMINIATION WITH A SET OF TERMINIALS WITH THE CAPACITY FOR THE CONNECTION OF NOT LESS THAN THREE COMMUNICATION SYSTEM BONDING CONDUCTORS. PROVIDE MINIMUM 1" PVC CONDUITS FROM THE MPOE TO THE PUBLIC UTILITY OR AS REQUIRED BY THE UTILITY.

31.00.00 - EARTHWORK

31.00.00.A1 ANY CAVITIES LEFT BY SITE CLEARANCE SHALL BE BACKFIELD AND COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY.

31.00.00.A2 VERIFY ALL DIMENSIONS AND LEVELS IN RELATION TO REPORTED EXISTING ELEVATIONS, GRADES, AND CONTOURS.

31.00.00.A3 FILL AND BACKFILL SHALL BE PLACED IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH, AND COMPACTED TO REQUIRED DENSITY.

31.00.00.A4 IMPLIMENT AN EROSION CONTROL PLAN FOR THE DURATION OF CONSTRUCTION. USE INDUSTRY ACCEPTED METHODS AND COMPLY WITH ALL LOCAL REQUIREMENTS.

33.00.00 - UTILITIES

33.00.00.A1 UTILITIES ARE TO BE INSTALLED AT LOCATIONS SHOWN ON THE DRAWINGS. LOCATE AND PROTECT EXISTING UTILITIES THROUGHOUT CONSTRUCTION.

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GERARD RESIDENCE
DETACHED ADU

526 BAY ROAD
MENLO PARK, CA 94025
APN: 062-160-180

Proj. No: 2020.512

Issue / Revision Schedule:

No.	Date	Description

GENERAL CONDITIONS

A0.1.1

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

AIA California

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD	Department of Housing and Community Development
BSC	California Building Standards Commission
DSA-SS	Division of the State Architect, Structural Safety
OSHPD	Office of Statewide Health Planning and Development
LR	Low Rise
HR	High Rise
AA	Additions and Alterations
N	New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN
SECTION 4.102 DEFINITIONS

4.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions:
1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:
   1.1 Where there is no commercial power supply.
   1.2 Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than $400.00 per dwelling unit.
2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

Notes:
1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the *California Building Code,* Chapter 11A, to allow use of the EV charger from the accessible parking space.
2. The EV space shall be located on an accessible route, as defined in the *California Building Code,* Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the *California Building Code*, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.

Note: Electric Vehicle charging stations serving public housing are required to comply with the *California Building Code*, Chapter 11B.

4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).
2. The minimum width of each EV space shall be 9 feet (2743 mm).
3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).
   a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and *electrical load calculations* to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the *California Electrical Code*.

4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

Notes:

1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.
2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TABLE 4.106.4.3.1

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486mm).
2. The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3.

4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5.

4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the *California Building Code*, Chapter 11B.

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table 1701.1 of the *California Plumbing Code*.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND
IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

NOTES:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the *California Code Regulations*, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

Exceptions:

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material collected will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5. Section 4.408.3 or Section 4.408.4..

Notes.

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.
2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
   a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
   b. Roof and yard drainage, including gutters and downspouts.
   c. Space conditioning systems, including condensers and air filters.
   d. Landscape irrigation systems.
   e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of this section.

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

4.501.1 Scope
The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS

5.102.1 DEFINITIONS
The following terms are defined in Chapter 2 *(and are included here for reference)*

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1.

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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Proj. No: 2020.512

LICENSED ARCHITECT
TIMOTHY E. ALATORRE
C-32555
STATE OF CALIFORNIA

Issue / Revision Schedule:
No. Date Description

2019 CALGREEN COMPLIANCE

A0.2.1

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2020, Includes August 2019 Supplement)

AIA California

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O^3/g ROC).
Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).
Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503 FIREPLACES
4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of *California Code of Regulations*, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of *California Code of Regulations*, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT[1,2]
(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[2,3]
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).
4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
5. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL
4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter.Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
   a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.
   b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

4.507 ENVIRONMENTAL COMFORT
4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

Notes:
1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.
2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS
703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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DETACHED ADU
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APN: 062-160-180

Proj. No: 2020.512

LICENSED ARCHITECT TIMOTHY E. ALATORRE C-32555 STATE OF CALIFORNIA

Issue / Revision Schedule:
No. Date Description

2019 CALGREEN COMPLIANCE

A0.2.2

23-06-2021 18:24:02

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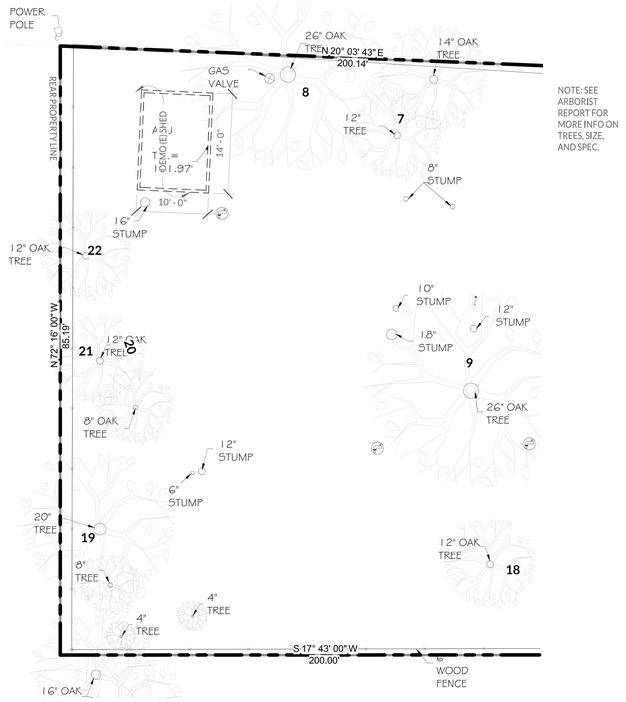
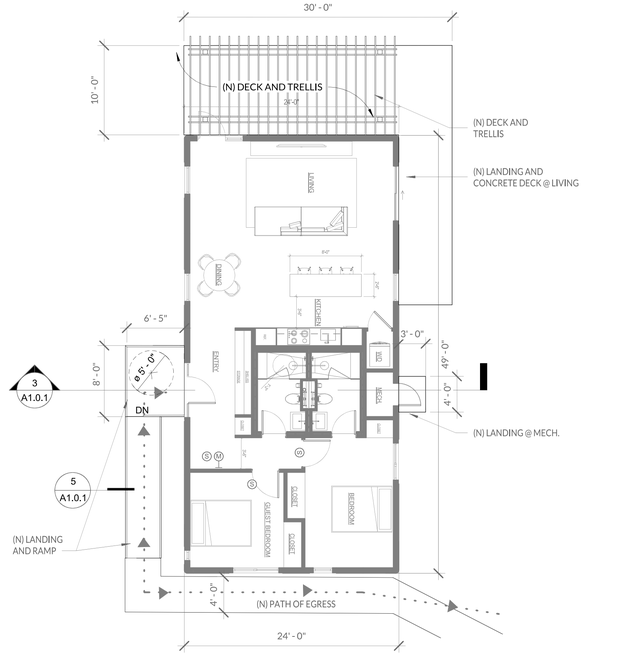


4 DEMOLITION PLAN

SCALE: 1" = 10'-0"

1"=10'-0"

0' 1' 3' 5' 10' 20' 30'



2 ADU - PARTITION PLAN

FOR REFERENCE ONLY, STATE APPROVED HCD# 21-XX

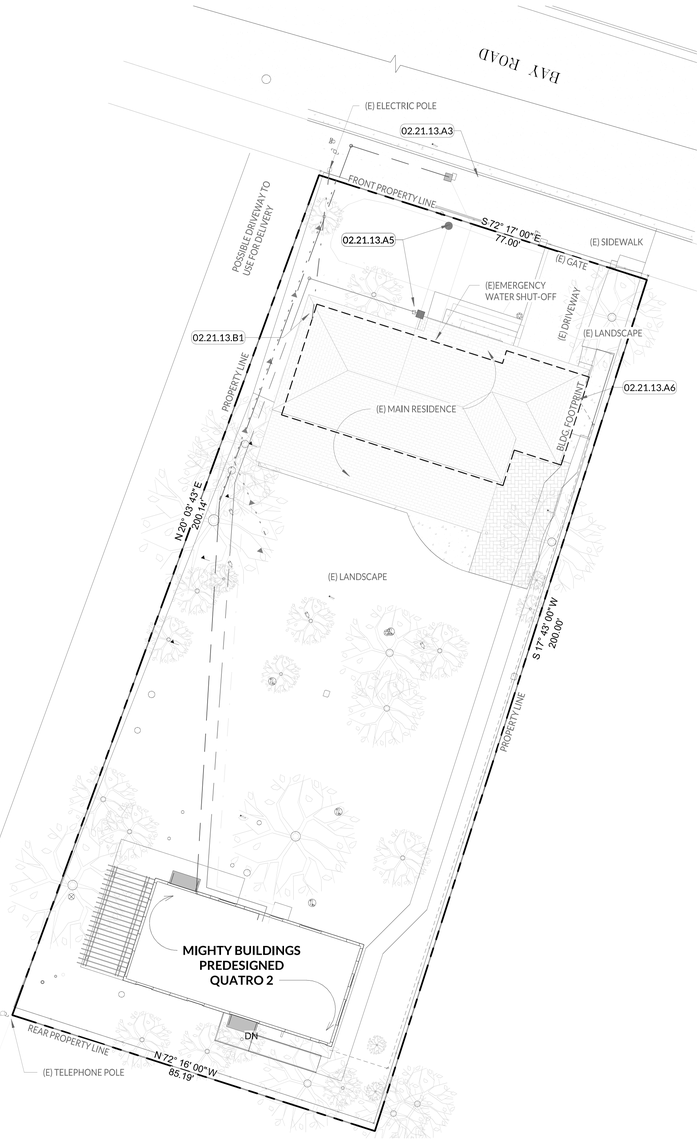
SCALE: 1/8" = 1'-0"

1/8"=1'-0"

0' 1'2' 4' 8' 16' 24'

PARTITION KEYNOTES

02.21.13.A3	(E) WATER METER TO REMAIN
02.21.13.A5	APPROX. LOCATION OF (E) SEWER LINE.
02.21.13.A6	(E) GAS METER AND SERVICE REGULATOR TO REMAIN.
02.21.13.B1	(E) 100A ELECTRICAL PANEL AND METER TO REMAIN

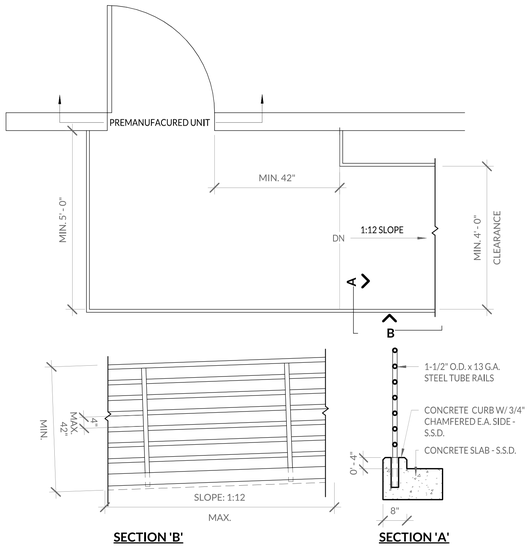


1 UTILITY PLAN

SCALE: 1/16" = 1'-0"

1/16"=1'-0"

0' 2' 6' 10' 20' 30' 48'

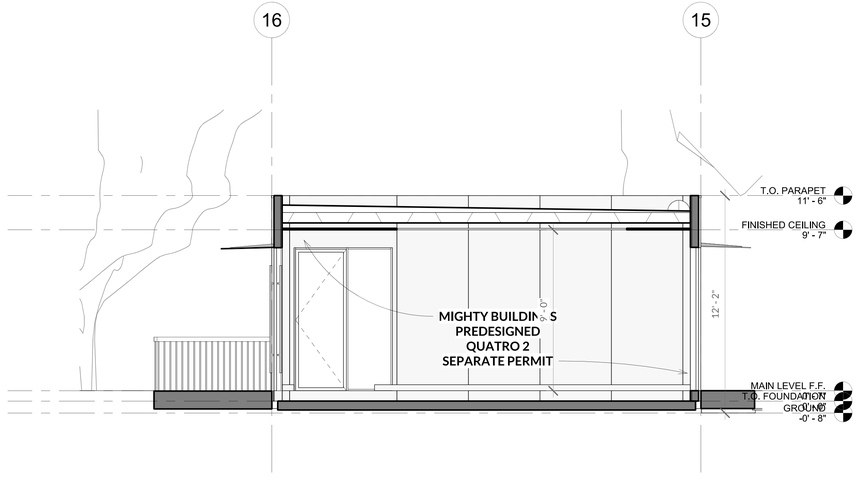


5 RAMP AND RAILING

SCALE: 1/2" = 1'-0"

1/2"=1'-0"

0' 6" 1' 18" 2' 4' 6'



3 CROSS SECTION

SCALE: 1/4" = 1'-0"

1/4"=1'-0"

0' 1' 2' 3' 4' 8' 12'

UTILITY LEGEND

- (N) WATER LINE
- (E) WATER LINE
- (N) SEWER LINE
- (E) SEWER LINE
- UNDERGROUND ELECTRICAL LINE
- (E) OVER HEAD ELECTRICAL LINE
- UTILITY / GAS LINE

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Proj. No: 2020.512

LICENSED ARCHITECT TIMOTHY E. ALATORRE C-32555 STATE OF CALIFORNIA

Issue / Revision Schedule:

No.	Date	Description

PARTITION, UTILITY PLANS

A1.0.1

23-06-2021 18:24:05

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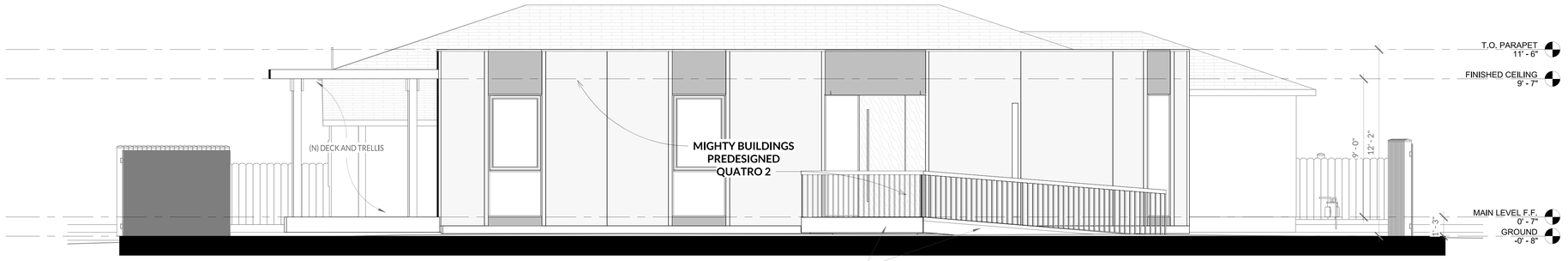
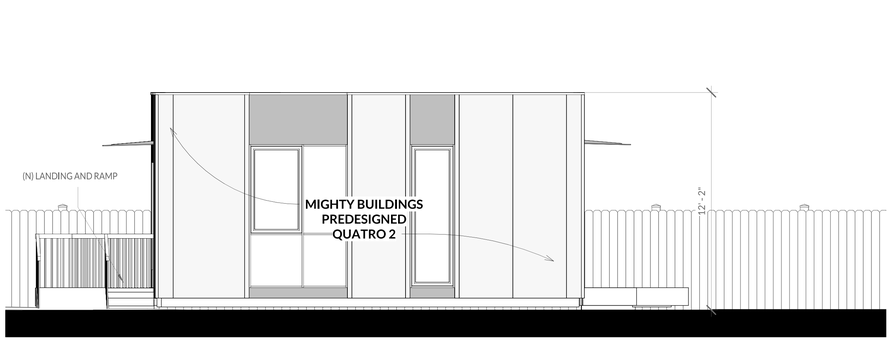


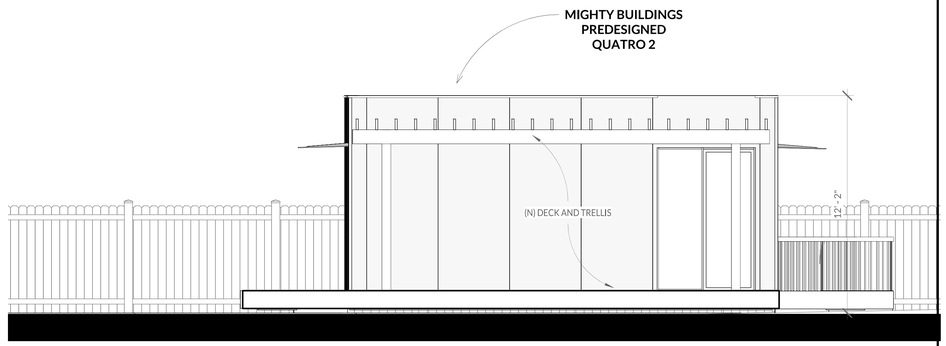
1 ADU - BACK ELEVATION

SCALE: 1/4" = 1'-0"



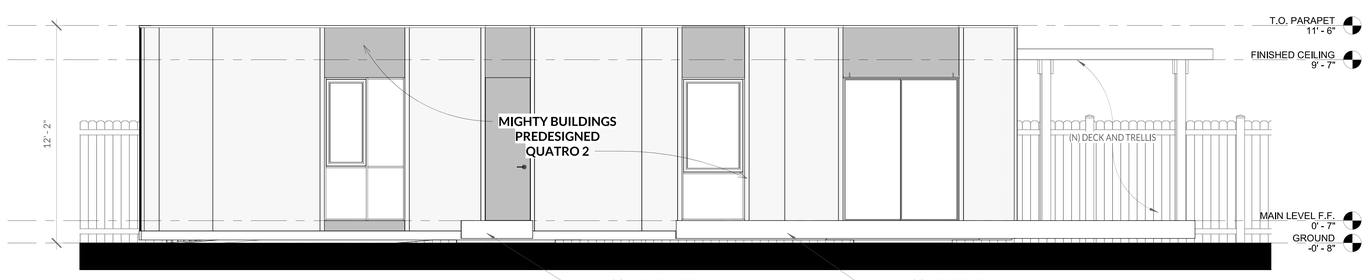
2 ADU - LEFT ELEVATION

SCALE: 1/4" = 1'-0"



3 ADU - RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



4 ADU - FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SCALE

1/4"=1'-0"

0' 1' 2' 3' 4' 8' 12'

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DETACHED ADU

Proj. No: 2020.512

LICENSED ARCHITECT
TIMOTHY E. ALATORRE
C-32555
STATE OF CALIFORNIA

Issue / Revision Schedule:

No.	Date	Description

EXTERIOR ELEVATIONS

A2.0.1

23-06-2021 18:24:07

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TREE INFORMATION TABLE :

Tree Number	Species	DBH (in.)	Health
1	English holly	5.0	Good
2	English holly	12.8	Good
3	Pittosporum	22.2	Fair to good
4	Valley oak	14.9	Good
5	Coast live oak	9.3	Good
6	Crape myrtle	9.2	Poor
7	Coast live oak	15.1	Good
8	Coast live oak	23.2	Good
9	Valley oak	41.5	Fair to good
10	Coast live oak	5.0	Good
11	Coast live oak	5.9	Good
12	Coast live oak	7.8	Good
13	Coast live oak	10.4	Good
14	Coast live oak	10.8	Good
15	Coast live oak	15.3	Good
16	English holly	5.3	Fair to good
17	Coast live oak	27.4	Good
18	Coast live oak	13.2	Good
19	Privet	10.2	Good
20	Privet	11.4	Good
21	Privet	5.2	Good
22	Linden	8.6	Fair to good

NOTE: SIGNIFICANT TREES MARKED IN GREEN

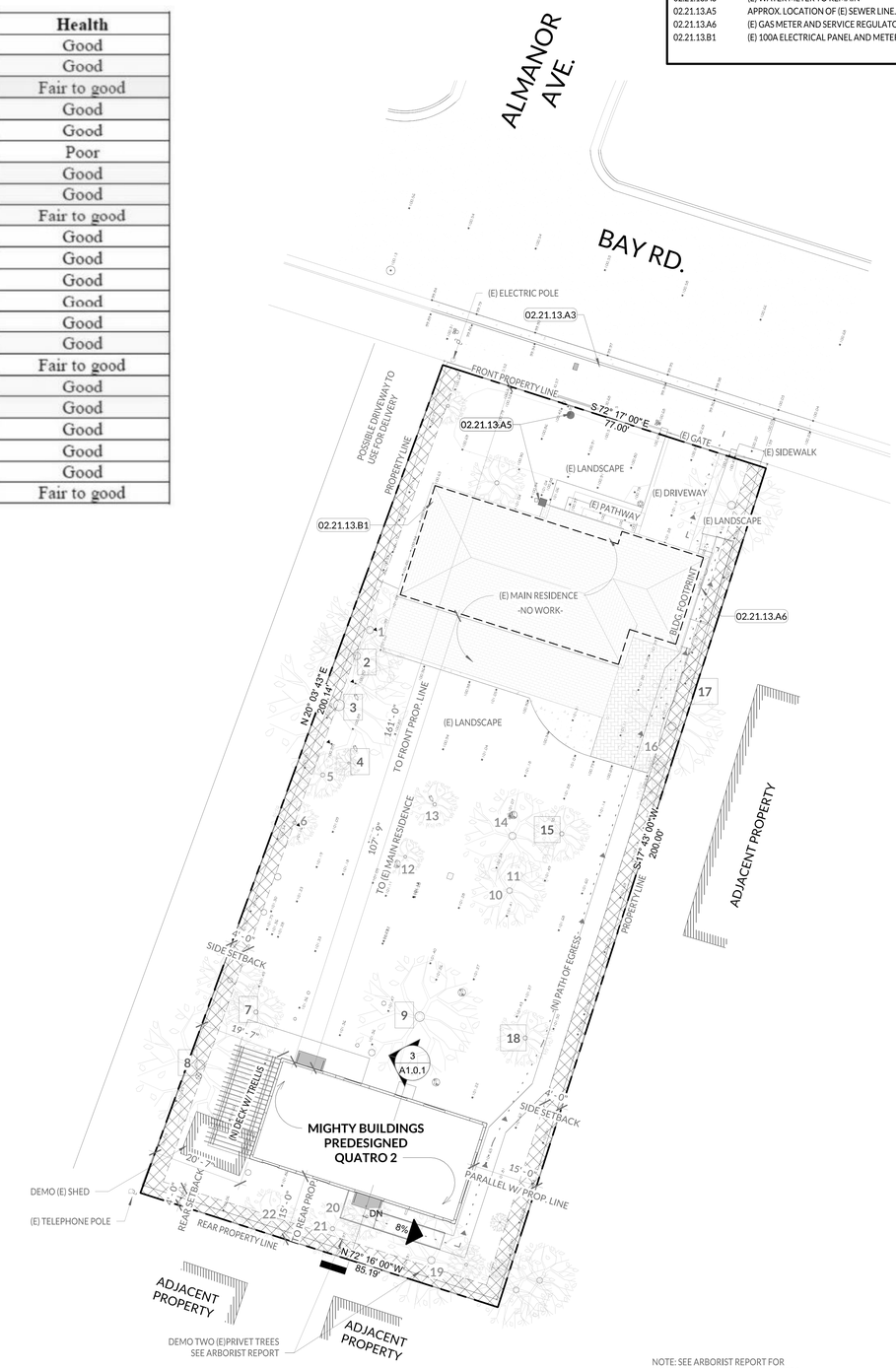
PROTECTIONS FOR SIGNIFICANT TREES AS STIPULATED BY ARBORIST :

- **MULCH -** A 6-inch layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12-inches from the trunk.
- **FENCE -** A protective barrier of 6-foot chain link fencing shall be installed around the dripline of protected tree(s).
- **AVOID PROHIBITED ACTIONS -** As mentioned in the Arborist Report.
- **EXCAVATION -** Only excavation by hand or compressed air shall be allowed within the dripline of trees. Machine trenching shall not be allowed.
- **ROOTS -** Avoid injury to tree roots.
- **REMOVAL & PRUNING -** No Significant trees are being removed or pruned by more than one-third.

(See Arborist report for more information)

PLAN KEYNOTES

02.21.13.A3	(E) WATER METER TO REMAIN
02.21.13.A5	APPROX. LOCATION OF (E) SEWER LINE.
02.21.13.A6	(E) GAS METER AND SERVICE REGULATOR TO REMAIN.
02.21.13.B1	(E) 100A ELECTRICAL PANEL AND METER TO REMAIN



NOTE: SEE ARBORIST REPORT FOR MORE INFO ON TREES, SIZE, AND SPEC.

1 TREE MANAGEMENT PLAN

SCALE: 1/16" = 1'-0"

1/16"=1'-0"
0' 2' 6' 10' 20' 30' 48'

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Proj. No: 2020.512

LICENSED ARCHITECT
TIMOTHY E. ALATORRE
C-32555
STATE OF CALIFORNIA

Issue / Revision Schedule:

No.	Date	Description

TREE MANAGEMENT PLAN

A3.0.1

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

June 11, 2021

526 Bay Road
Tree Management & Protection Plan

526 Bay Road Road
Menlo Park, California 94025

Prepared for:
Mighty Buildings, Inc.
610 85th Avenue
Oakland, California 94621

Prepared by:
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Introduction

The property at 526 Bay Road Road in Menlo Park, CA is preparing to install a detached ADU building. The proposed ADU will be located on the rear of the property (Figs. 1 & 2). For the installation of the ADU, there are several coast live oaks (7, 8, 18) and valley oak (9) whose roots might be minimally impacted, to what extent is impractical to determine prior to installation; however, I foresee a negligible impact if the following tree protection plan is implemented. This document provides the mitigation to any potential root damage, serving as a tree protection plan to avoid damage during the construction of the electric vehicle charging stations and power routing.

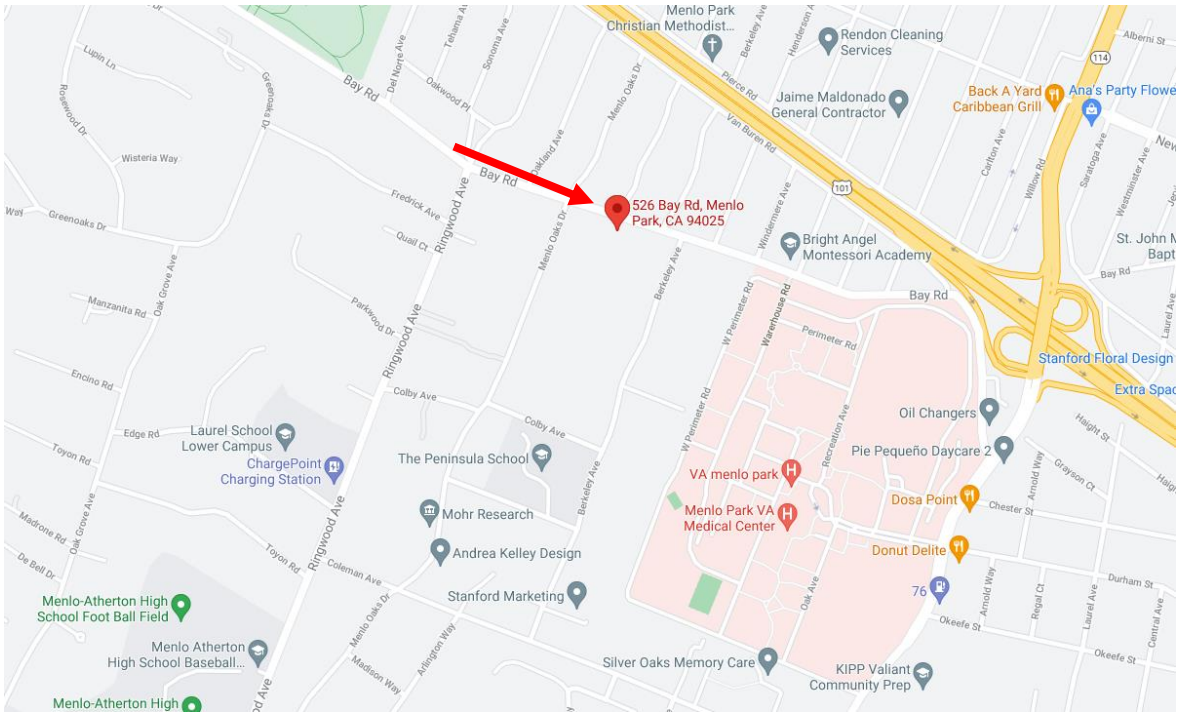

Figure 1: the location of the proposed project at 526 Bay Road shown with arrow.

Assignment Scope

Arborwell surveyed the trees within the limit-of-work outlined the *Architectural Site & Roof Plan A-1* dated October 5, 2020. We were asked to review said *Site Plan*, perform an on-site survey of trees within the limit-of-work, and provide pre-, during-, and post-construction recommendations for the on-site trees to potentially to be preserved.

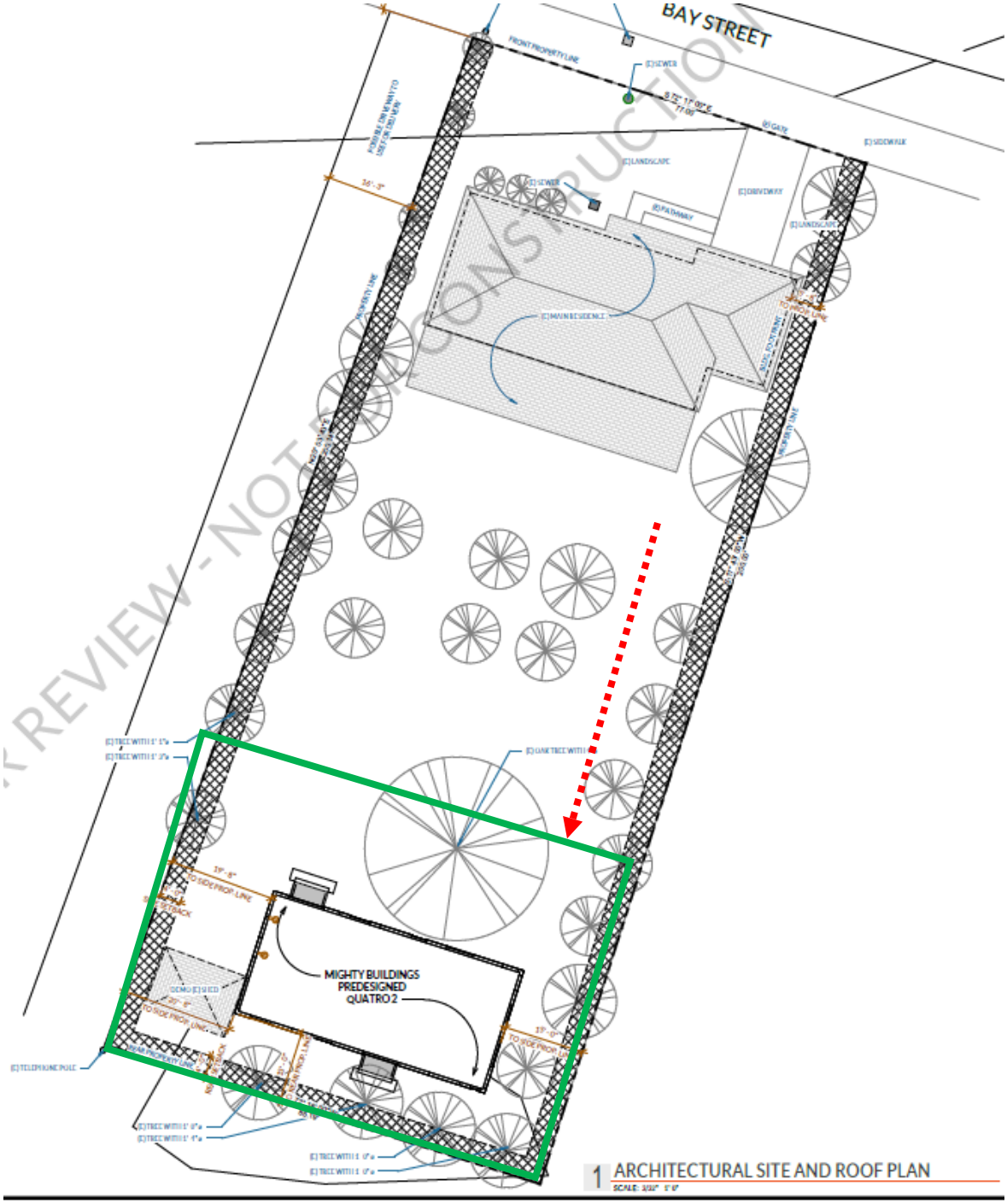

Figure 2: the site plan for the project. The proposed ADU and its area to impact roots is shown in green. A path of travel will need to be established and routed outside of the dripline of any protected tree. The recommended path of travel is shown with a red dashed line.

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Figure 3: tree locations with numbers (see Table 1).

Method

This report intends to record the state of the trees on the aforementioned property as observed on the dates of the inventory. Data collected per individual tree for the inventory are as follows:

- Identify the trees on the property.

- Record comments and observations regarding the health and structure, noting any significant defects, health issues, or other observational notes of trees to be removed.

- Prepare a written report that presents findings and submit the report via email as a PDF document.

Table 1: tree information (significant trees marked in green)

Tree Number	Species	DBH (in.)	Health
1	English holly	5.0	Good
2	English holly	12.8	Good
3	Pittosporum	22.2	Fair to good
4	Valley oak	14.9	Good
5	Coast live oak	9.3	Good
6	Crape myrtle	9.2	Poor
7	Coast live oak	15.1	Good
8	Coast live oak	23.2	Good
9	Valley oak	41.5	Fair to good
10	Coast live oak	5.0	Good
11	Coast live oak	5.9	Good
12	Coast live oak	7.8	Good
13	Coast live oak	10.4	Good
14	Coast live oak	10.8	Good
15	Coast live oak	15.3	Good
16	English holly	5.3	Fair to good
17	Coast live oak	27.4	Good
18	Coast live oak	13.2	Good
19	Privet	10.2	Good
20	Privet	11.4	Good
21	Privet	5.2	Good
22	Linden	8.6	Fair to good

Tree Protection Measures

The objective of this report is to reduce the negative impacts of construction on trees to a less than significant level. Trees vary in their ability to adapt to altered growing conditions, while mature trees have established stable biological systems in the preexisting physical environment. Disruption of this environment by construction activities interrupts the tree's physiological processes, causing depletion of energy reserves and a decline in vigor. This sometime is exhibited as death. Typically, this reaction may develop several years or more after disruption. **Tree protection measures are only required for Significant Trees.**

The tree protection regulations are intended to guide a construction project to ensure that appropriate practices will be implemented in the field to eliminate undesirable consequences that may result from uninformed or careless acts, and preserve both trees and property values.

Mulch

A 6-inch layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12-inches from the trunk.

Tree Protection Fence

A protective barrier of 6-foot chain link fencing shall be installed around the dripline of protected tree(s). Fencing can be combined as needed; also, an alternative is to fence around the entire construction zone. The fencing can be moved within the dripline if authorized by the Project Arborist or City Arborist but not closer than 2-feet from the trunk of any tree. Fence posts shall be 1.5-inches in diameter and are to be driven 2-feet into the ground. The distance between posts shall not be more than 10-feet. This enclosed area is the Tree Protection Zone (TPZ).

Movable barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the Project Arborist and City Arborist agree that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization form the Project Arborist or City Arborist.

Where the City Arborist or Project Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the City Arborist or Project Arborist. Straw waddle may also be used as a trunk wrap by coiling the waddle around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.

Prohibited Actions

The following will be avoided:

a. Allowing run off of spillage of damaging materials into the area below any tree canopy.

b. Storing materials, stockpiling soil, or parking or driving vehicles within the TPZ.

c. Cutting, breaking, skinning, or bruising roots, branches, or trunks without first obtaining authorization from the City Arborist.

d. Allowing fires under and adjacent to trees.

e. Discharging exhaust into foliage.

f. Securing cable, chain, or rope to trees or shrubs.

g. Trenching, digging, or otherwise excavating within the dripline or TPZ of the tree(s) without first obtaining authorization from the City Arborist.

h. Applying soil sterilants under pavement near existing trees.

Excavation

Only excavation by hand or compressed air shall be allowed within the dripline of trees. Machine trenching shall not be allowed.

Root Injury

Avoid injury to tree roots. When a ditching machine, which is being used outside of the dripline of trees, encounters roots smaller than 2-inches, the wall of the trench adjacent to the trees shall be hand trimmed, making clear, clean cuts through the roots. All damaged, torn and cut roots shall be given a clean cut to remove ragged edges. Trenches shall be filled within 24 hours, but where this is not possible, the side of the trench adjacent to the trees shall be kept shaded with four layers of dampened, untreated burlap, wetted as frequently as necessary to keep the burlap wet. Roots 2-inches or larger, when encountered, shall be reported immediately to the Project Arborist, who will decide whether the Contractor may cut the root as mentioned above or shall excavate by hand or with compressed air under the root. Root is to be protected with dampened burlap.

Conflict With Roots

Route pipes outside of the area that is 10 times the diameter of a protected tree to avoid conflict with roots.

Where it is not possible to reroute pipes or trenches, the contractor shall bore beneath the dripline of the tree. The boring shall take place not less than 3-feet below the surface of the soil in order to avoid encountering “feeder” roots.

Tree Removal & Pruning

No protected trees in the project area have been identified as being in poor health and/or posing a health or safety risk, may not be removed or pruned by more than one-third, Pruning of existing limbs and roots shall only occur under the direction of a the Project Arborist.

Damage To Trees - Reporting

Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.

Project Arborist Qualifications & Responsibilities

An ISA Board Certified Master Arborist or ASCA Registered Consulting Arborist shall be retained as the Project Arborist to monitor the tree protection specifications. The Project Arborist shall be responsible for the preservation of the designated trees. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist as an issue of non-compliance.

Conclusion

It is the nature of trees exposed to construction that some do not survive, and mortality cannot be predicted. In the event that due care is exercised, all of the trees on the project are expected to remain healthy and alive.

Assumptions & Limiting Conditions

The following are limitations to this report:

- All information presented herein covers only the trees examined at the area of inspection, and reflects the condition observed of said trees at the time of inspection.
- Observations were performed visually without probing, dissecting, coring, or excavation, unless noted above, and in no way shall the observer be held responsible for any defects that could have only been discovered by performing said services in specific area(s) where a defect was located.
- No guarantee or warranty is made, expressed or implied, that defects of the trees inspected may not arise in the future.
- No assurance can be offered that if the recommendation and precautionary measures are accepted and followed, that the desired results may be attained.
- No responsibility is assumed for the methods used by any person or company executing the recommendations provided in this report.
- The information provided herein represents an opinion, and in no way is the reporting of a specified finding, conclusion, or value based on the retainer.
- This report is proprietary to Arborwell, Inc., and may not be reproduced in whole or part without written consent. This report has been prepared exclusively for use of the parties to which it has been submitted.
- Should any part of this report be altered, damaged, corrupted, or lost, the entire evaluation shall be invalid.

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