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Record of Survey

- Civil Engineering plans**
- C1 Site Plan
 - C2 Grading and Drainage
 - C3 Erosion and Sediment control plan
 - C4 Access Road for Emergency Vehicles
 - BMP Best Management Practices

Coverage Breakdown

- Lot 2.067+-Acres = 90015 Sq Ft
- #1 Mobile home = 1654 Sq Ft
 - #2 Garage office = 874 Sq Ft
 - #3 Farm Building= 1384 Sq Ft
 - #4 Farm Building= 868 Sq Ft
 - #5 Horse stalls = 657 Sq Ft
 - #6 Horse stalls = 681 Sq Ft
 - #7 Horse stalls = 449 Sq Ft
 - Total Existing = 6567 Sq Ft = 7.3%**
 - #8 New Home = 4623 Sq Ft
 - #1 Removal = -1654 Sq Ft
 - #3 Removal = -1384 Sq Ft
 - Total proposed = 8182 Sq Ft = 9.06%**

Floor area Breakdown

- #1 Existing Mobile home 1654 Sq Ft
- #2 Existing Garage/Office 1558 Sq Ft
- Total Existing Floor area 3213 Sq Ft**
- #8 Proposed Home/Garage 4623 Sq Ft
- #1 Removal of Mobile home -1654 Sq Ft
- Total Proposed Floor area 8182 Sq Ft 6.85%**
- Max allowable Floor area 6200 Sq Ft

INFORMATION

- Parcel # 036-261-150 & 036-261-160
- 1490 Cypress Street, Montara, Ca. 94037
- Zoning RM-CZ/DR/CD
- 2.067+-Acres 90015 Sq Ft
- Setbacks 50' front 20' sides and rear
- Max height 28' Proposed max height 20'
- Refer to C1 for Topography information
- New landscaping 200 Sq. Ft Revegetation 1100 Sq. Ft.
- Underground Drop irrigation system
- No Tree removal



No.	Description	Date
1	Design Review Requested Chg #1	03/07/2020
2	Design review requested Chg #2	04/10/2020
3	Design Review Requested Chg #3	04/23/2020
4	Design Review Requested Chg #4	05/05/2020
5	MWD Cal Fire/SMAC Health	11/23/2020
6	Cal Fire Checked completed	12/16/2020

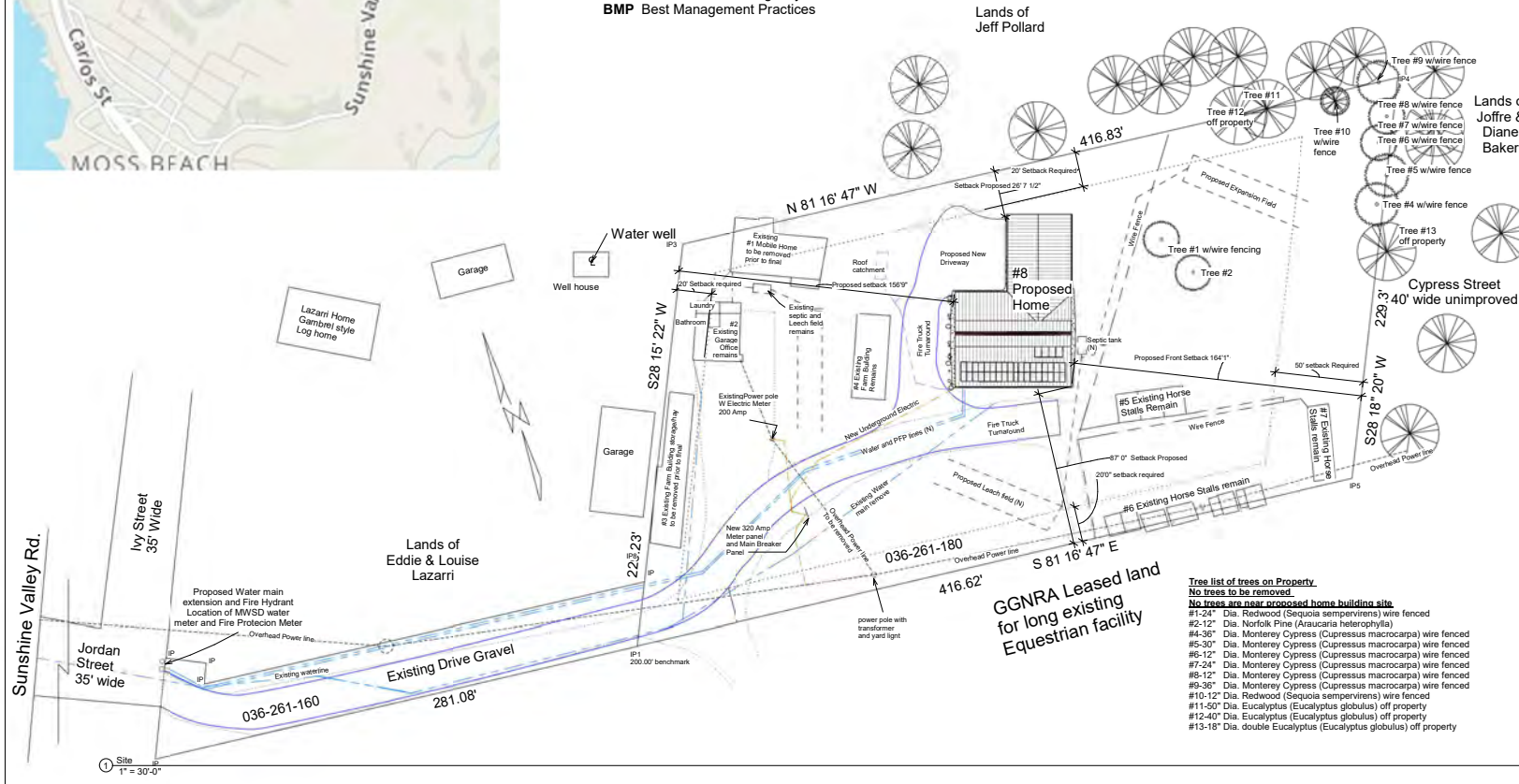
Redtail Ranch
David Morris
Lori Rhodes
602-743-7129

1davemorris@comcast.net

1490 Cypress Street
Montara CA 94037

Site

Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	
A100	
Scale	1" = 30'-0"



Tree list of trees on Property

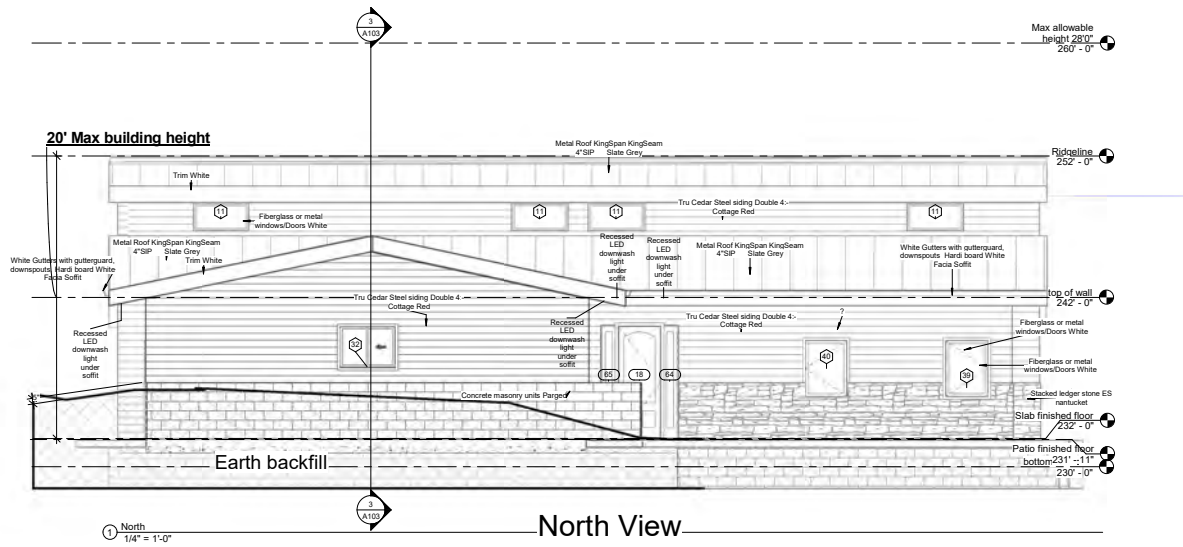
No trees to be removed.

No trees are near proposed home building site.

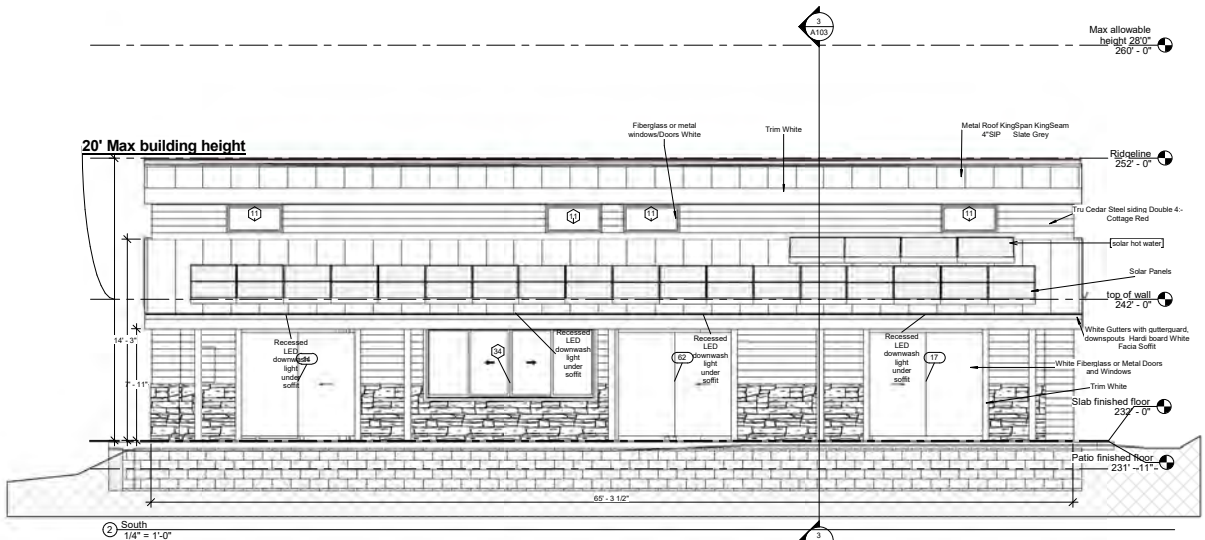
- #1-24" Dia. Redwood (Sequoia sempervirens) wire fenced
- #2-12" Dia. Norfolk Pine (Araucaria heterophylla)
- #4-36" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
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- #10-12" Dia. Redwood (Sequoia sempervirens) wire fenced
- #11-50" Dia. Eucalyptus (Eucalyptus globulus) off property
- #12-40" Dia. Eucalyptus (Eucalyptus globulus) off property
- #13-18" Dia. double Eucalyptus (Eucalyptus globulus) off property

GGNRA Leased land for long existing Equestrian facility

① Site
1" = 30'-0"



North View



South View

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1	Design Review Requested Chg #1	03/07/2020
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3	Design Review Requested Chg #3	04/23/2020
4	Design Review Requested Chg #4	05/05/2020
5	MWSP Car Fire/SMAC Health	11/23/2020

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**Elevations
North/South**

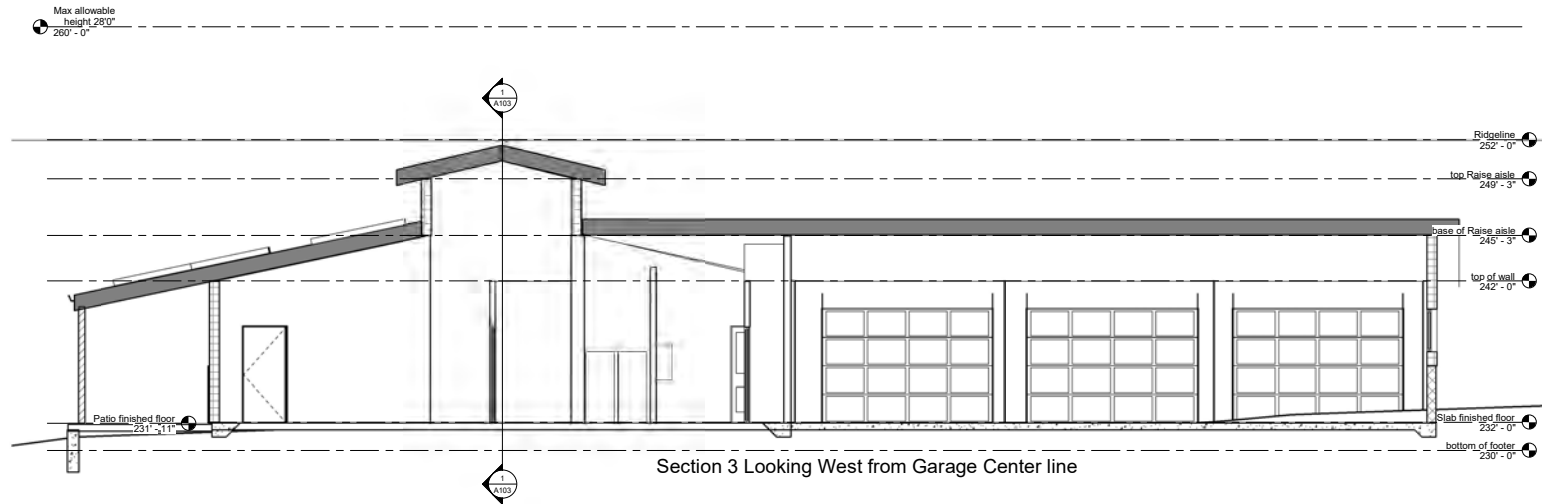
Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	

A102

Scale 1/4" = 1'-0"



Section 1
1/4" = 1'-0"



Section 3
1/4" = 1'-0"



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No.	Description	Date
1	Design Review Requested Ctg #1	03/07/2020
2	Design review requested Ctg #2	04/10/2020

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1490 Cypress Street
Montara CA 94037

Section Views

Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	
A103	
Scale	1/4" = 1'-0"

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No.	Description	Date

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1490 Cypress Street
Montara CA 94037

perspective views

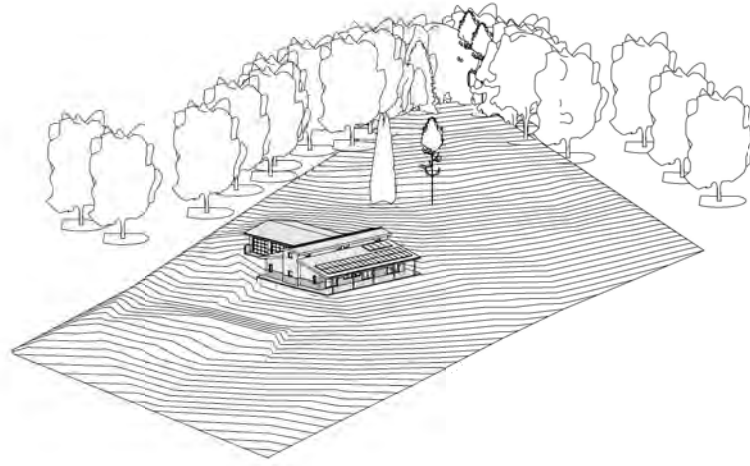
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Date	02/15/2020
Drawn by	David Morris
Checked by	
Scale	

A104

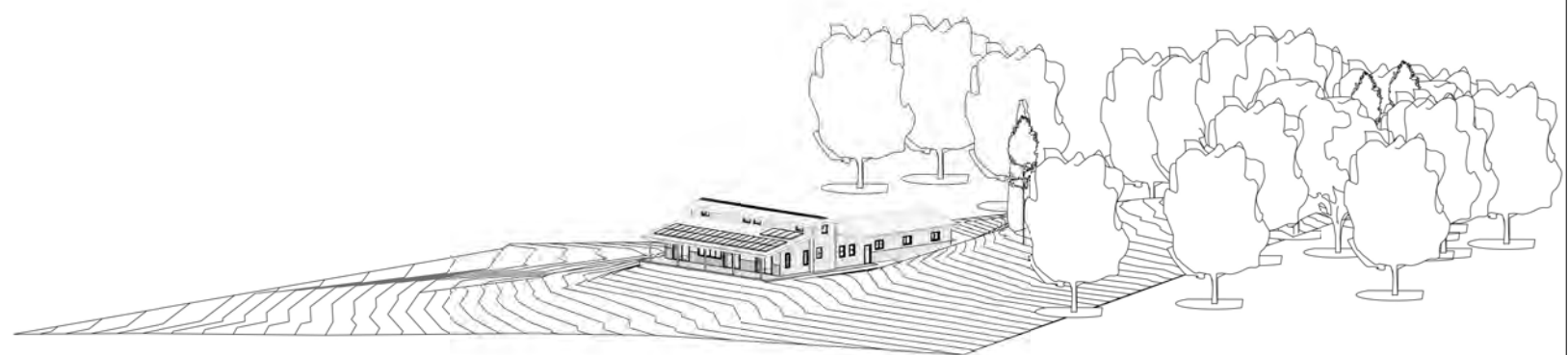
101712020 12x48-36.rvt



① 3D View 2

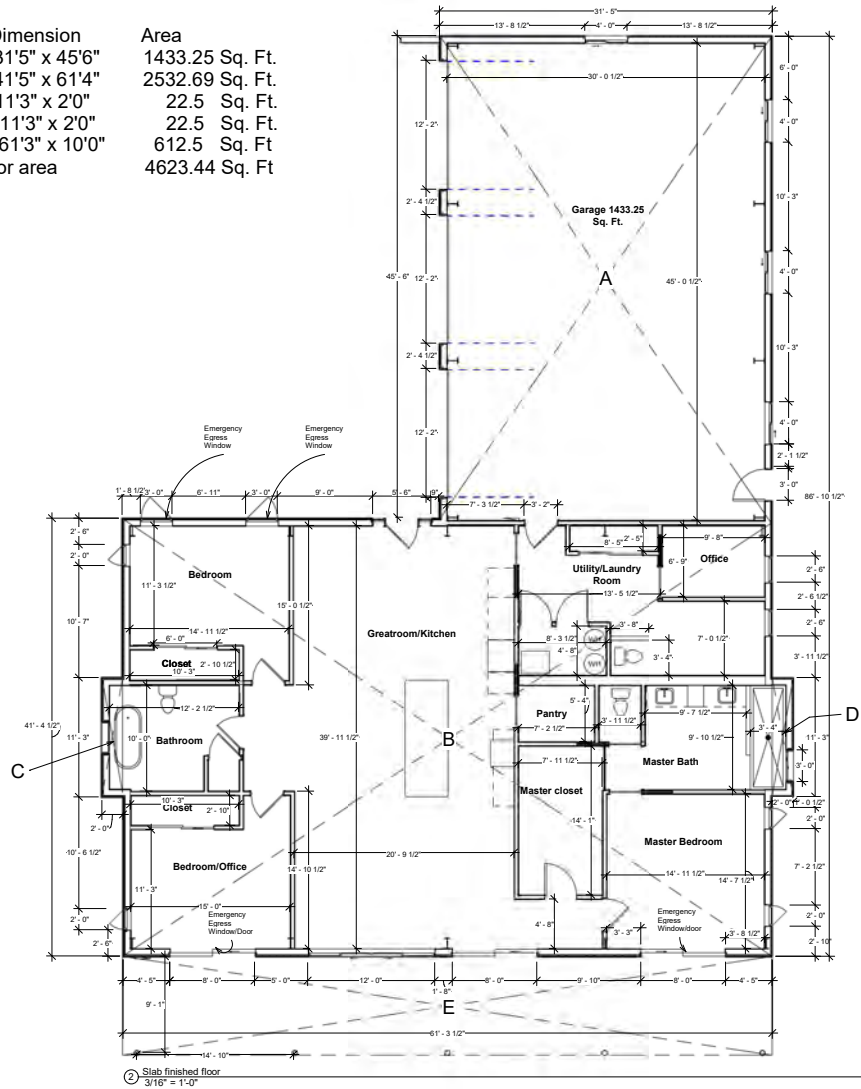
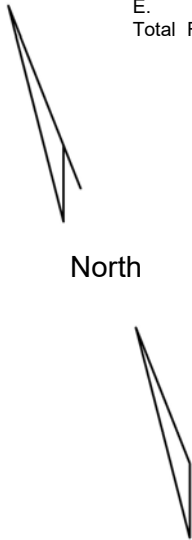


② Perspective 3D



③ 3D Copy 1

Area	Dimension	Area
A.	31'5" x 45'6"	1433.25 Sq. Ft.
B.	41'5" x 61'4"	2532.69 Sq. Ft.
C.	11'3" x 2'0"	22.5 Sq. Ft.
D.	11'3" x 2'0"	22.5 Sq. Ft.
E.	61'3" x 10'0"	612.5 Sq. Ft.
Total Floor area		4623.44 Sq. Ft.



⊙ Slab finished floor
3/16" = 1'-0"

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2	Design Review Requested Chg #3	04/23/2020

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Floor plan

Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	
A105	
Scale	3/16" = 1'-0"

HALO®

600 Series 5 1/8 inch LED Recessed Retrofit Module-Trim

90 CRI, T24, IK06, IK08

FOR USE IN NON-INSULATED CEILING RATED HOUSINGS

HIGH EFFICIENCY LED WITH INTEGRAL DRIVER - DIMMABLE

HALO LED Dimensions

Designator Size Dimensions: 4" W, 6" W, 8" W

Energy Data: 8W LED, 12W LED, 18W LED

Compatibility Table:

Recessed Case Size	Category Number
5"	HL0400-HL0402-HL0403-HL0404
6"	HL0500-HL0502-HL0503-HL0504

HALO LED Details

Compatible HALO Recessing with LED luminaire connector (high-efficiency compliant)

HALO LED Recessing E60mm: HL0500-0501-0502

Compatible Halo Incandescent E26 Screwbase Recessings:

Recessed Case Size	Category Number
5"	HL0400-HL0402-HL0403-HL0404
6"	HL0500-HL0502-HL0503-HL0504

Product and Performance Data:

Item #	Power (W)	Life (hr)	Temp. (°C)	Temp. (°F)
HL0400	8	50,000	55	131
HL0402	12	50,000	55	131
HL0403	18	50,000	55	131
HL0404	24	50,000	55	131
HL0500	8	50,000	55	131
HL0502	12	50,000	55	131
HL0503	18	50,000	55	131
HL0504	24	50,000	55	131

AUTODESK

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No.	Description	Date

Redtail Ranch
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Lori Rhodes
602-743-7129

1davemorris@comcast.net

1490 Cypress Street
Montara CA 94037

Exterior Palette

Project number	1
Date	02/15/2020
Drawn by	Author
Checked by	Checker
Scale	A106

- All outdoor lighting will be downwash recessed can lights using the above bulb.
- 1 light over each garage door center
- 2 lights, 1 on each side of front entry door
- 5 lights evenly spaced along centerline length of south patio
- 1 light over center of rear garage passage door.

- Exterior House colors
- Siding Tru Cedar Steel siding double 4" Cottage Red #411
- See attached sample palette of exterior colors
- Windows White Aluminum or Fiberglass multi pane
- Window and Door Trim Behr White #52
- Facia and Soffits same Behr White #52
- South Patio posts White Round
- Gutters White down spouts
- Front Door Wood/or Fiberglass imitation wood Natural finish
- Roof Kingspan Kingseam 4" SIP Slate Grey
- Stone wainscot 4' El Dorado Stone Stacked Nantucket

TRUCEDAR® STEEL SIDING

Product	Size	Weight (lb)	Length (ft)	Area (sq ft)
Double 4"	4" x 36"	10.5	36	378
Double 6"	6" x 36"	15.5	36	216

KingSeam

KingSeam SIP panels are designed to offer design flexibility and aesthetics combined with high strength and performance. Ideal for new and retrofit applications across a wide variety of building sectors.

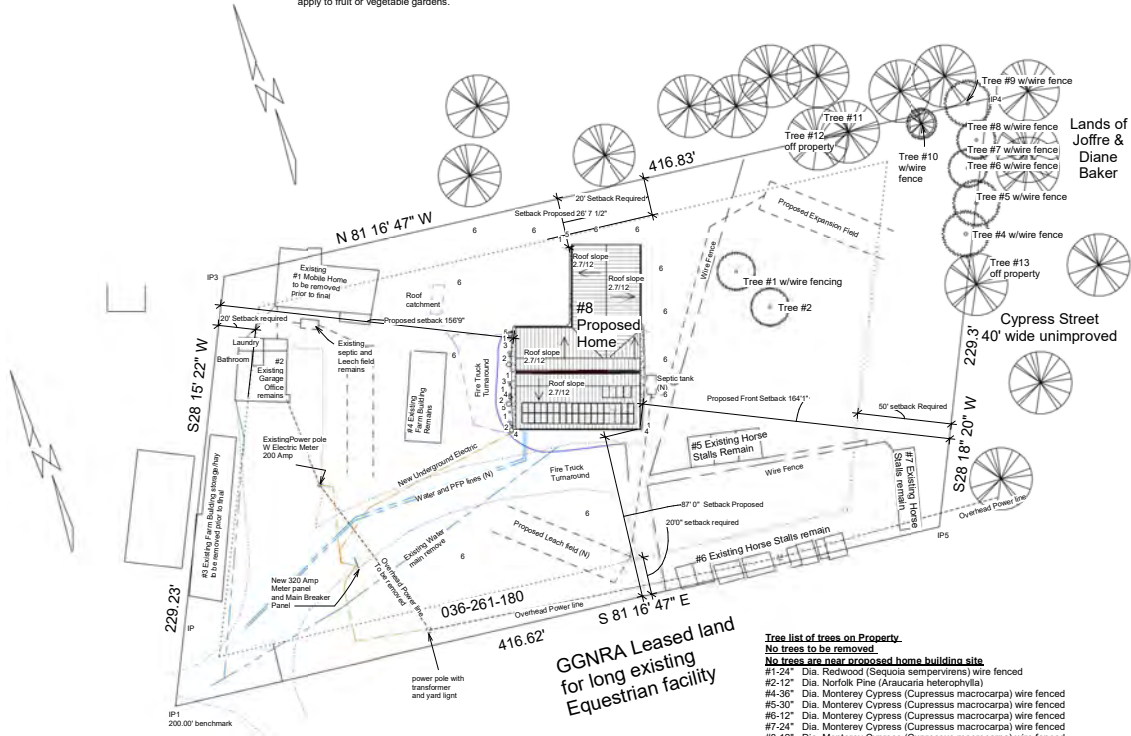
Notes:

- Minimal vegetation around house due to location in Cal Fire Very high fire hazard severity zone
- Underground drip irrigation to plantings
- No trees are to be planted
- Trees within 35'-100' to be pruned below 6' of dead material
- Mostly bird/bee/butterfly friendly plantings
- All plantings to be low water use drought tolerant variety.
- No existing vegetation except grass and weeds removed
- No trees or shrubs removed or planted
- All trees in area are protected by wire fencing to prevent chewing by horses. Except Eucalyptus, which nothing eats
- Area of proposed home was previous home site 40+ years ago, then prior to now, an unused horse corral with weeds
- All landscaping is drought-tolerant, and either native or non-invasive plant species. No plant species listed as problematic and/or invasive by the California Native Plant Society, the California Invasive Plant Council, or as may be identified from time to time by the State of California shall be employed. No plant species listed as noxious weed by the State of California or the U.S. Federal Government shall be utilized within the property. The requirement for drought-tolerant landscaping shall not apply to fruit or vegetable gardens.

Planting Schedule

Botanical Name	(Common name)	water use	/zone / QTY/Size
1. Aniguonanthos jve jve	(Kangaroo Paw)	2	/6-10 /3ea /1gallon
2. Calamagrostis foliosa	(Mendocino Reed Grass)	2	/7-11 /3ea /1gallon
3. Aloe cameronii	(Aloe)	2	/9-12 /2ea /1gallon
4. Salvia lucantha	(Mexican Sage)	2	/6-10 /3ea /1gallon
5. Nandina domestica	gulf stream (Heavenly Bamboo)	2	/6-9 /3ea /1gallon
6.			

All other disturbed areas to be replanted with non irrigate AQUA WISE no mow 100% TWCA approved grass seed. Approximately 1100 Sq Ft Hand water until established, mow as needed ASC295 Creeping Red Fescue/Heathland Chewings Fescue/Naanook Hard Fescue This mix is composed of 100% TWCA approved varieties and should help reduce water use, while still providing for a fine meadow-like appearance. These grasses are approved by the TWCA (Turgrass Water Conservation Alliance) and The California Department of Water Resources as water saving varieties. <http://store.pcased.com/product/UQUA-WISE%E2%84%A2-NON-MOW-FINE-FESCUE-MIX.aspx>



- Tree list of trees on Property.**
No trees to be removed
No trees are near proposed home building site
- #1-24" Dia. Redwood (Sequoia sempervirens) wire fenced
 - #2-12" Dia. Norfolk Pine (Araucaria heterophylla)
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4	Design Review Requested Chg #4	05/05/2020
5	MWS/CAR Fire/SMA Health	11/23/2020

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1davemorris@comcast.net

1490 Cypress Street
 Montara CA 94037

Landscape Plan /
 Roof Plan

Project number 1
 Date 02/15/2020
 Drawn by David Morris
 Checked by Lori Rhodes

A107

Scale 1" = 30'-0"

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FIRE JURISDICTION
 COUNTY FIRE
 SAN GABRIEL FIRE

San Mateo County Building Dept.
 2019 CRC -R337 Development Worksheet
 Materials and Construction Methods for
 Exterior Walling Exposure

Project is located in: Hazard Severity Zone (HSZ):
 HSZ A, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): X Yes / No
 HSZ B, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): X Yes / No
 HSZ C, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): X Yes / No

Applicable Code Section(s)	Material / Construction Method	Exposure / Fire Type
Roofing 1. Standing seam steel roof 2. Standing seam steel roof	X	A101, A102, A105
HydroShield gutter guards	X	A101, A102

Applicable Code Section(s)	Material / Construction Method	Exposure / Fire Type
Tru Cedar double 4 steel siding	X	A101, A102

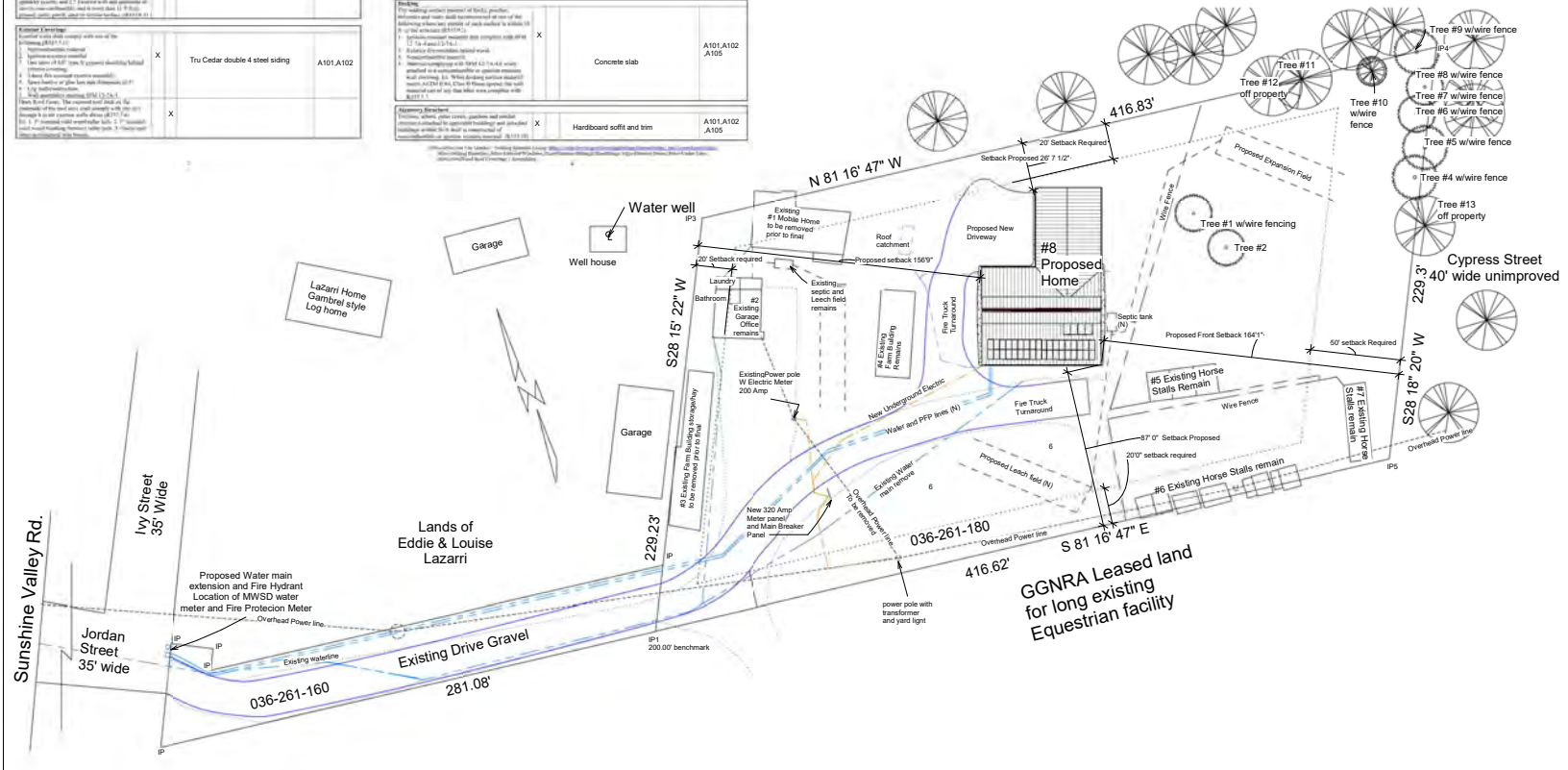
Applicable Code Section(s)	Material / Construction Method	Exposure / Fire Type
Hardboard soffit and trim	X	A101, A102, A105

Applicable Code Section(s)	Material / Construction Method	Exposure / Fire Type
Hardi Soffit and Hardboard trim	X	A101, A102, A105
Hardi Soffit and Hardboard trim	X	A101, A102, A105
Hardi Soffit and Hardboard trim	X	A101, A102, A105
Hardi Soffit and Hardboard trim	X	A101, A102, A105

Applicable Code Section(s)	Material / Construction Method	Exposure / Fire Type
Garage doors steel insulated Rear passage door steel insulated Front door Solid wood or Fiberglass with fire resistance of not less than 20 minutes.	X	A101, A102, A105
Concrete slab	X	A101, A102, A105
Hardboard soffit and trim	X	A101, A102, A105

Cal Fire Notes

- This project is located in a Very High Fire Hazard Severity Zone Class A roof Required. Structure will comply with CRC 2016 Section R337 requirements.
- A fuel break of defensible space is required around the perimeter of the structure a minimum of 30'-100' trees pruned to 6' above ground.
- Clow 960 Fire hydrant to be installed adjacent to property line entrance meeting requirements of CFC 2019 appendix B and C within 500' of structure.
- Road to be paved minimum 20' wide 35' centerline radius 15' height clearance with turnaround as per CFC 2019 Appendix D.
- An automatic Fire Sprinkler system and smoke detectors will be installed per Coastside Fire District ordinance 2016-01 protecting the house and garage.
- Solar Potovoltaic system shall meet the requirements of 2016 CFC Section 605.11
- Residence will have internally illuminated address numbers with contrasting background 4" in height and 1/2" stroke at least 6' above finished surface of driveway. Additional signage at the driveway entrance consisting of 6"x 18" green reflective metal sign with 3" reflective numbers and letters similar to Hy-Ko 911 or equivalent.




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4	Design Review Requested Chg #4	05/05/2020
5	MWDN Cal Fire SMC Health	11/23/2020
6	Cal Fire Checked completed	12/16/2020

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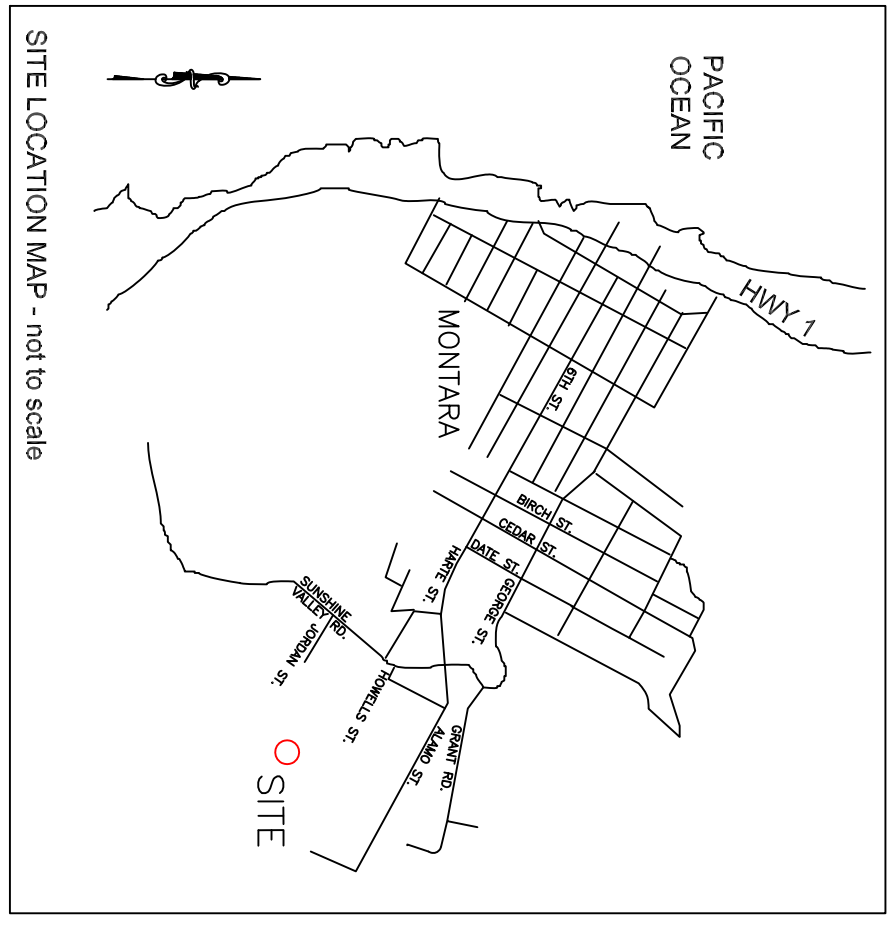
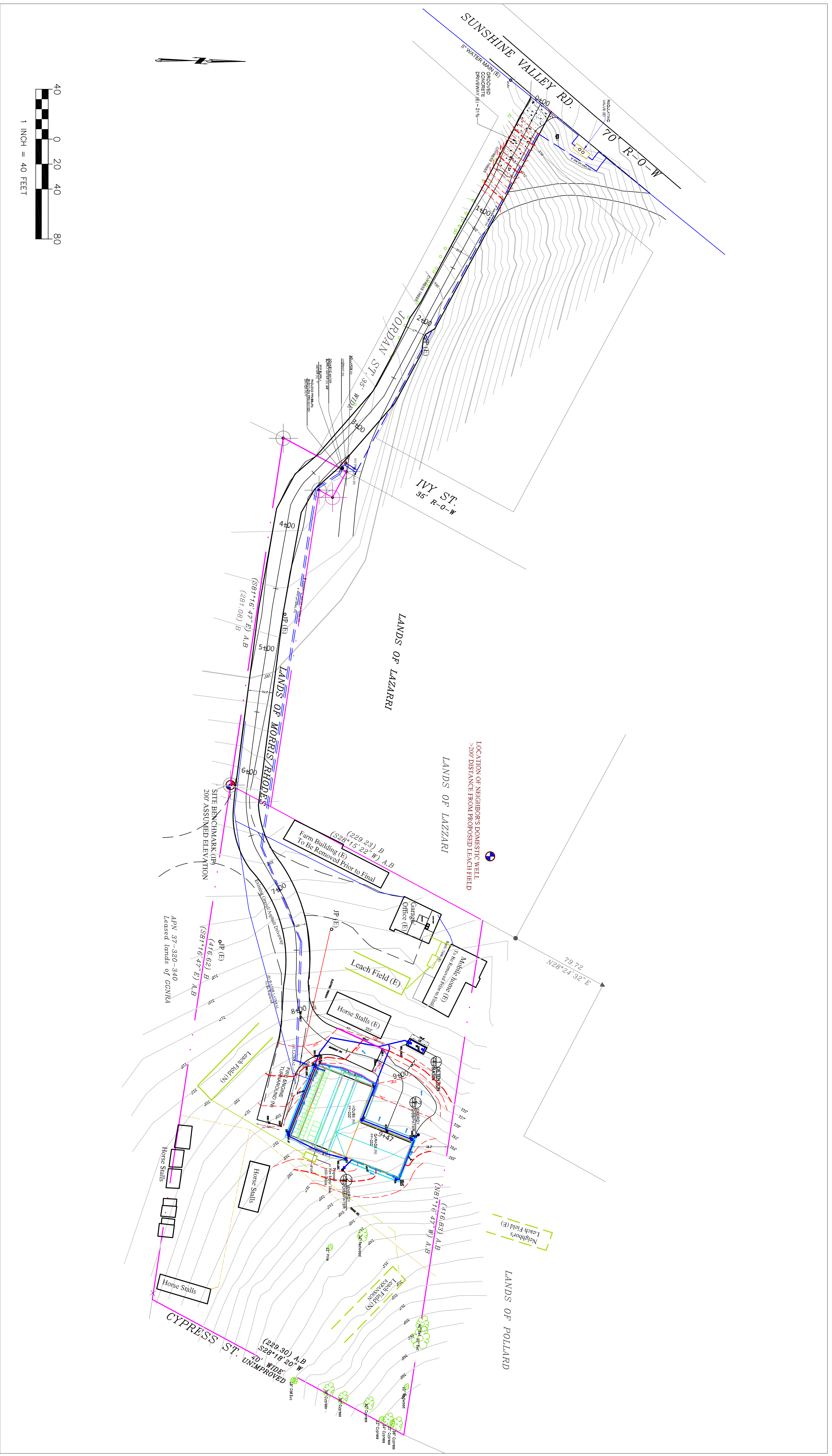
1490 Cypress Street
 Montara CA 94037

Fire Prevention

Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	Lori Rhodes

A108

Scale 1" = 30'-0"

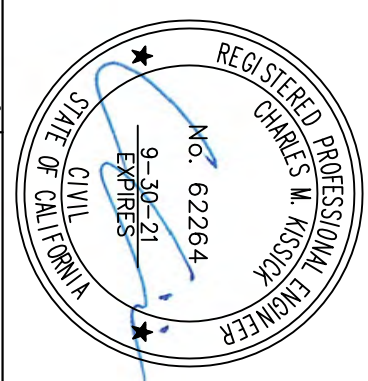


LEGEND

- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT ELEVATION
 - DRAINAGE
 - 4" SOLID DRAIN PIPE
 - 4" PERFORATED DRAIN PIPE
 - PROPOSED RETAINING WALL
- ABBREVIATIONS**
- N NEW, OR PROPOSED
 - E EXISTING
 - JP JOINT POLE
 - V/V VALVE
 - R-O-W RIGHT OF WAY

SECTION AND DETAIL CONVENTION

- SECTION OR DETAIL IDENTIFICATION
- REFERENCE SHEET No. ON WHOLE SECTION OR FROM DETAIL TO WHICH
- REFERENCE SHEET No. ON WHICH DETAIL IS SHOWN



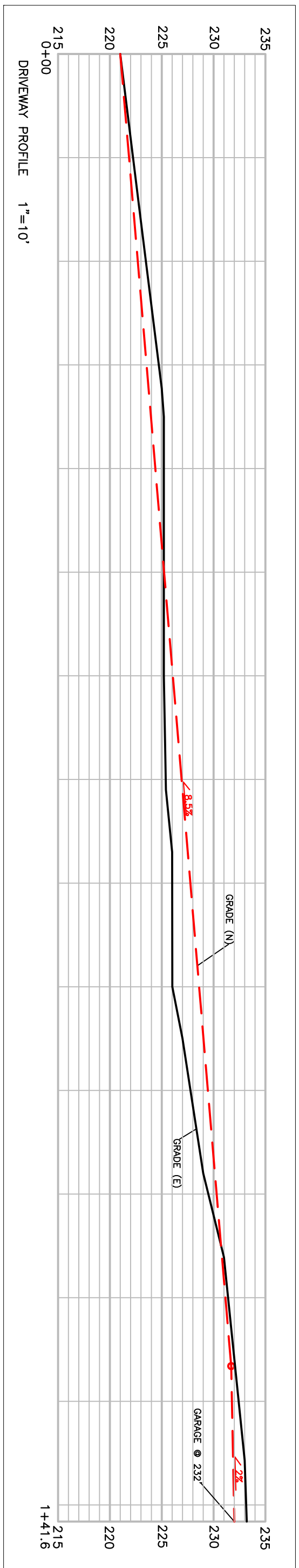
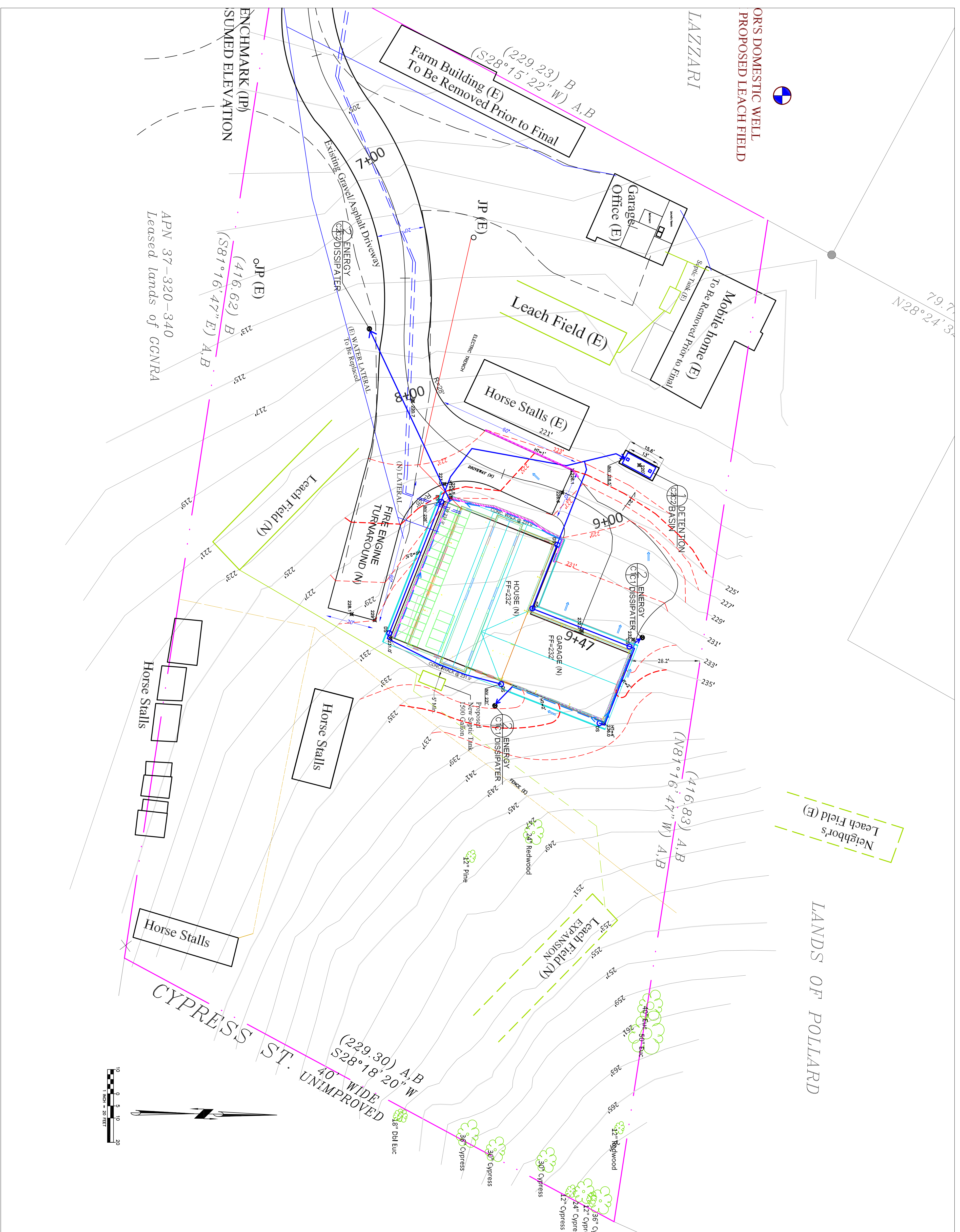
DATE: 11-19-20	<p>Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 sigmaprm@gmail.com</p>
DRAWN BY: CMK	
CHECKED BY: AZG	
REV. DATE:	
REV. DATE:	

GENERAL NOTES

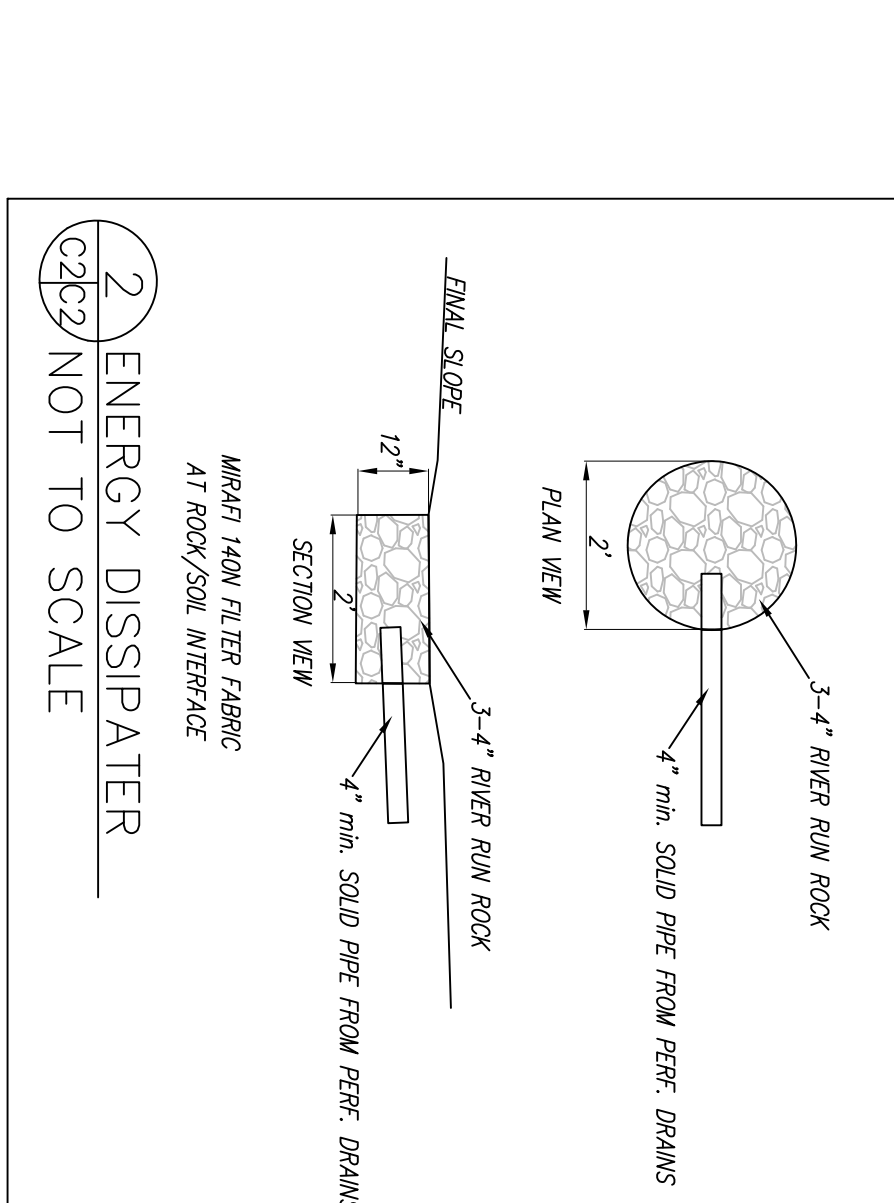
1. PLANS PREPARED AT REQUEST OF:
DAVID MORRIS, OWNER
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 2 FEET.
4. SITE SURVEYED BY FOR RECORD OF SURVEY
JUNE, 2017 BY TURNROSE LAND SURVEYING.
TOPOGRAPHY BY SIGMA PRIME AUGUST, 2019
5. THIS IS NOT A BOUNDARY SURVEY.
6. TOTAL DISTURBED AREA FOR ROAD AND HOUSE = 94,000 SF.
7. THE GEOTECHNICAL REPORT:
GEOTECHNICAL STUDY: BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 19-120. REPORT SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
8. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT TREATMENT AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PRES. SIG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-9409 EXT 187) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

FOR PLANNING PURPOSES ONLY
NOT FOR CONSTRUCTION

<p>SITE PLAN</p> <p>MORRIS/RHODES PROPERTY 1490 CYPRESS STREET MONTARA, CALIFORNIA APN 036-261-180</p>	<p>SHEET</p> <p>C-1</p>
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FOR PLANNING PURPOSES ONLY
NOT FOR CONSTRUCTION

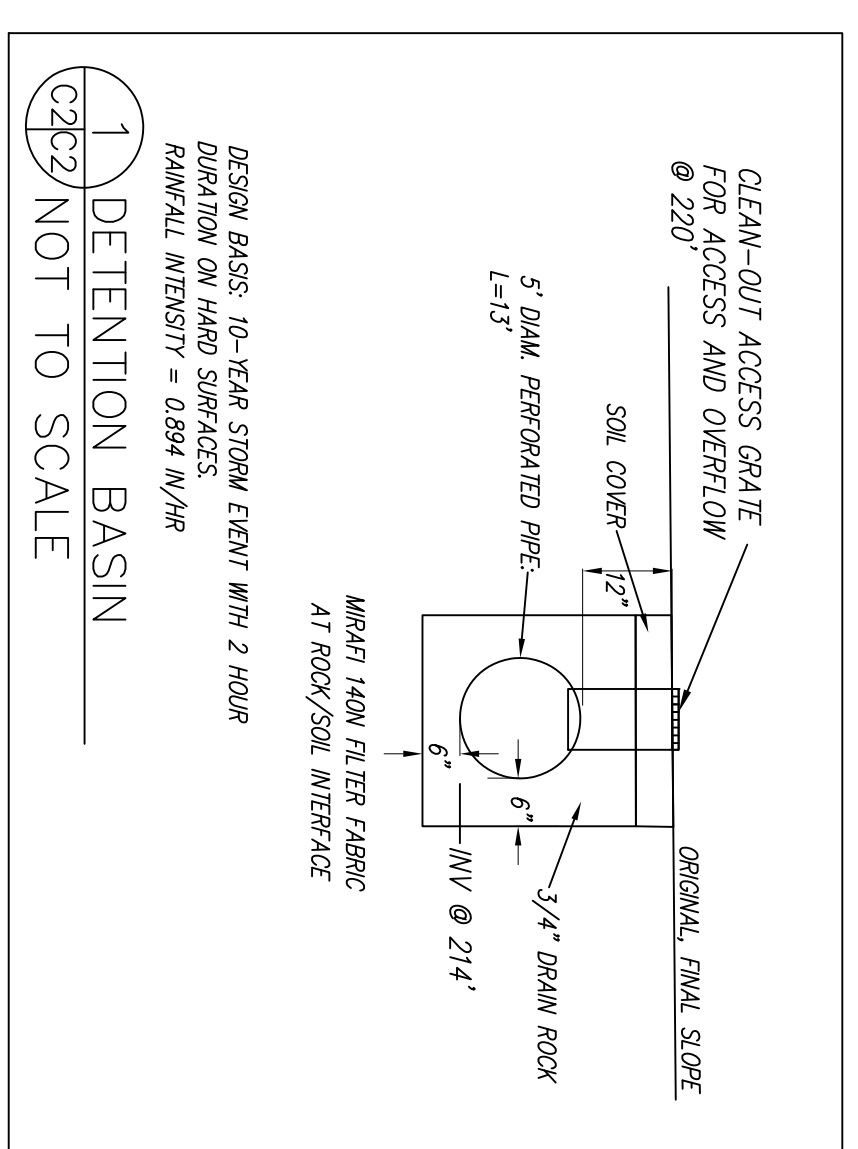


GRADING NOTES

CUT VOLUME: 600 CY
 FILL VOLUME: 225 CY
 TOTAL CUT + FILL = 825 CY
 VOLUMES ABOVE ARE APPROXIMATE.
 THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
 ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

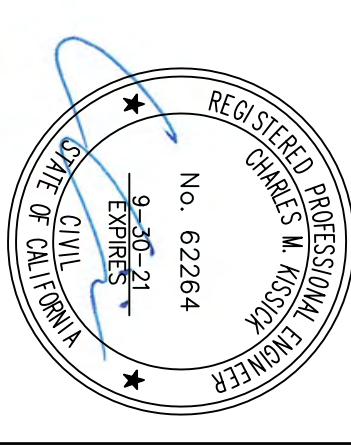
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
 2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
 3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
 4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



GRADING AND DRAINAGE PLAN - HOUSE
 MORRIS/RHODES PROPERTY
 1490 CYPRESS STREET
 MONTARA
 APN 036-261-180

DATE: 11-19-20	 SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593
DRAWN BY: CMK	
CHECKED BY: AZG	
REV. DATE:	
REV. DATE:	





GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN
AFX AS SHOWN IN DETAIL SE-5

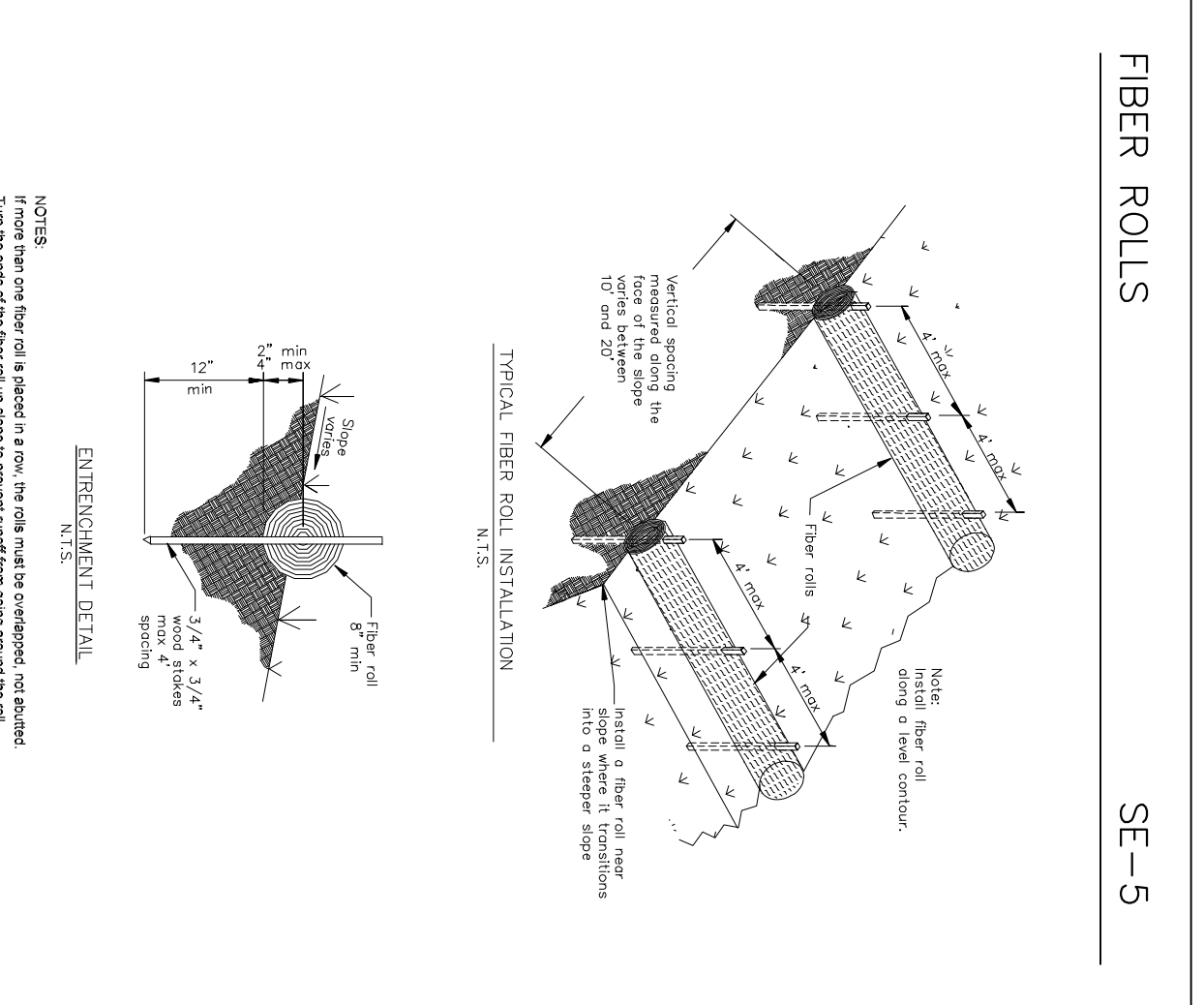
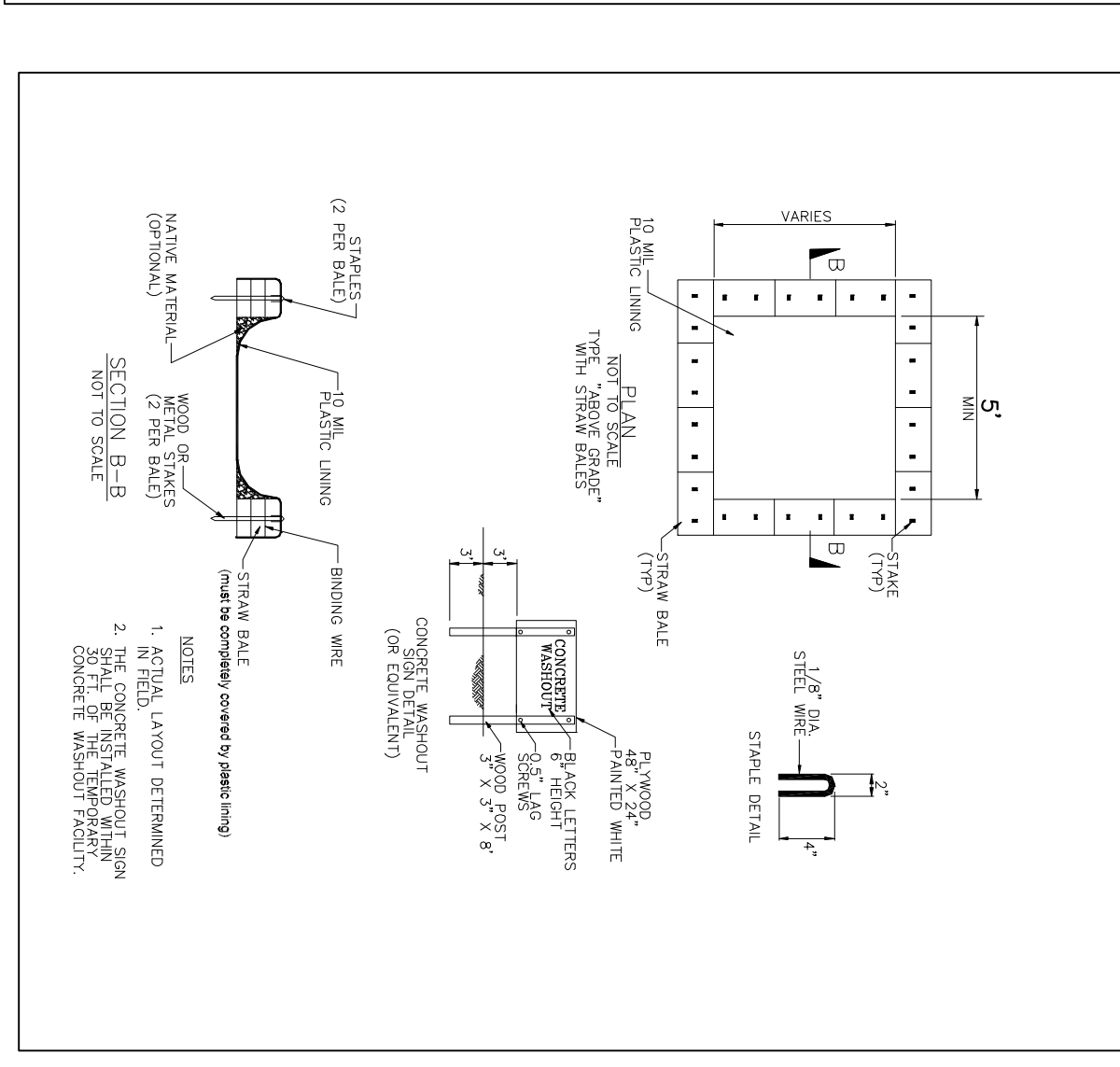
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines within the construction area.

EROSION CONTROL POINT OF CONTACT

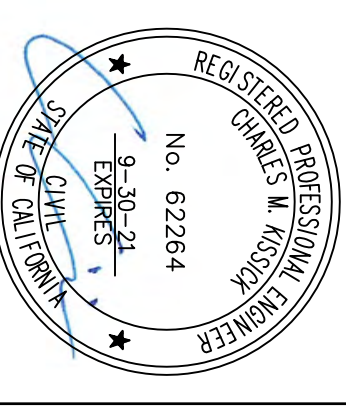
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: DAVID MORRIS
TITLE/EQUALIFICATION: OWNER
PHONE: 652-425-7129
PHONE:
PHONE:
EMAIL: 1DAVEMORRIS@COMCAST.NET

CONCRETE WASTE MANAGEMENT WM-8



FOR PLANNING PURPOSES ONLY
NOT FOR CONSTRUCTION

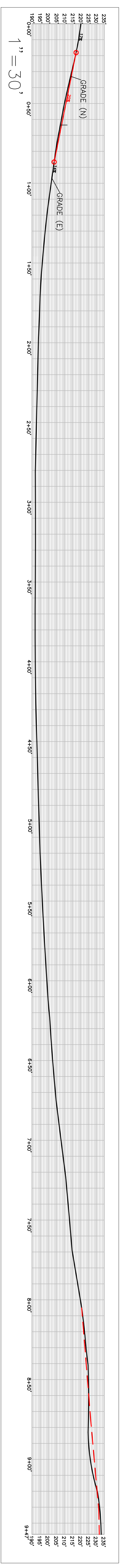
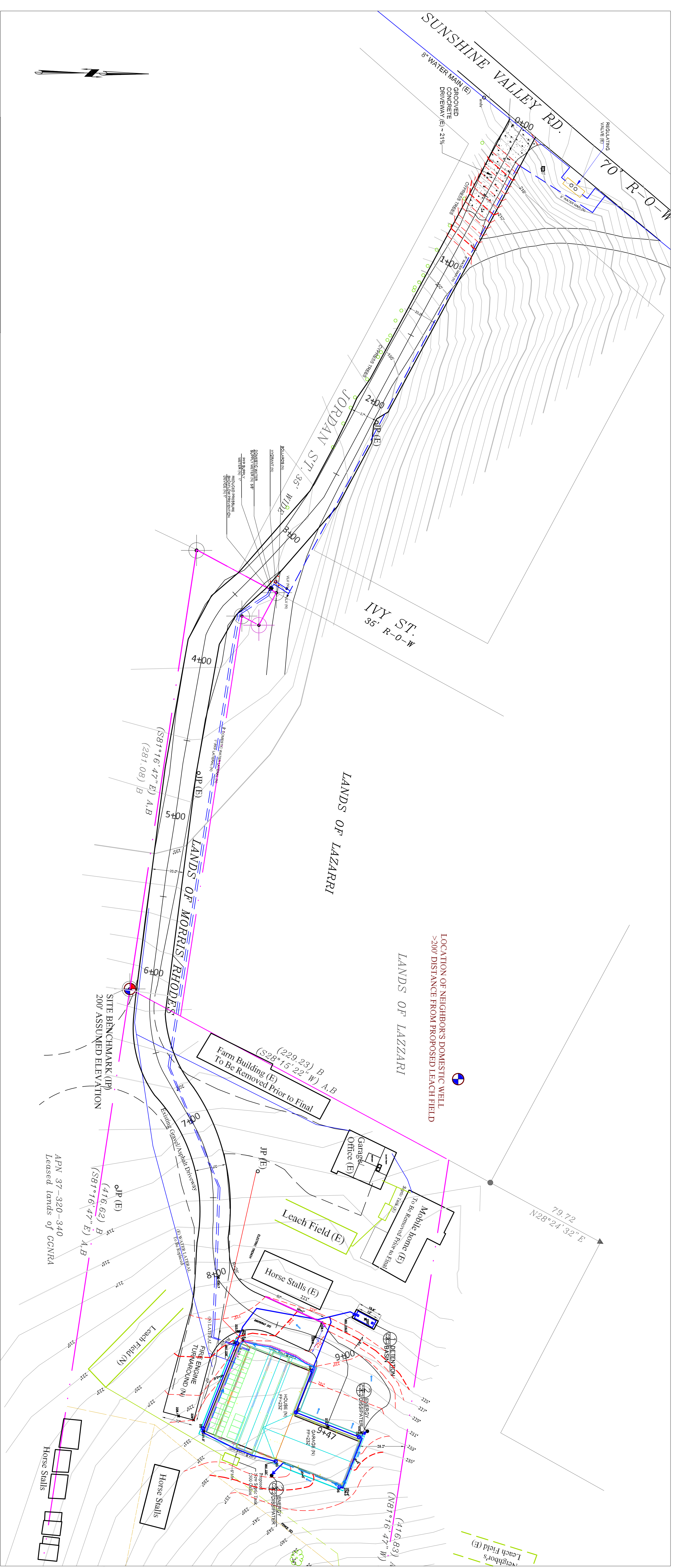


Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 11-19-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
MORRIS/RHODES PROPERTY
1490 CYPRESS STREET
MONTARA
APN 036-261-180

SHEET
C-3



GENERAL NOTES

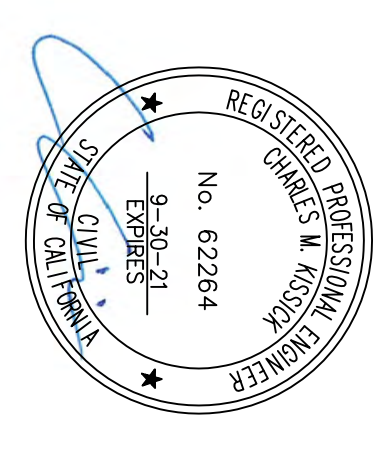
1. PLANS PREPARED AT REQUEST OF: DAVID MORRIS, OWNER
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 2 FEET AROUND THE HOUSE SITE FOR CLARITY.
3. CONTOUR INTERVAL IS 1 FOOT FOR DRIVEWAY FOR GREATER ACCURACY.
4. SITE SURVEYED BY FOR RECORD OF SURVEY
4. SITE SURVEYED BY TURNROSE LAND SURVEYING
5. TOPOGRAPHY BY SIGMA PRIME AUGUST 2019 AND SEPTEMBER 2020.
5. THIS IS NOT A BOUNDARY SURVEY.

EARTHWORK AND PAVING NOTES

- OUT VOLUME: 10 CY
 FILL VOLUME: 10 CY
- LENGTH OF PROPOSED PAVED ROAD = 947 FT TO GARAGE
 AREA OF EXISTING PAVED SURFACES ALONG ROAD ALIGNMENT = 17,211 SF
 AREA OF PROPOSED PAVED OR CHIP-SEALED SURFACES = 21,721 SF
 NET INCREASE = 4,510 SF (NEW IMPERVIOUS SURFACES WHERE ROAD IS WIDENED)
- PAVED ROAD SHALL BE 2" ASPHALT OVER 6" CLASS 2 BASE ROCK
 PAVED ROAD SURFACES SLOPED AT OVER 15% SHALL BE NON-SKID ASPHALT OR CONCRETE (STA 0+00 TO 0+871)

FOR PLANNING PURPOSES ONLY
 NOT FOR CONSTRUCTION

DATE: 11-19-20	<p>Sigma Prime Geosciences, Inc.</p>
DRAWN BY: CMK	
CHECKED BY: AZG	
REV. DATE:	
REV. DATE:	



SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 sigmaprm@gmail.com

**ACCESS ROAD PLAN
 FOR EMERGENCY VEHICLES**

MORRIS/RHODES PROPERTY
 1490 CYPRESS STREET
 MONTARA, CALIFORNIA
 APN 036-261-180

SHEET
 C-4



SAN MATEO COUNTYWIDE

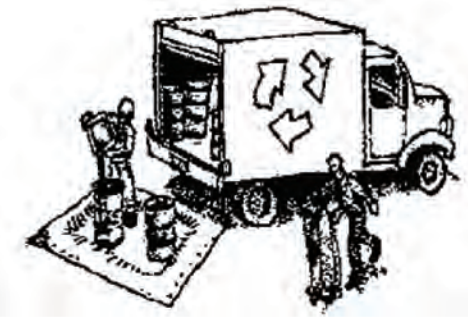
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



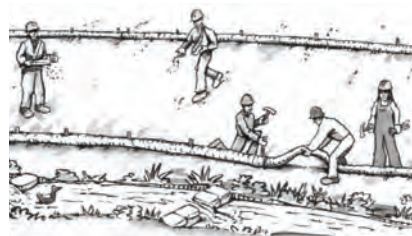
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



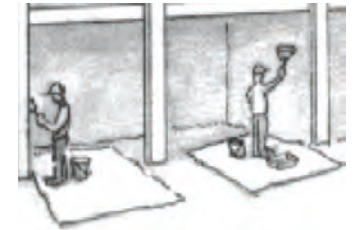
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



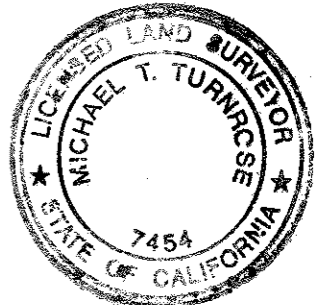
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT AT THE REQUEST OF DEBRA TITONE IN JUNE 2017.

Michael T. Turnrose 2-2-18
 MICHAEL T. TURNROSE L.S. 7454
 LICENSE EXPIRES 12-31-18 DATE



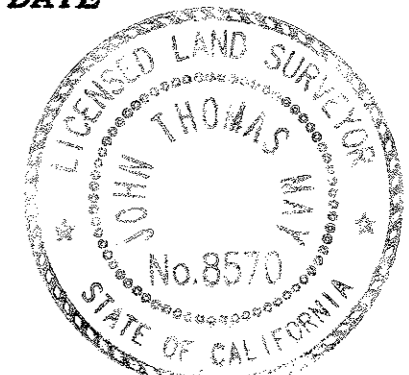
BASIS OF BEARINGS

THE BEARING NORTH 81°16'47" WEST BEING THAT 2.021 ACRE PARCEL AS SHOWN VOLUME 8 OF L.L.S. MAPS AT PAGE IN 97 WAS TAKEN AS BASIS OF BEARINGS FOR THIS MAP.

COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS ACT THIS 3rd DAY OF February, 2018.

John T. May
 JOHN T. MAY, L.S. 8570
 ACTING COUNTY SURVEYOR DATE



COUNTY RECORDER'S STATEMENT

FILED THIS 21th DAY OF February, 2018
 AT 4:40 P.M. IN VOLUME 45 OF L.L.S. MAPS
 AT PAGE 50, AT THE REQUEST OF MICHAEL TURNROSE.

FILE NO. 2018-900022 FEE \$84.00

MARK CHURCH, COUNTY RECORDER

BY: [Signature] DEPUTY

RECORD OF SURVEY

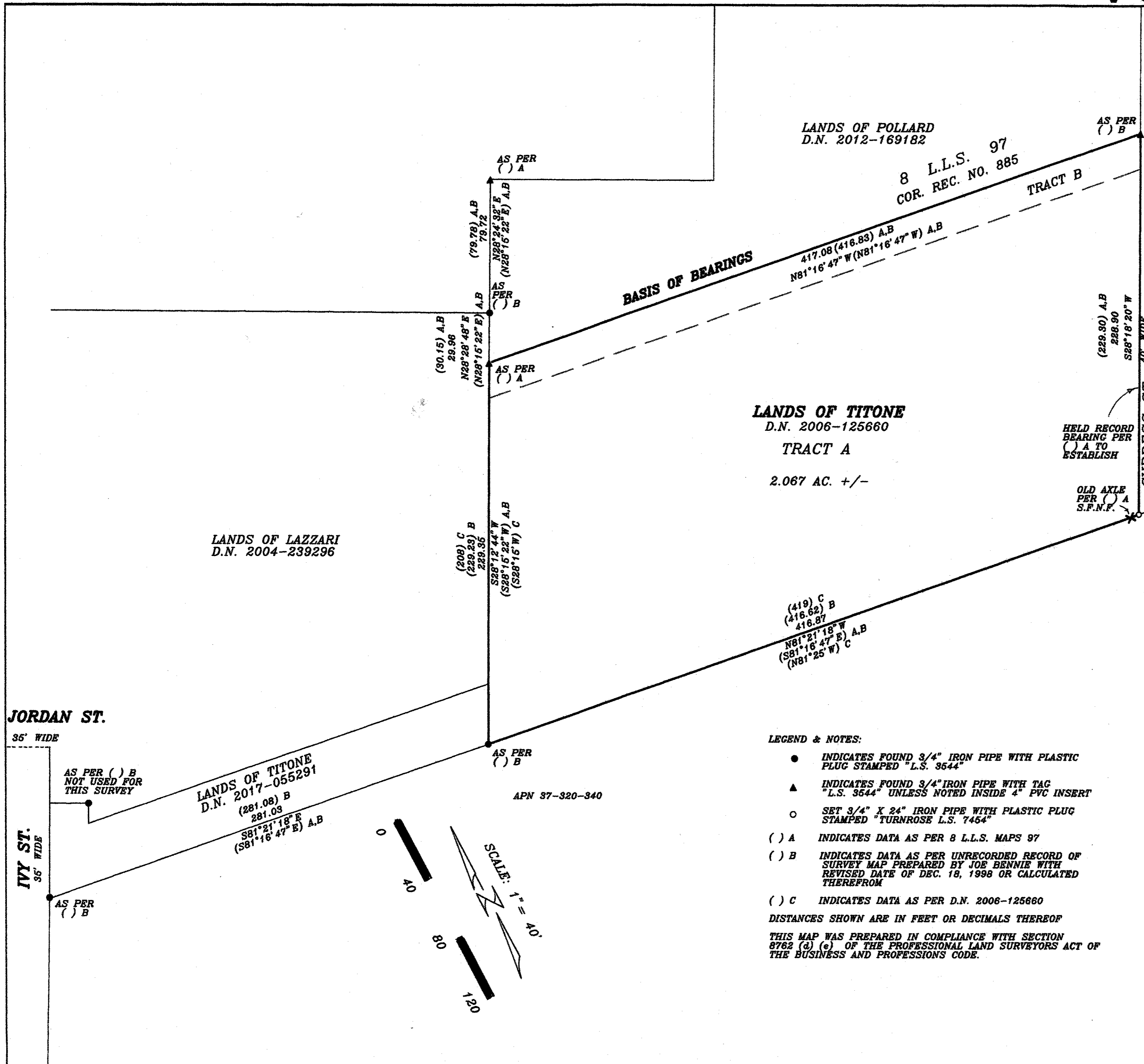
R/S NO. 3107
 LANDS OF TITONE
 PER DN 2006-125660

SAN MATEO COUNTY RECORDS, CALIFORNIA.

UNINCORPORATED, SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 40' DATE OF SURVEY: JUNE 2017

TURNROSE LAND SURVEYING

125 EAST MAIN STREET NO. 4
 RIPON, CA 95366
 (209) 599-5100
 (650) 324-3316



LOCATION OF NEIGHBOR'S DOMESTIC LEACH WELL
>200' DISTANCE FROM PROPOSED LEACH FIELD

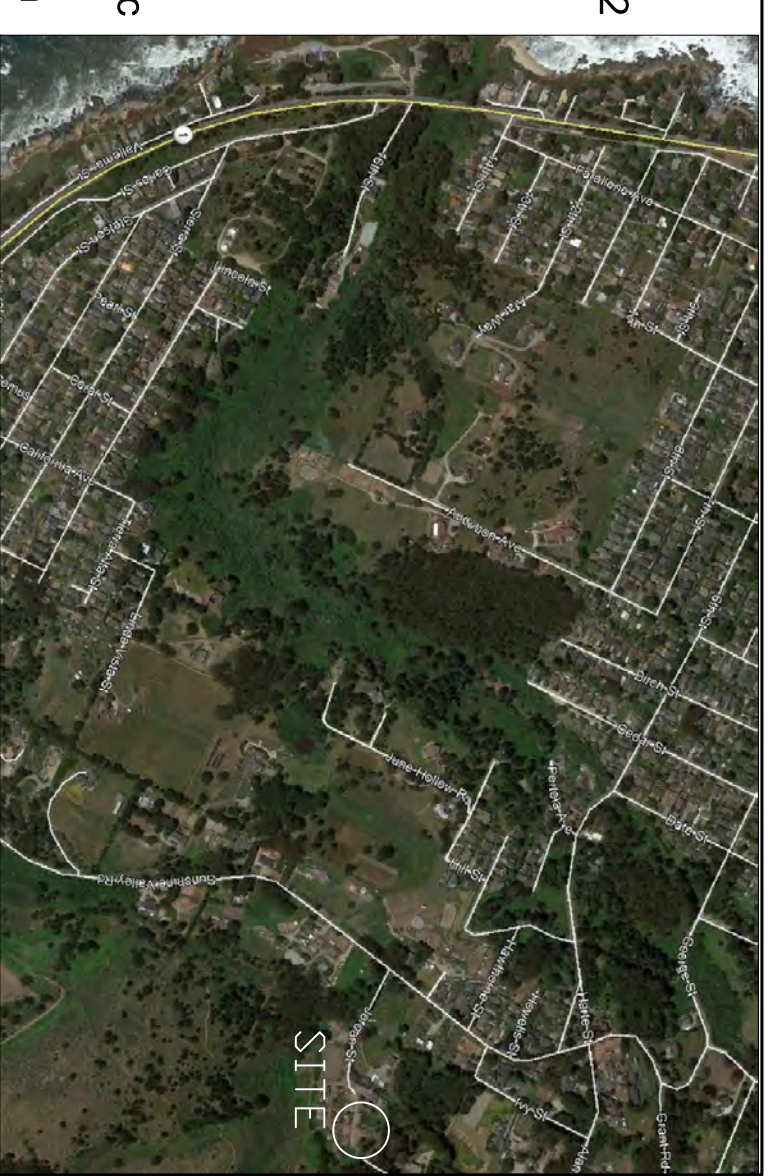
LANDS OF LAZZARI

LANDS OF POLLARD
Domestic Water Served By MWSD

PROJECT DESCRIPTION

New 3 bedroom single family home to replace existing 2 bedroom house. New septic system is necessary. A percolation test was performed on July 8, 2020 by Sigma Prime Geosciences, Inc. Results show a "A" Percolation Rate.

OWTS design is for a 3 bedroom single family home. 140 linear feet of drain-field will be necessary for Primary and Expansion Fields with a 2,000 gallon septic tank. 4 leach fields are required. 2 leach fields "A" and "B" will be installed as the Primary leach fields. 2 leach fields "C" and "D" are shown on the plan as Expansion leach fields. This area must be protected and land in this area dedicated for future use when necessary.

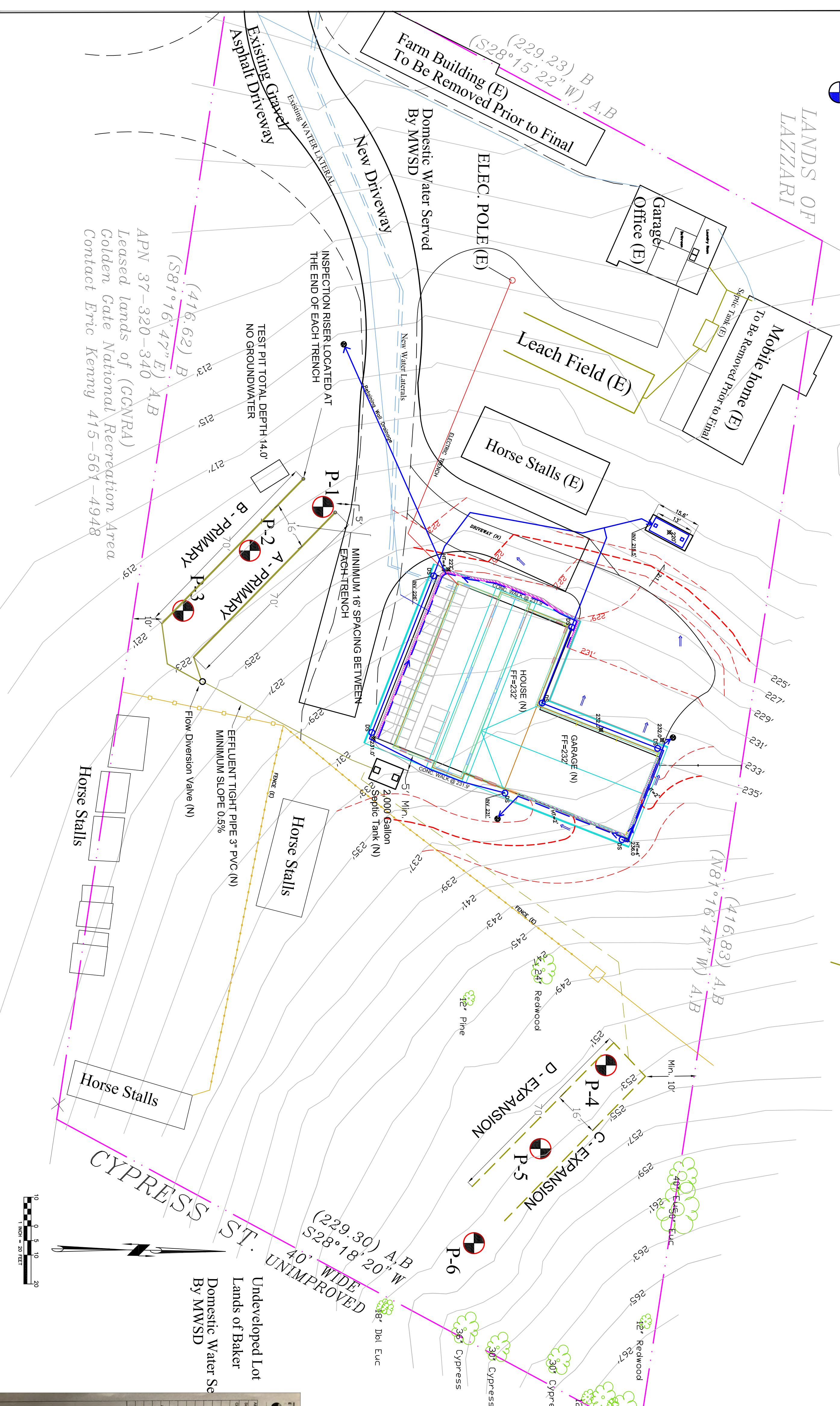


LOCATION MAP (Not to Scale)

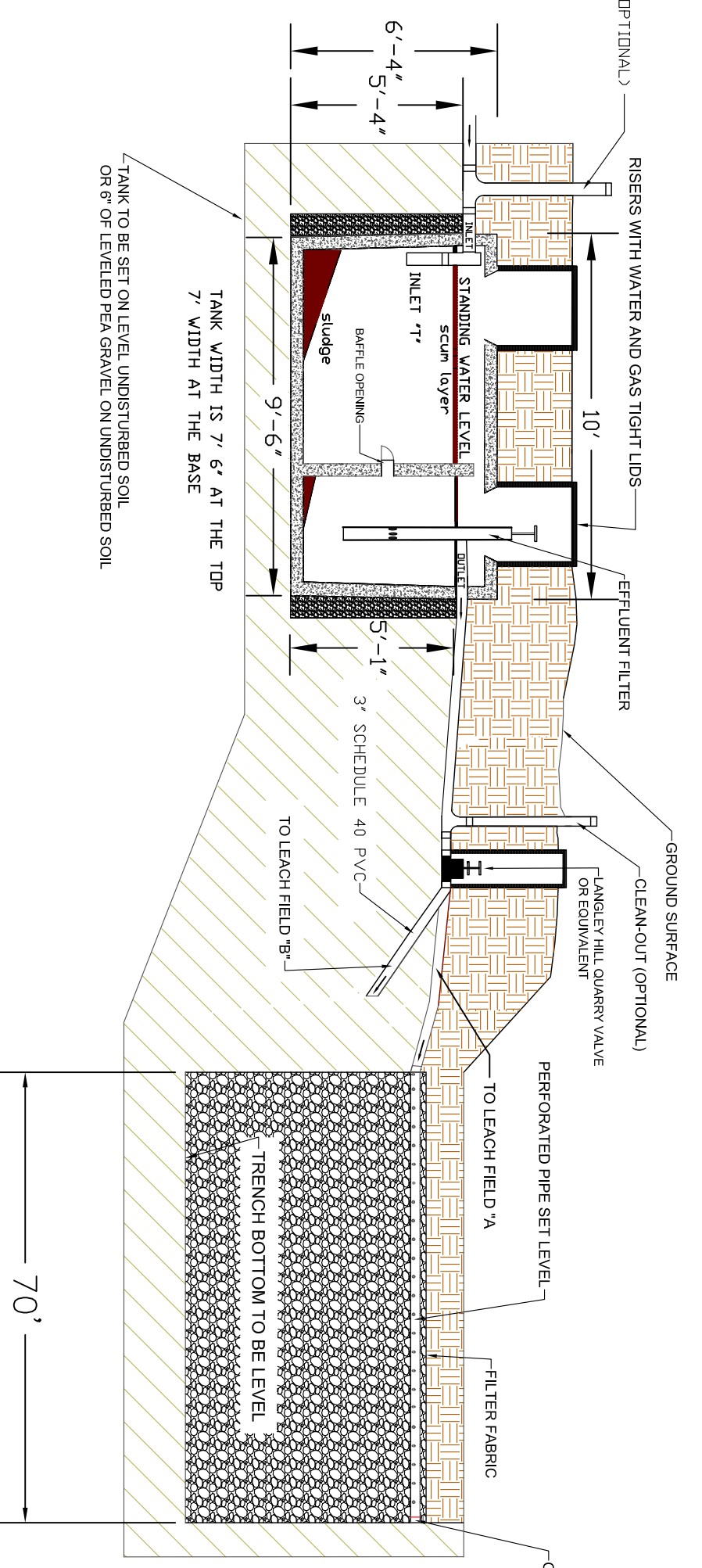
P-1 PERCOLATION TEST LOCATIONS

SCOPE OF WORK

1. Install new 2,000 gallon Don Chapin Pre-Cast septic tank or equivalent as shown.
 2. Install new primary leach trenches.
 3. Install a new flow diversion valve and effluent filter.
 4. Connect new septic tank to diversion valve and valve to tight lines and leach trenches as shown.
 5. Connect new sewer lateral to inlet of new tank.
- All material and methods shall comply with San Mateo County Environmental Health regulations, San Mateo County Building codes, and 2019 CBC. All work must be inspected and approved before back-filling.



2000 GALLON SEPTIC TANK AND STANDARD LEACH FIELD DETAILS



- NOT TO SCALE
- Back Fill - Native Soil
 - undisturbed soil
 - 3/4" Drain Rock or Compacted Fill
 - Steel Reinforced Concrete
 - 3/4" to 1 1/2" Washed Rock

ENVIRONMENTAL HEALTH
LAND USE FIELD & DATA REPORT

PROPERTY ADDRESS: 1490 CYPRESS STREET, MONTARA, CA 94019
APN: 37-320-340

TEST DATE: 7/8/2020
TESTER: SIGMA PRIME GEOSCIENCES, INC.

TEST RESULTS:

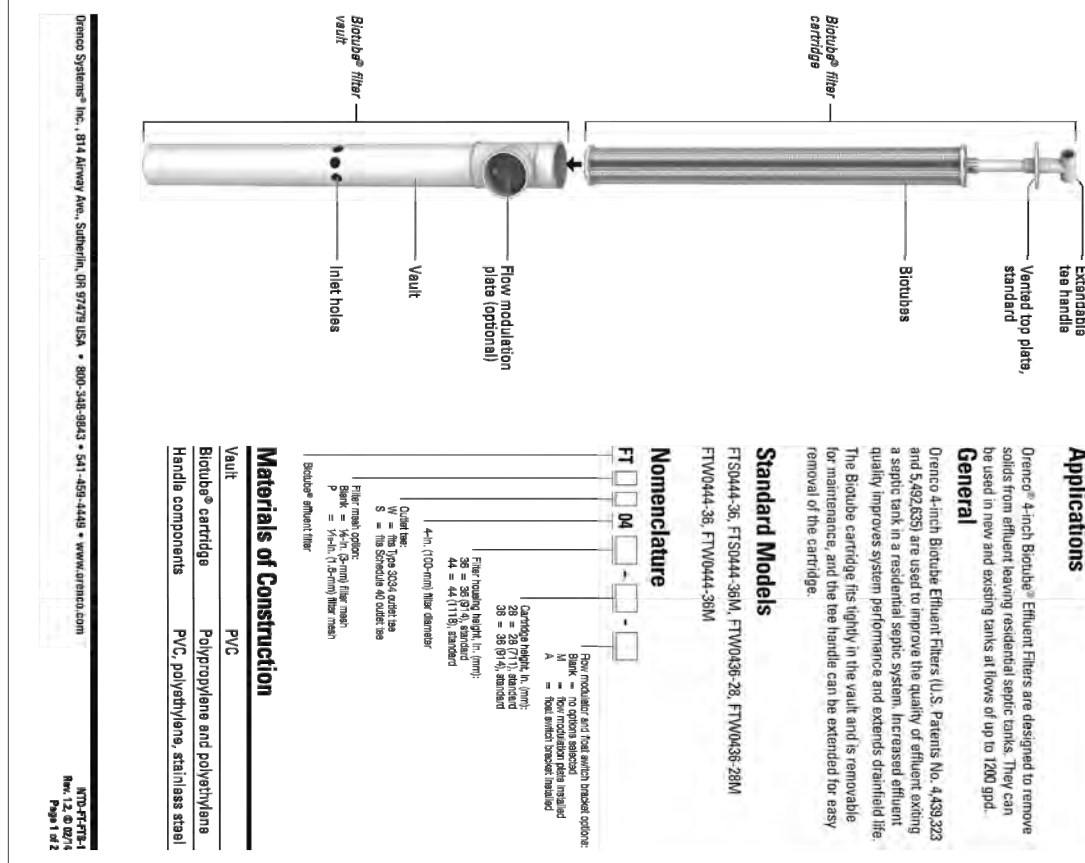
DEPTH (ft)	TEMP (°F)	PERCENTAGE (%)
1	58.5	1.5
2	58.5	1.5
3	58.5	1.5
4	58.5	1.5
5	58.5	1.5
6	58.5	1.5
7	58.5	1.5
8	58.5	1.5
9	58.5	1.5
10	58.5	1.5

PERC RATE: 1.5

PROPOSED TANK FROM

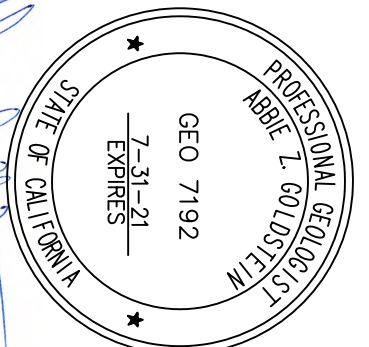
NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITS	11-19-2020	AZG
2	REVISED PER COMMENTS	11-19-2020	CMK
3	REVISED PER COMMENTS	11-19-2020	CMK
4	REVISED PER COMMENTS	11-19-2020	CMK
5	REVISED PER COMMENTS	11-19-2020	CMK
6	REVISED PER COMMENTS	11-19-2020	CMK
7	REVISED PER COMMENTS	11-19-2020	CMK
8	REVISED PER COMMENTS	11-19-2020	CMK
9	REVISED PER COMMENTS	11-19-2020	CMK
10	REVISED PER COMMENTS	11-19-2020	CMK

4-inch (100-mm) Biolute® Effluent Filters



Standard Models

Model	Capacity (Gallons)	Length (ft)	Width (in)	Height (in)
Model 1	2000	11.0	18.0	18.0
Model 2	3000	13.0	18.0	18.0
Model 3	4000	15.0	18.0	18.0
Model 4	5000	17.0	18.0	18.0
Model 5	6000	19.0	18.0	18.0
Model 6	8000	23.0	18.0	18.0
Model 7	10000	27.0	18.0	18.0



Sigma Prime Geosciences, Inc.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
sigmaprm@gmail.com

SEPTIC SYSTEM PLAN
REDTAIL RANCH
1490 CYPRESS STREET
MONTARA, CALIFORNIA
APN: 036-261-180

SHEET
OWTS-1

DATE: 11-19-2020
DRAWN BY: AZG
CHECKED BY: CMK
REV. DATE:
REV. DATE: